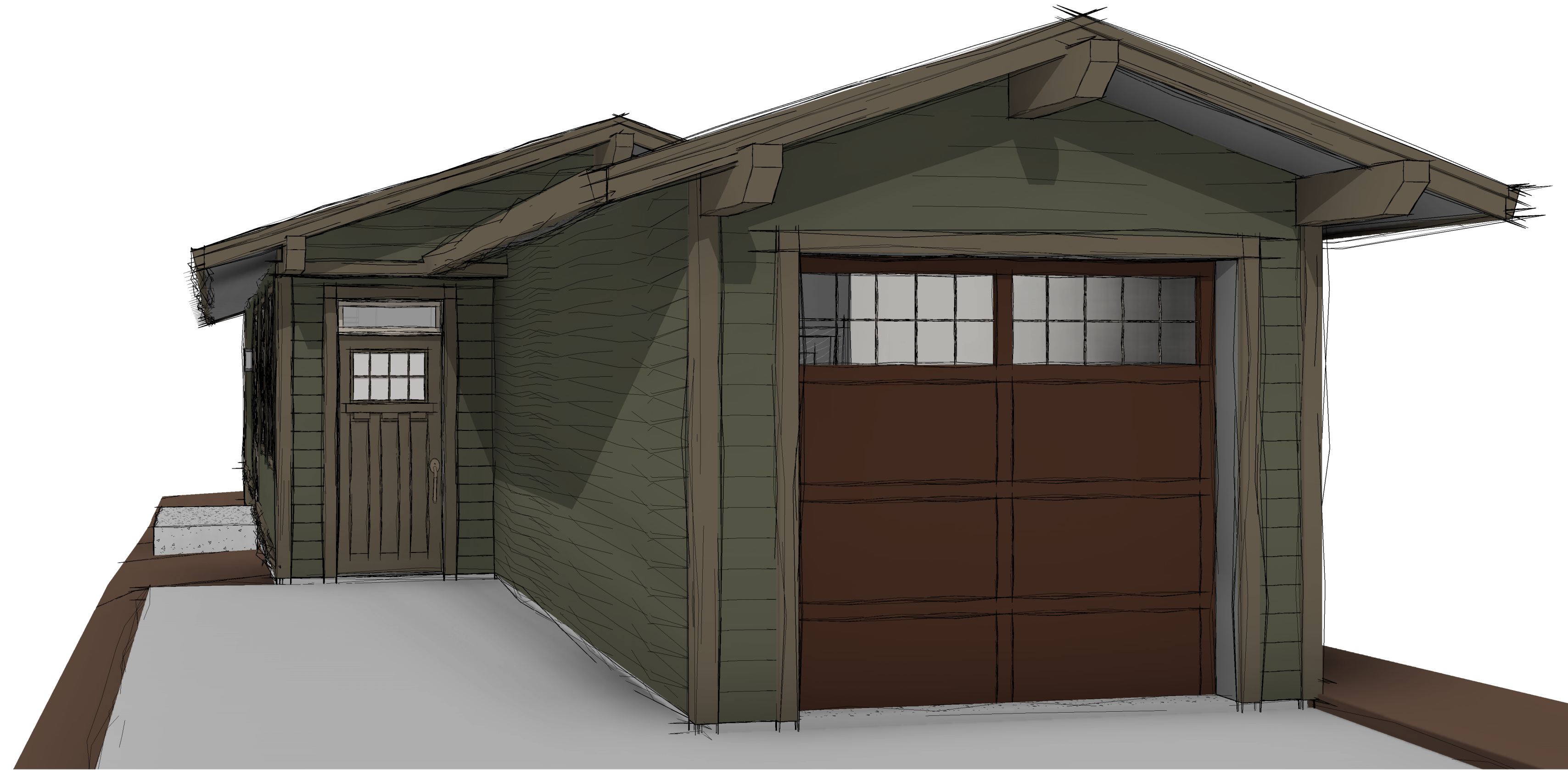


SHEET ABBREVIATIONS

AB	ANCHOR BOLT	GA	GAUGE	REINF	REINFORCED
ADJ	ADJACENT	GFCI	GROUND FAULT INTERRUPTER	ROOM	ROOM
ALUM	ALUMINUM	GALV	GALVANIZED	RWD	REDWOOD
BM	BEAM	GL	GLASS	S	SOUTH
BOW	BOTTOM OF WALL	GYP	GYPSON	SB	SET BACK
BLKG	BLOCKING	H	HIGH OR HEIGHT	SF	SQUARE FOOT
BRD	BOARD	HB	HOSE BIBB	SHTHG	SHEATHING
CC	CENTER TO CENTER	JTS	JOIST	SHWR	SHOWER
CL	CENTERLINE	LAV	LAVATORY	SIM	SIMILAR
CEM	CEMENT	LB	POUND	SIMP	'SIMPSON'
CER	CERAMIC	LIN	LINEN	SLD	SLIDING
CJ	CONTROL JOINT	LT	LIGHT	S&P	SHELF & POLE
CLG	CEILING	MANF	MANUFACTURER	STRUCT	STRUCTURAL
CLR	CLEAR	MAX	MAXIMUM	T	TREAD
CLO	CLOSET	MC	MEDICINE CABINET	TEMP	TEMPERED
CO	CLEANOUT	MIN	MINIMUM	TOC	TOP OF CONCRETE
CONC	CONCRETE	MTL	METAL	TOG	TOP OF GRADE
CONTIN	CONTINUOUS	N	NORTH	TOF	TOP OF FLOOR
DBL	DOUBLE	O/	OVER	TOP	TOP OF PAVEMENT
DF	DOUGLAS FIR	OC	ON CENTER	TOS	TOP OF SLAB
DI	DRAIN INLET	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	TOW	TOP OF WALL
DIA	DIAMETER	O	OWNER SELECTED	TV	TELEVISION
DR	DOOR	O	OWNER SELECTED	TYP	TYPICAL
DW	DISH WASHER	PB	PUSH BUTTON	UCR	UNDER COUNTER REFRIG
E	EAST	PH	PHONE	W	WEST
EL	ELEVATION	PL	PLATE	W/	WITH
EQ	EQUAL	POC	POINT OF CONNECTION	WC	WATER CLOSET
FF	FINISH FLOOR	PT	PRESSURE TREATED	WD	WOOD
FIX	FIXTURE	R	RISER	WH	WATER HEATER
FLUOR	FLUORESCENT	REF	REFRIGERATOR	WP	WATER PROOF
FP	FIRE PLACE			WWM	WELDED WIRE MESH

NEW SINGLE FAMILY RESIDENCE:

# FREITAS FAMILY



**GRAPHIA**  
ARCHITECTURE & ENGINEERING

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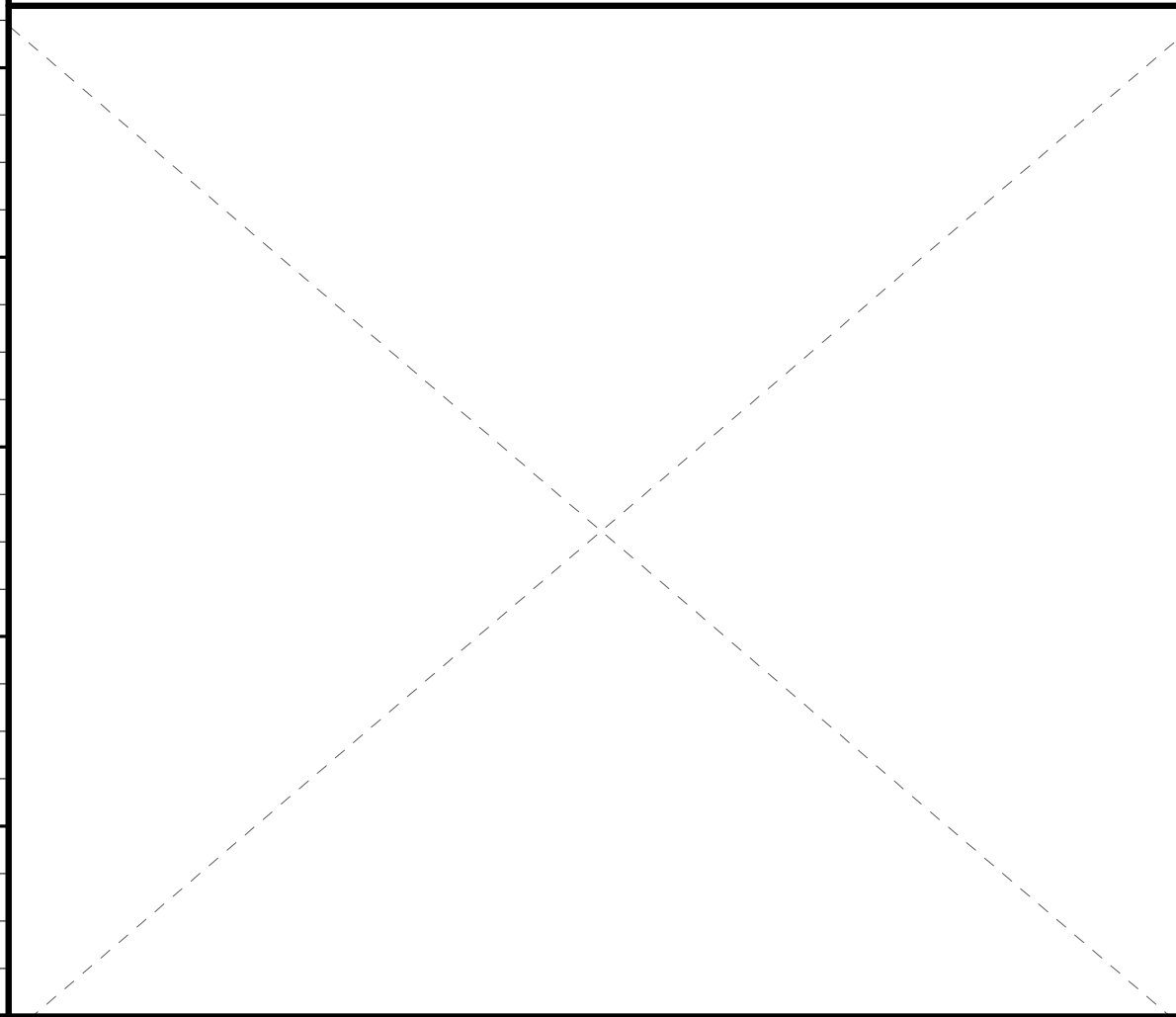
PROJECT: 20190110

CLIENT: FREITAS FAMILY  
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ROCKLIN, CA 95765  
Tel: 916-580-9981  
Email: SEAN@GRAPHIA.COM

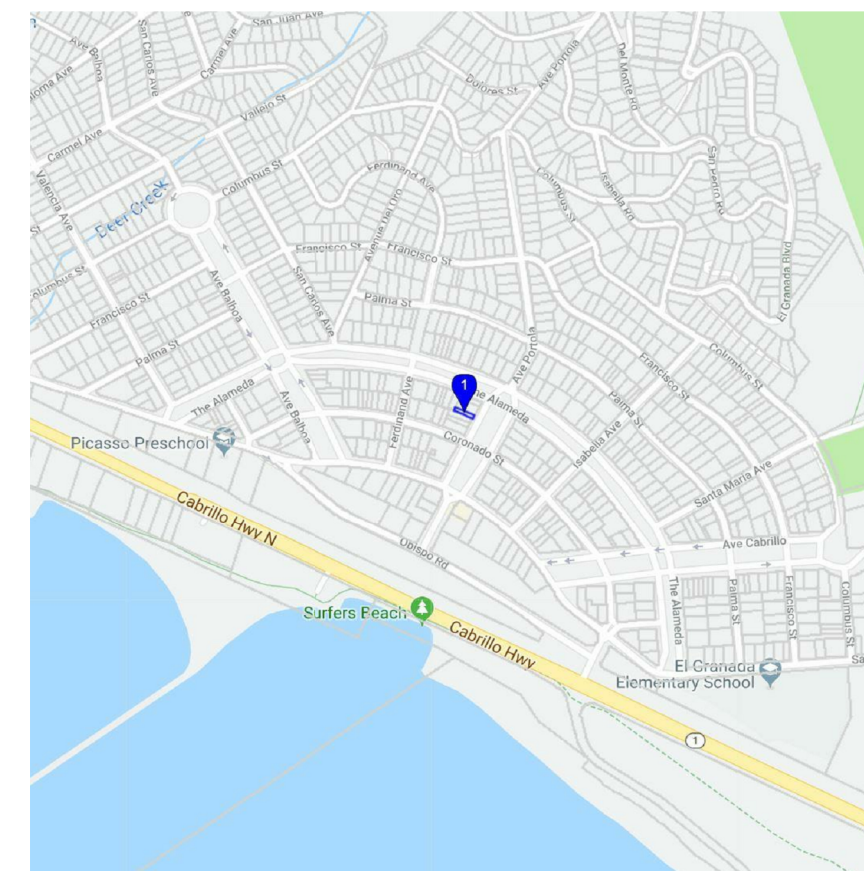
PROJECT DIRECTORY

ARCHITECT	SEAN FREITAS, ARCHITECT 100 GATEWAY DRIVE, SUITE 120, LINCOLN, CA 95648 TEL: 916-580-9981
DRAFTING	NICHOLAS OUSHAKOFF 100 GATEWAY DRIVE, SUITE 120, LINCOLN, CA 95648 TEL: 916-580-9981
STRUCTURAL ENGINEER	
MEP ENGINEER	
CIVIL ENGINEER	
FIRE SPRINKLER	
TRUSS DESIGNER	

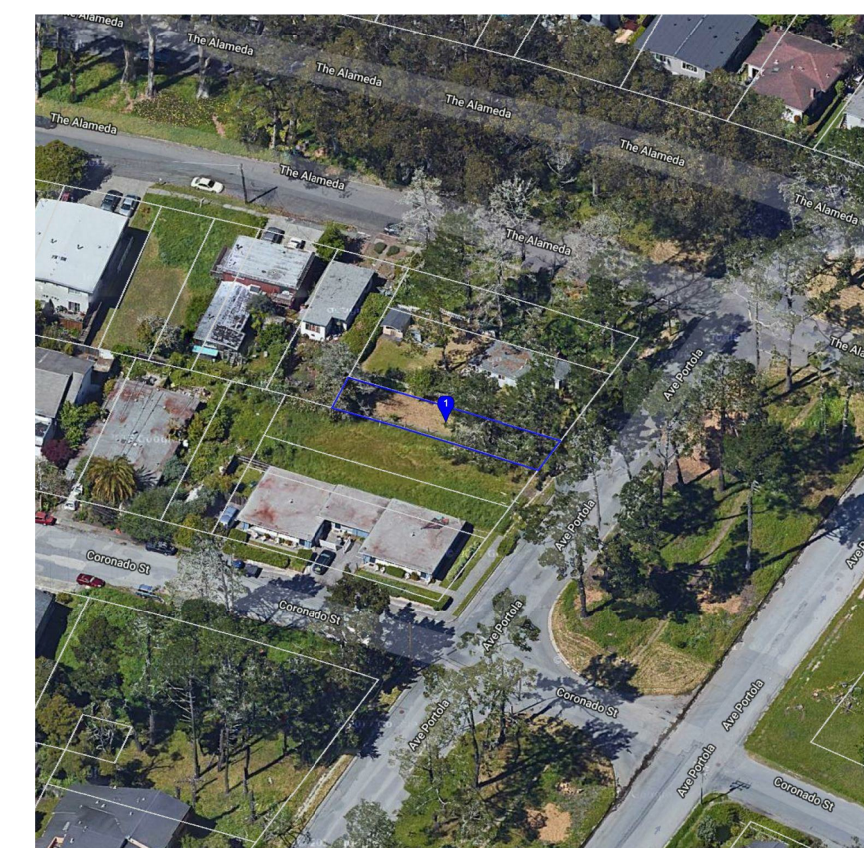
ADDITIONAL NOTES



PROJECT VICINITY MAP



AERIAL VIEW



PROJECT INFORMATION

APPLICABLE BUILDING CODE: 2019 CALIFORNIA BUILDING CODE (CBC)  
2019 CALIFORNIA RESIDENTIAL CODE (RCR)  
2019 CALIFORNIA MECHANICAL CODE (CMC)  
2019 CALIFORNIA PLUMBING CODE (CPC)  
2019 CALIFORNIA ENERGY CODE (CEC)  
2019 CALIFORNIA GREEN BUILDING CODE (CGBS)  
2019 CALIFORNIA ENERGY CODE (2019 CALIFORNIA ENERGY STANDARDS AS AMENDED BY THE STATE OF CALIFORNIA AND THE LOCAL JURISDICTION).

GENERAL PROJECT DATA:  
APN: 047-208-120  
ZONE: R-3/S-3/DR/CD  
BUILDING JURISDICTION: SAN MATEO COUNTY

CODE COMPLIANCE:	ALLOWED:	ACTUAL:
OCCUPANCY GROUP (CBC CH 3):	R-3/U	R-3/U
CONSTRUCTION TYPE (CBC, TABLE 601):	V-B	V-B
ALLOWABLE HEIGHT:	36'	18'
ALLOWABLE STORIES:	3	1
ALLOWABLE AREA:	50%	49.55%
FLOOR AREA RATIO:	0.5	0.3

SHEET INDEX

SHEET	TITLE
A0.11	COVER SHEET
A0.12	NOTES & CALGREN
A0.13	COC LETTER
A1.10	SITE SURVEY
A1.11	SITE PLAN
A2.11	FLOOR PLANS
A3.11	ROOF PLAN
A5.00	PERSPECTIVE VIEWS
A5.11	ELEVATIONS
A5.12	ELEVATIONS
A6.11	BUILDING SECTIONS
AT.0	LIGHTING SHEETS
C-1	GRADING AND DRAINAGE PLAN
C-2	EROSION AND SEDIMENT CONTROL PLAN

ARCHITECTURAL SYMBOLS

#	GRIDLINE	Ref 1 A101	SECTION	LAP SIDING	CARPET
W# R#	WINDOW TAG WIDTH x HEIGHT TYPE - COMMENTS	1 A101	DETAIL	ASPHALT SHINGLE ROOFING	EARTH
D101 R#	DOOR TAG WIDTH x HEIGHT FAMILY - COMMENTS	▲	REVISION	STONE	CONCRETE
ROOM NAME R# A: AREA CLG: CLG HT	ROOM TAG	Name Elevation	SPOT ELEVATION	EXTERIOR CEMENT PLASTER	TILE
#	PROPOSED KEYNOTE	Ref 1 SHEET 1 Ref	ELEVATION	FIBER-CEMENT SHINGLES	SS METAL
⊕	EXISTING KEYNOTE			PROJECT NORTH (GRAY) TRUE NORTH (BLACK)	BATTEN ON BOARD

PROJECT SCOPE

SINGLE-FAMILY RESIDENCE CONSISTING OF TWO BEDROOMS, ONE BATHROOM. PRE-MANUFACTURED TRUSSES TO BE UTILIZED WITH ASPHALT SHINGLE ROOFING. EXTERIOR 2X6 WALLS WITH BATTEN AND BOARD & LAP SIDING FINISH. EXISTING UTILITIES AT THE SITE TO BE REROUTED.

AREA CALCULATIONS

NAME	(E) AREA	(N) AREA	NET CHANGE
CONDITIONED			
LEVEL-1	0 SF	847 SF	847 SF
CONDITIONED	0 SF	847 SF	847 SF
UNCONDITIONED			
GARAGE	0 SF	224 SF	224 SF
DECK	0 SF	86 SF	86 SF
UNCONDITIONED	0 SF	310 SF	310 SF
TOTAL:	0 SF	1157 SF	1157 SF

LOT SIZE			LOT COVERAGE					
(E) SF	(N) SF	CHANGE	(E) SF	(E) %	(N) SF	(N) %	CHANGE (SF)	CHANGE (%)
2763 SF	2763 SF	0 SF	0 SF	0.00%	1157 SF	41.87%	1157 SF	41.87%

NEW SINGLE FAMILY RESIDENCE  
**FREITAS FAMILY**  
047-208-120 AVENUE PORTOLA,  
EL GRANADA, CA

TITLE: COVER SHEET  
ISSUES:  
Project Issue Date:  
Project Status:  
Sheet Issue Date: 10/11/20  
Revision Number:  
Revision Date:

ARCHITECT'S APPROVAL

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SHEET:  
**A0.11**  
SHEET: OF SHEETS



Recorded at the Request of, and When Recorded Return to: Pete Bentley, Project Planner Planning and Building Department 455 County Center, 2nd Floor Mail Drop PLN122 Redwood City, CA 94063	For Clerk Use Only  <b>2019-102490 CONF</b> 11:32 am 12/04/19 CC Fee: 26.00 Count of pages 4 Recorded in Official Records County of San Mateo Mark Church Assessor-County Clerk-Recorder * \$ R 0 0 0 2 7 9 0 6 4 0 3 *
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County of San Mateo  
Planning and Building Department  
**CERTIFICATE OF COMPLIANCE**  
Pursuant to Government Code Section 68499.35(a)  
Planning File No. PLN 2019-00380

The County of San Mateo has received a request from Sean Freitas, 2515 Anvil Court, Rocklin, CA 95765, to determine if real property owned by Sean Freitas, identified as Lot 5, Block 27, as shown on that certain Map entitled "Plat of Resubdivision of Subdivisions Nos. 2 and 3 of Granada, San Mateo County, California," filed in the Office of the County Recorder of San Mateo County, State of California on August 4, 1908 in Book 6 of Maps at Page 29.

Property Description

APN 047-208-120

All that certain real property located in the unincorporated area of San Mateo County, State of California, and being more particularly described as follows:

Lot 5 in Block 27 as shown on that certain Map entitled "Plat of Resubdivision of Subdivisions Nos. 2 and 3 of Granada, San Mateo County, California," filed in the Office of the County Recorder of San Mateo County, State of California on August 4, 1908 in Book 6 of Maps at Page 29.

A plat showing the above-described parcel is attached hereto and made a part of this Certificate of Compliance.

This parcel (047-208-120) was first conveyed separately from surrounding parcels in July 1917, prior to July 1945, the effective date of the County's first Subdivision Ordinance. This parcel (047-208-120) was conveyed again, by grant deed, in May 1980. Thus, the parcel

**Certificate of Compliance**  
APN 047-208-120  
Page 2

meets the requirements established to confirm legalization as a "Certificate of Compliance (Type A)."

This is to certify that the real property described above complies with the State of California Subdivision Map Act and the San Mateo County Subdivision Ordinance.

**NOTICE:** This document certifies compliance with the State of California Subdivision Map Act and the San Mateo County Subdivision Regulations only. Any development on, or use of, the property described herein is subject to the San Mateo County General Plan, Zoning Regulations, building regulations, and other County regulations affecting use and development of the property. Further, this Certificate of Compliance shall in no way affect the requirements of any other federal, State or local agency that regulates development or use of real property.

  
Steve Monowitz  
Community Development Director  
County of San Mateo

11/18/19  
Date

SM:PB:PSBDD0586\_WPN.DOCX

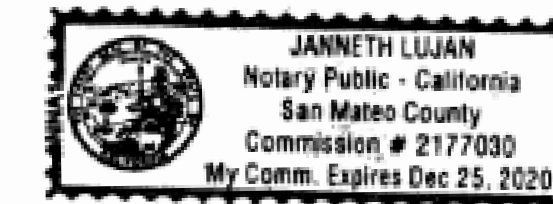
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California )  
County of San Mateo )

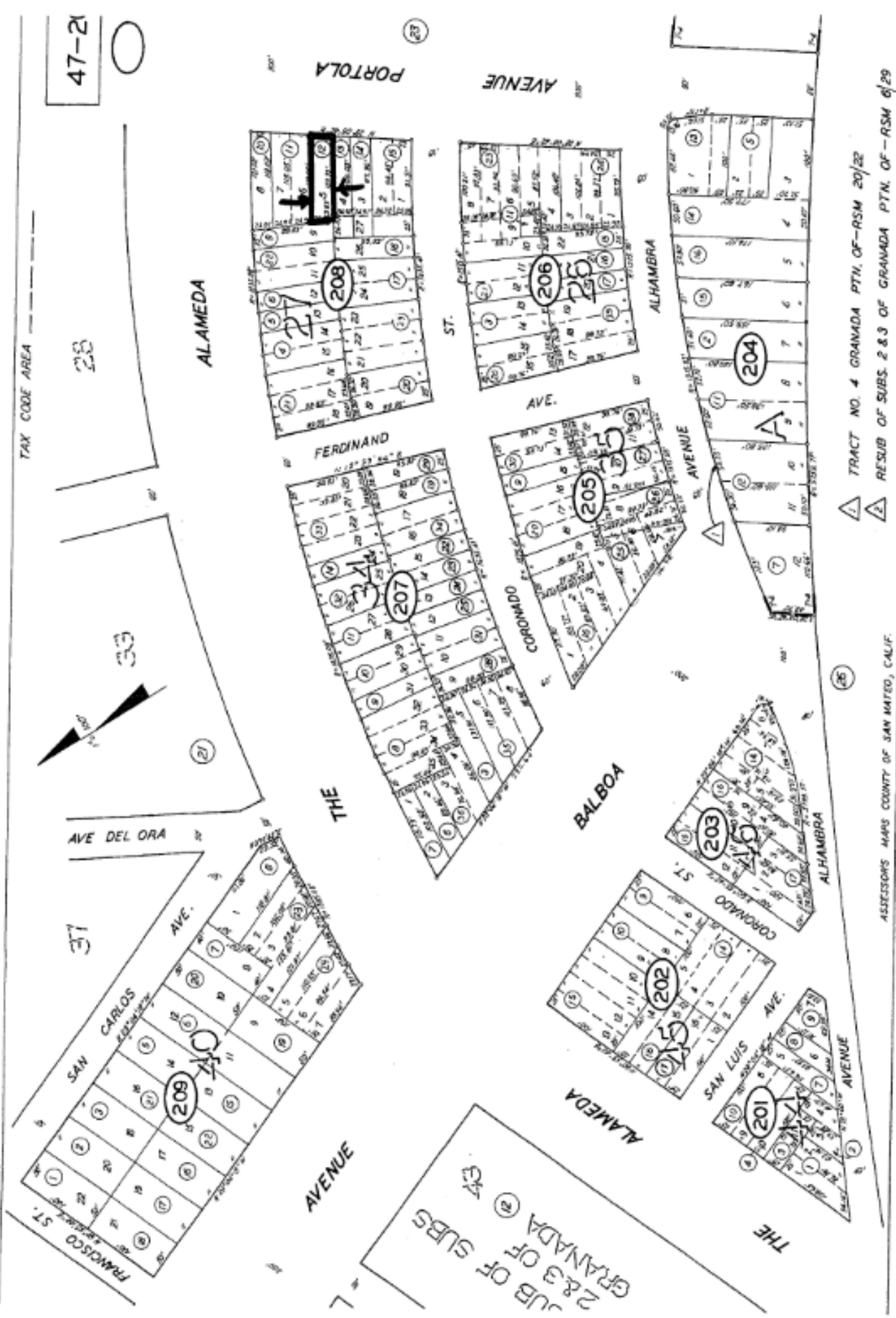
On November 18, 2019, before me, Janneth Lujan, a Notary Public, personally appeared STEVE MONOWITZ, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature Janneth Lujan



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PROJECT: 20190110

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Tel: 916-580-9981  
Email: sean@graphia.com

NEW SINGLE FAMILY RESIDENCE  
**FREITAS FAMILY**  
047-208-120 AVENUE PORTOLA,  
EL GRANADA, CA

TITLE:  
COC LETTER

ISSUES:  
Project Issue Date:  
Project Status:  
Sheet Issue Date:  
Revision Number:  
Revision Date:

ARCHITECT'S APPROVAL



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SHEET:  
**A0.13**  
SHEET OF SHEETS

BOXWOOD



ESCALLONIA



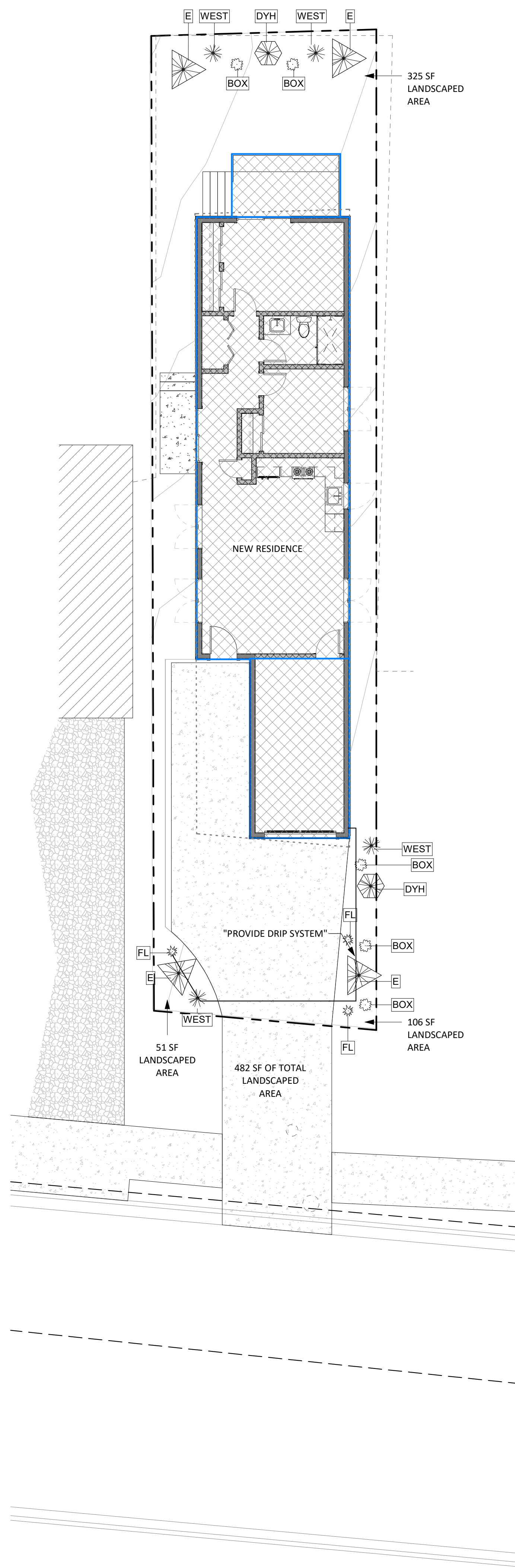
FLAX LILY



DWARF YEDDA HAWTHORN

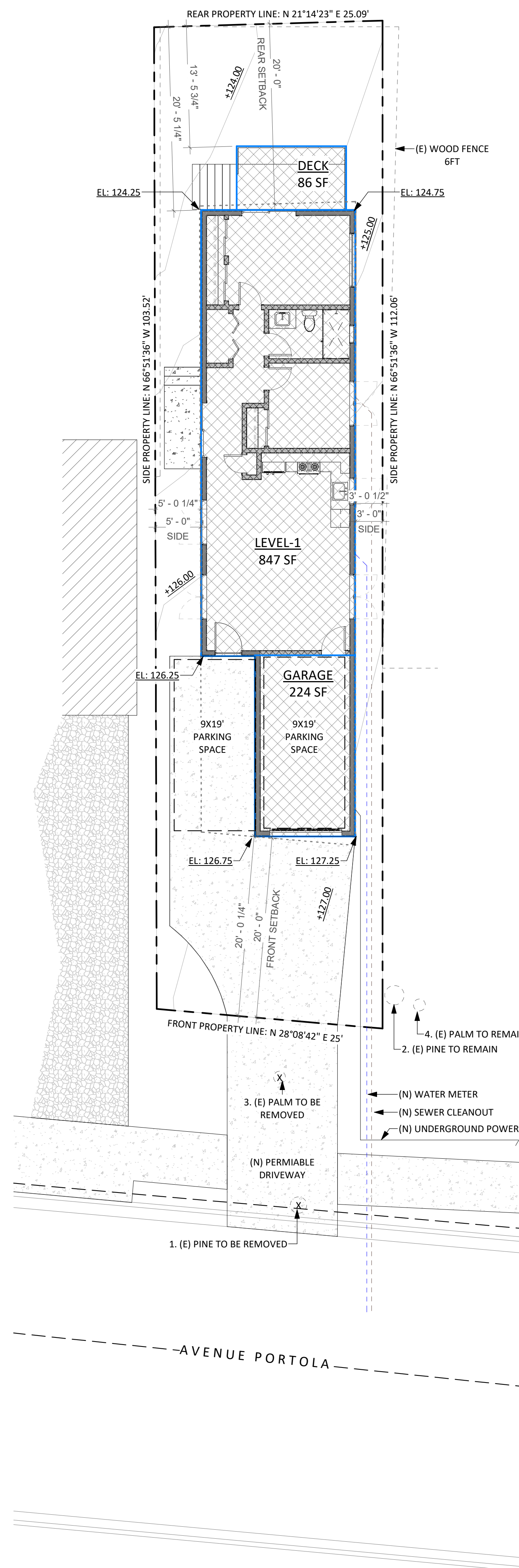


WESTRINGIA



LANDSCAPING PLAN  
1/8" = 1'-0"

2



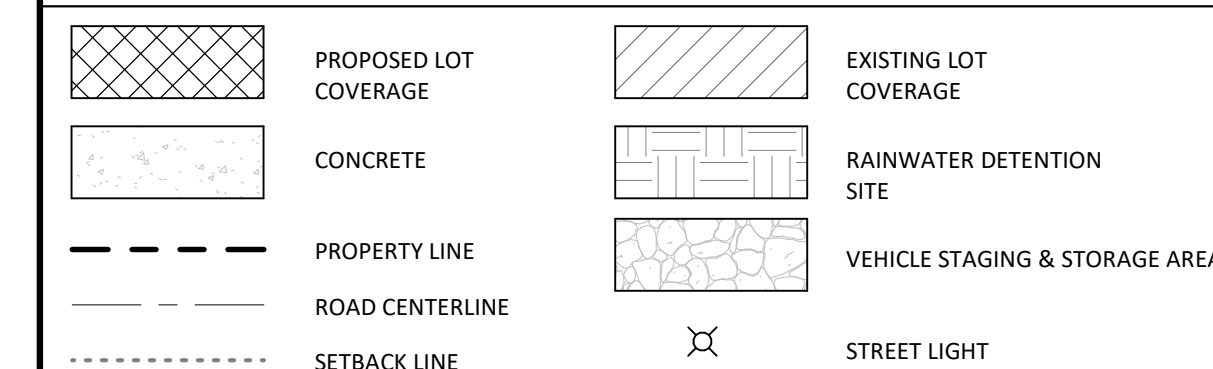
SITE PLAN  
1/8" = 1'-0"

1

SITE PLAN NOTES:

- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF AND REPAIR OF DAMAGE TO THEM. CONTACT UNDERGROUND SERVICE ALERT 1-800-642-2444, 48 HOURS BEFORE WORK IS TO BEGIN.
- THE CONTRACTOR SHALL PROVIDE EROSION, SEDIMENT, AND POLLUTION CONTROL BEST MANAGEMENT PRACTICES (BMPs) WHEN AND WHERE APPLICABLE.
- DIRECT ALL NEW DOWNSPOUTS ONTO NATURAL GROUND OR LANDSCAPED AREAS WHERE FEASIBLE.
- NO PERMANENT STRUCTURE (INCLUDING WITHOUT LIMITATION GARAGES, PATIOS, CONCRETE SLABS, TOOL SHED, ROOF OVERHANGS AND SIMILAR STRUCTURES) SHALL BE CONSTRUCTED ON TOP OF WATER, SEWER OR DRAINAGE PIPELINES OR ANYWHERE WITHIN THE ASSOCIATED UTILITY EASEMENTS.
- STORM WATER PROTECTION MEASURES SHALL BE IMPLEMENTED AT THE INITIAL PHASE OF CONSTRUCTION ACTIVITY. PROJECTS SHALL PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE THROUGH THE USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD.
- SITE SHALL BE GRADED TO PREVENT SURFACE WATER FROM ENTERING BUILDINGS. SITE PLANS SHALL INDICATE HOW THE SITE GRADING WILL MANAGE SURFACE FLOWS. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (5%).
- IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING SHALL BE SLOPED A MINIMUM OF 1/4" PER FOOT (2%) AWAY FROM THE FOUNDATION.

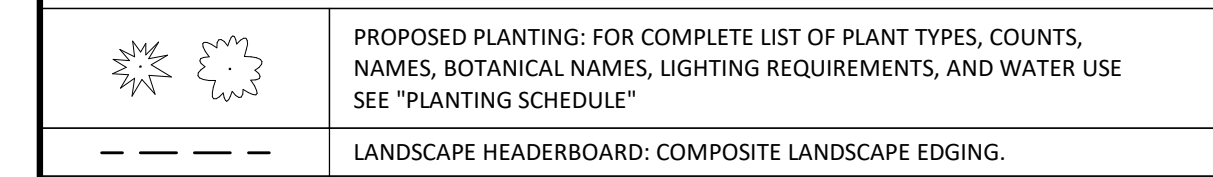
LEGEND: SITE PLAN



Planting Schedule

MARK	COUNT	PLANT TYPE	NAME	BOTANICAL NAME	LIGHT NEED	WATER USE
FL	3	PERENNIAL	FLAX LILY	DIANELLA REVOLUTA	PARTIAL SUN	LOW
E	4	SHRUB	ESCALLONIA	ESCALLONIA SPP. & CVS.	PARTIAL SUN	LOW
BOX	5	BOXWOOD, SHRUB	AFRICAN BOXWOOD	MYRSINE AFRICANA	PARTIAL SUN	LOW
DYH	2	SHRUB	DWARF YEDDA HAWTHORN	RHAPHIOLEPIS UMBELLATA	PARTIAL SUN	LOW
WEST	4	GROUND COVER, SHRUB	LOW HORIZON WESTRINGIA	WESTRINGIA FRUTICOSA	PARTIAL SUN	LOW
18						

LEGEND: LANDSCAPING



GENERAL NOTES: LANDSCAPING

- ALL SHRUB AREAS SHALL BE COMPLETELY COVERED WITH A 3" LAYER OF DECORATIVE (CONTRASTING) WALK-ON BARK. PROVIDE SAMPLE TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION.
- FIELD ADJUST TREES AS NECESSARY TO MAINTAIN THE FOLLOWING MINIMUM CLEARANCES:
  - 8 FEET CLEARANCE FROM SEWER OR WATER LINES.
  - 5 FEET CLEARANCE FROM STORM DRAIN, JOINT TRENCH AND FIRE HYDRANTS
  - 15 FEET FROM STREET LIGHTS
  - 25 FEET FROM STOP SIGNS/STOP LIGHTS.
- SEE SOIL TESTING NOTES (IF APPLICABLE) FOR SOIL AMENDMENT AND FERTILIZER RATES.
- CERTIFICATION OF COMPLETION TO BE COMPLETED BY THE CONTRACTOR FOR EACH HOUSE INSTALLED AND EXCEEDS 500 SQ.FT. OF LANDSCAPE AREA. THE CERTIFICATION OF COMPLETION TO CONTAIN THE FOLLOWING INFORMATION:
  - DATE, PROJECT NAME, PROJECT APPLICANT NAME, TELEPHONE AND MAILING ADDRESS, PROJECT ADDRESS AND LOCATION, AND PROPERTY OWNER NAME AND MAILING ADDRESS.
  - CERTIFICATION BY LICENSED LANDSCAPE CONTRACTOR WHO INSTALLED THE LANDSCAPING AND IRRIGATION. WHERE SIGNIFICANT CHANGES ARE MADE IN THE FIELD DURING CONSTRUCTION "AS-BUILT" OR RECORD DRAWINGS SHALL BE INCLUDED. A COPY OF THE IRRIGATION PLAN OR RECORD DRAWING SHALL BE PLACED WITH THE IRRIGATION CONTROLLER.
  - IRRIGATION SCHEDULING PARAMETERS USED TO SET THE CONTROLLER.
  - LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE
  - IRRIGATION AUDIT REPORT.
  - SOILS ANALYSIS REPORT. (IF APPLICABLE)
- IRRIGATION AUDIT SHALL BE CONDUCTED BY A THIRD PARTY IRRIGATION AUDITOR. LANDSCAPE AUDITS SHALL NOT BE CONDUCTED BY THE PERSON WHO DESIGNED THE LANDSCAPE OR INSTALLED THE LANDSCAPE. THE APPLICANT SHALL SUBMIT AN IRRIGATION AUDIT REPORT WITH THE CERTIFICATE OF COMPLETION TO THE LOCAL AGENCY THAT MAY INCLUDE, BUT IS NOT LIMITED TO: INSPECTION, SYSTEM TUNE-UP, SYSTEM TEST WITH DISTRIBUTION UNIFORMITY, REPORTING OVERSPRAY OR RUN OFF THAT CAUSES OVERLAND FLOW, AND PREPARATION OF AN IRRIGATION SCHEDULE, INCLUDING CONFIGURING IRRIGATION CONTROLLERS WITH APPLICATION RATE, SOIL TYPES, PLANT FACTORS, SLOPE, EXPOSURE AND OTHER FACTORS NECESSARY FOR ACCURATE PROGRAMMING.

GENERAL NOTES: SOIL TESTING (IF APPLICABLE)

- COORDINATE SOIL TESTING IN AN EXPEDITIOUS AND TIMELY MANNER AS REQUIRED FOR ON-SITE MATERIALS. RESPONSIBILITY OF CONTRACTING WITH A SOIL LABORATORY SHALL BE BORNE BY CONTRACTOR. COST OF SAMPLING AND TESTING SHALL BE INCLUDED IN CONTRACT PRICE. TWO (2) SAMPLES ARE REQUIRED. CONTRACTOR TO COLLECT SAMPLES IN THE PRESENCE OF OWNER'S REPRESENTATIVE. SAMPLE LOCATIONS TO BE IDENTIFIED ON PLAN.
- EACH SAMPLE SHALL BE SUBMITTED TO A LABORATORY. THE LABORATORY MUST BE APPROVED BY THE OWNER. SUBMIT SAMPLE SIZES AS REQUIRED BY LABORATORY.
- AS A MINIMUM, SOIL SAMPLES SHALL BE ANALYZED FOR: PH, SALINITY, AMMONIA, PHOSPHATE, POTASSIUM, CALCIUM, MAGNESIUM, BORON, AND SODIUM LEVELS. LABORATORY TO PROVIDE APPRAISAL OF CHEMICAL PROPERTIES, INCLUDING PARTICLE SIZE AND RECOMMENDATIONS FOR TYPES AND QUANTITIES OF AMENDMENTS AND FERTILIZERS. CONTRACTOR TO ADVISE TESTING LAB THAT THE FOLLOWING AMENDMENTS ARE TO BE INCLUDED IN RECOMMENDATIONS: GRO-POWER PLUS (MINIMUM RATE OF 150 LBS/1000 SQ.FT.) AND 90% BARK BASE PRODUCT, 1/4 INCH SIZE, TREATED WITH NITROGEN, 1/2-0-0. (MINIMUM RATE OF 4 CY PER 1000 SF.)

TREE SCHEDULE:

TREE #	TREE TYPE	TRUNK SIZE (BREAST HEIGHT)	DRIPLINE
1	PINE TREE	18"	15'
2	PINE TREE	20"	10'
3	PALM TREE	10"	4'
4	PALM TREE	8"	8'

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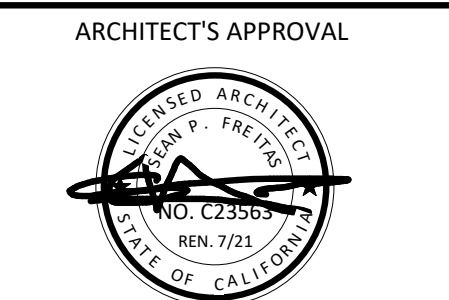
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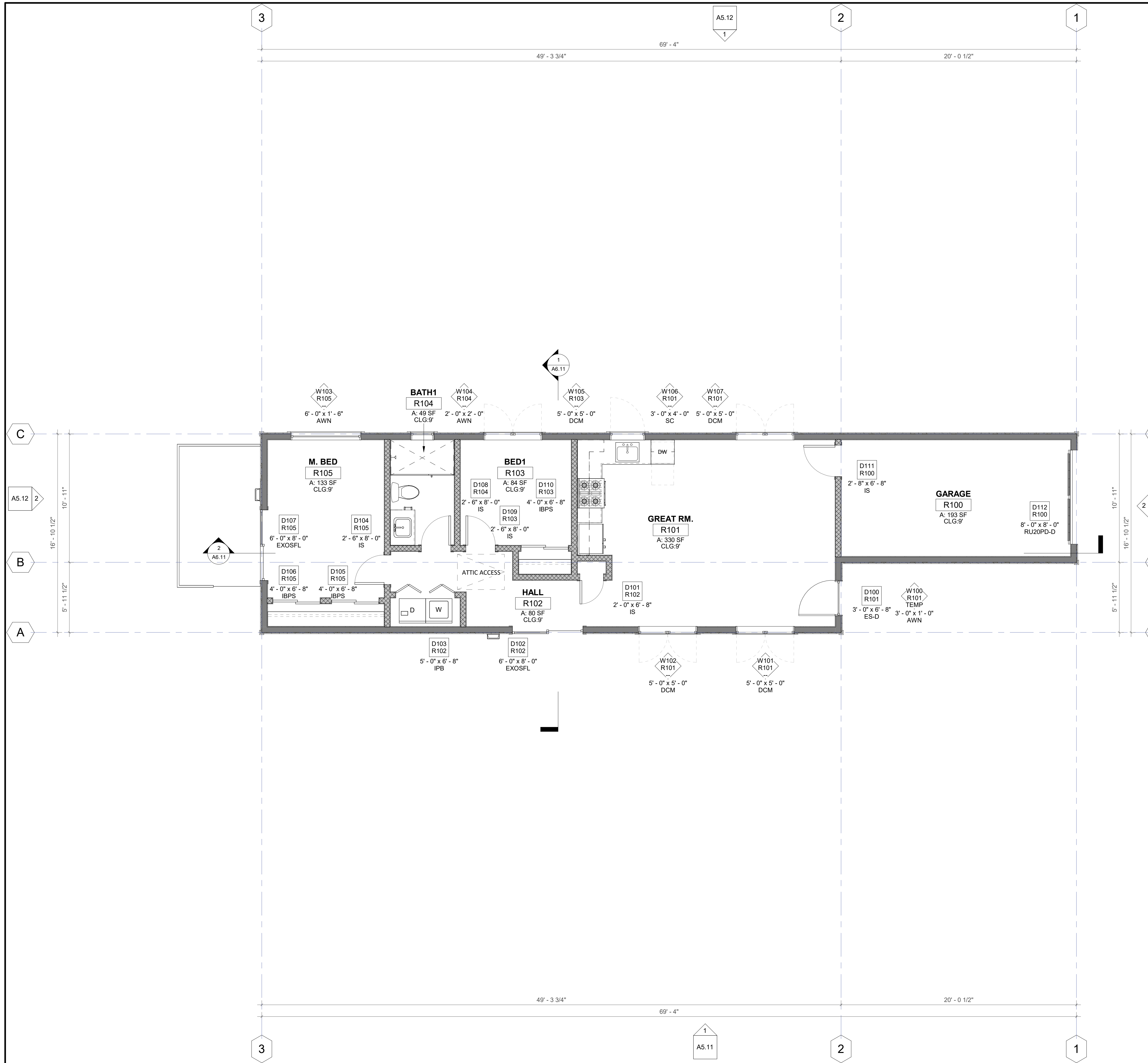
NEW SINGLE FAMILY RESIDENCE  
FREITAS FAMILY  
047-208-120 AVENUE PORTOLA,  
EL GRANADA, CA

TITLE: SITE PLAN  
ISSUES:  
Project Issue Date:  
Project Status:  
Sheet Issue Date:  
Revision Number:  
Revision Date: 12/04/2019



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SHEET:  
**A1.11**  
SHEET OF SHEETS



LEGEND: FLOOR PLAN	
	NEW INTERIOR WALL CONSTRUCTION - 2X6 D.F. STUDS @ 16" O.C. FINISH AS SELECTED BY OWNER
	NEW EXTERIOR WALL CONSTRUCTION - 2X6 D.F. STUDS @ 16" O.C. FINISH AS SELECTED BY OWNER. SEE STRUCTURAL SHEETS FOR LOCATION AND TYPE OF ADDITIONAL SHEAR PANEL REQUIREMENTS. SEE EXTERIOR ELEVATIONS FOR LOCATION AND TYPE OF EXTERIOR FINISH. U.N.O.
	DOORS: MAKE/MODEL - AS SELECTED BY OWNER - CAULK ALL EXTERIOR JOINTS (TYP). SEE IN VIEW FOR TYPE, LOCATION & SIZE. SEE SCHEDULE SHEETS FOR ABBREVIATIONS.
	MATERIAL: AS SELECTED BY OWNER, U.N.O. FRAME: AS SELECTED BY OWNER, U.N.O. HARDWARE: AS SELECTED BY OWNER, U.N.O.
	WINDOWS: MAKE/MODEL - AS SELECTED BY OWNER - CAULK ALL EXTERIOR JOINTS (TYP). SEE IN VIEW FOR TYPE, LOCATION & SIZE. SEE SCHEDULE SHEETS FOR ABBREVIATIONS. EGRESS: ALL EGRESS WINDOWS SILL HEIGHTS SHALL NOT BE GREATER THAN 44" A.F.F.
	CASED OPENING: ARCH OPENING W/ DECORATIVE WOOD TRIM. COLOR AS SELECTED BY OWNER.
	EXT CONCRETE PAD-1: LENGTH TO MATCH DOOR X 36" MIN. DEPTH X 4" THICK CONCRETE PAD (MIN) @ EXTERIOR DOORWAYS AND GRADE-MOUNTED MECHANICAL EQUIPMENT. SLOPE PAD 1/4"-12" AWAY FROM BUILDING EDGE. PROVIDE 7.75" MAX STEP FOR IN-SWINGING DOORS AND 1" MAX FOR EXTERIOR SWINGING DOORS BETWEEN TOP OF PAD AND THRESHOLD. (TYP)
	SHOWER ENCLOSURE: MAKE/MODEL - AS SELECTED BY OWNER SMOOTH, HARD, NON-ABSORBENT SURFACE OVER A MOISTURE PROOF BARRIER TO A HEIGHT OF 72" (MIN) ABOVE DRAIN INLET SLOPING 1/4"-12" TOWARD FLOOR DRAIN AND AS REQUIRED PER THE CURRENT ADOPTED EDITION OF THE CBC. PROVIDE FLOOR DRAIN CENTERED ON FLOOR. PLACE SHOWER COLUMN SPRAYING AWAY FROM SHOWER ACCESS. PROVIDE MOISTURE SEALED, LATCHING, TEMPERED GLASS SHOWER ENCLOSURE DOOR PANEL IN COMPLIANCE WITH CBC. PROVIDE PRESSURE VALVE OR THERMOSTATIC MIXING VALVE TO LIMIT WATER TEMPERATURE TO 120 DEGREES FAHRENHEIT PER SEC 418, CPC. WATER USAGE FOR SINGLE SHOWERHEADS: ≤ 2.0 GPM @ 80 PSI. WATER USAGE FOR MULTIPLE SHOWERHEADS: ≤ COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GPM @ 80 PSI OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME.
	CABINETS: MAKE/MODEL - AS SELECTED BY OWNER COUNTER TOPS: MAKE/MODEL - AS SELECTED BY OWNER BACKSPASHES: MAKE/MODEL - AS SELECTED BY OWNER CONTRACTOR SHALL COORDINATE EQUIPMENT, UTILITIES, AND SIZE WITH CASEWORK FABRICATOR AND SUB-CONTRACTORS.
	SHELF & POLE: MAKE/MODEL - AS SELECTED BY OWNER
	WASHER AND DRYER: MAKE/MODEL - AS SELECTED BY OWNER REQUIRED DRYER VENT DUCT TO EXTERIOR WITH A MINIMUM OPENING OF 100 SQ. IN. MAKE-UP AIR OF 100 SQ. IN. IS REQUIRED FOR ROOMS CONTAINING A DRYER AND MAY COME FROM OPENING ABOVE DOOR INTO THE HALLWAY. MAKE-UP AIR MAY NOT COME FROM OR EXHAUST TO THE OUTSIDE.
	REFRIGERATOR: MAKE/MODEL - AS SELECTED BY OWNER 33" CLEAR SPACE. PROVIDE RECESSED COLD WATER BIB AND SHUT-OFF FOR ICE MAKER. PROVIDE ELECTRICAL OUTLET AT +42".
	KITCHEN SINK: MAKE/MODEL - AS SELECTED BY OWNER DBL. BOWL W/ GARBAGE DISPOSAL & AIR GAP FOR DISHWASHER. MAX 8" BOWL DEPTH. PROVIDE LEVER TYPE HARDWARE. WATER USAGE: ≤ 1.8 GPM @ 60 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM.
	SINK: MAKE/MODEL - AS SELECTED BY OWNER PROVIDE MIRROR ON WALL BEHIND AND TOWEL RING. WATER USAGE: ≤ 1.2 GPM @ 60 PSI
	RANGE: MAKE/MODEL - AS SELECTED BY OWNER 30" WIDE. GAS. PROVIDE MICROWAVE WITH BUILT-IN HOOD, LIGHT, AND FAN TO EXTERIOR. PROVIDE MIN 15" WIDE CUTTING BOARD IN ADJACENT CABINET. HOOD: VENT DIRECTLY TO OUTSIDE EXHAUSTING A MIN. OF 100 CFM. CMC AND ENERGY CODE. THE FAN MUST BE LISTED AT 3 SONE OR LESS. RATING MUST BE BASED ON A .25 WATER COLUMN OR GREATER. COMPLIANCE 4.6.5, 4.6.7 & ASHRAE 62.2
	DISHWASHER: MAKE/MODEL - AS SELECTED BY OWNER 24" WIDE X 24" DEEP W/ AIR GAP.
	WATER CLOSET: MAKE/MODEL - AS SELECTED BY OWNER WATER CLOSET STALLS SHALL BE LOCATED IN A SPACE NOT LESS THAN 30" CLEAR WIDTH AND SHALL HAVE A CLEAR SPACE IN FRONT OF THE WATER CLOSET STOOL NOT LESS THAN 24" U.N.O. WATER USAGE: ≤ 1.28 GAL/FLUSH

- ADDITIONAL FLOOR PLAN NOTES:**
- CONTRACTOR SHALL COORDINATE EQUIPMENT, UTILITIES, AND SIZE WITH CASEWORK FABRICATOR AND SUB-CONTRACTORS. ALL REQUIRED UTILITIES PER MANUFACTURERS INSTRUCTIONS SHALL BE ROUTED BY A LICENSED PROFESSIONAL.
  - MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR LISTED APPLIANCES SHALL BE AVAILABLE TO THE FIELD INSPECTOR AT THE TIME OF INSPECTIONS PER 2019 CRC SEC. R106.1.2.
  - WATER-RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER CLASS I OR II VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT AND SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY PER 2019 CRC SEC. R702.3.8 & R702.3.8.1
  - GLAZING IN AREAS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIALS SUCH AS WIRED GLASS, LAMINATED GLASS, TEMPERED GLASS, OR SAFETY PLASTIC AND TESTED IN ACCORDANCE WITH CPSC 16 AND CFR 1201. SEC. R308.3, CRC.
  - ALL WASTE VENTING SHALL BE PLACED MORE THAN 10' FROM, OR NOT LESS THAN 3' ABOVE, AN OPERABLE WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT, OR NOT LESS THAN 3' IN EVERY DIRECTION FROM A LOT LINE, ALLEY AND STREET EXCEPTED.
  - KITCHEN TO HAVE A DEDICATED EXHAUST FAN TO THE OUTSIDE. IF EQUIPPED WITH INTERMITTENT OPERATED EXHAUST FAN, MINIMUM 100 CFMINS IS REQUIRED. IF EQUIPPED WITH CONTINUOUSLY OPERATED EXHAUST FAN AT 5 AIR CHANGES PER HOUR. THE RANGE HOOD OVER STOVE MAY COMPLY WITH VENTED TO OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM.

LEGEND: DIMENSIONS	
	ROOM SYMBOL: ROOM NAME, ROOM NUMBER, NET AREA, CEILING HEIGHT, AND LENGTH BY WIDTH MEASUREMENTS.
	DOOR SYMBOL: DOOR NUMBER, ROOM NUMBER, DOOR SIZE, STYLE, AND COMMENTS. DOOR NOTES: 1. DOORS NOT DIMENSIONED TO ARE CNTR LOCATED BETWEEN ADJ WALLS. 2. SEE SCHEDULE SHEETS FOR DOOR TYPES.
	WINDOW SYMBOL: WINDOW NUMBER, ROOM NUMBER, WINDOW SIZE, STYLE, AND COMMENTS. WINDOW NOTES: 1. SEE SCHEDULE SHEETS FOR WINDOW TYPES.

LEGEND: FLOOR FINISH	
	CONCRETE: SEE SCHEDULES FOR ADDITIONAL INFORMATION.
	LAMINATE OR HARDWOOD: SEE SCHEDULES FOR ADDITIONAL INFORMATION.

**NOTES: FLOOR FINISH**

- ANY AREAS WHERE WATER IS PRESENT FLOORING IS TO BE NON-ABSORBENT TILE OR VINYL FLOORING.

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**PROJECT: 20190110**

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**TITLE:**  
FLOOR PLANS

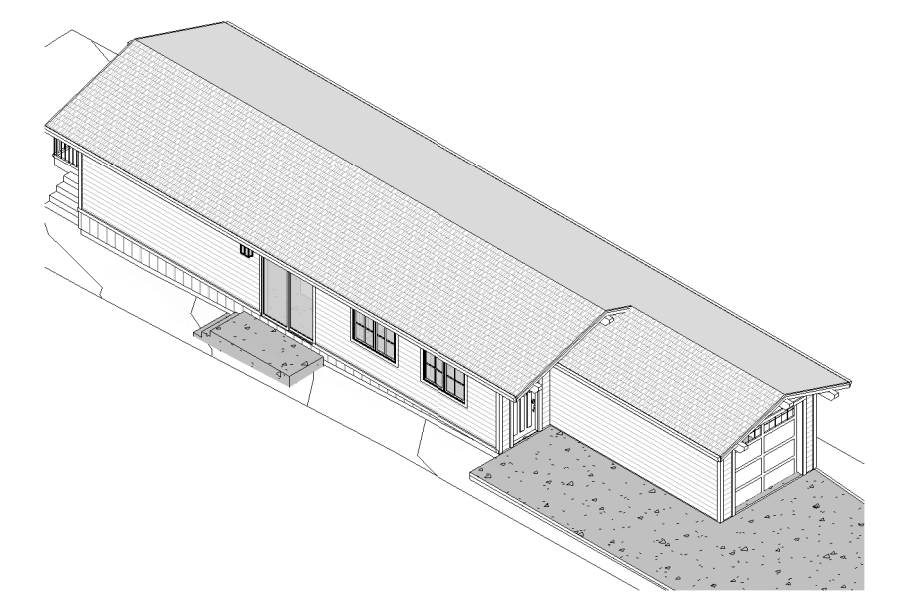
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Revision Date:

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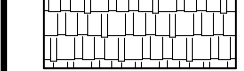

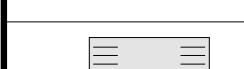
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REN. 7/21

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**SHEET:**  
**A2.11**  
SHEET: OF SHEETS



**LEGEND: ROOF PLAN**

-  ROOFING ASPHALT SHINGLES-1: CLASS "A" 15-YEAR (ARCHITECTURAL GRADE) ASPHALT COMPOSITION ROOFING OVER 2-LAYERS 30 LB FELT AND PLYWOOD SHEATHING. TYP. COLOR AND STYLE TBD.  
OVERHANG: 1'-0" TYP  
UNDERSIDE FINISH: TONGUE AND GROOVE BOARDS PAINT 3-COAT
-  ROOF FASCIA GUTTER-1: 5" HIGH X 4" DEEP X26 GA METAL FASCIA GUTTER PAINT 3-COAT. COLOR AND STYLE AS SELECTED BY OWNER. PROVIDE DOWNSPOUT AT EACH END OF GUTTER RUN UNLESS GUTTER TOTAL LINEAR LENGTH IS LESS THAN 15'-0" TYP, U.N.O.
-  ROOF VENT-1: O'HAGIN VENTILATION; 72 SQ. IN. TAPERED LOW PROFILE MODEL. COLOR AND STYLE TO MATCH ROOFING TILE.

**ATTIC VENTILATION CALCULATION**

AREA	SQUARE FEET		SQUARE INCHES		VENT NFVA	TOP VENTS	BOT VENTS
	REQ. NFVA (A/300)	REQ. NFVA IN SI (NFVA*144)	REQ. NFVA @ TOP & BOT				

-USE 6 (XX) O'HAGIN ROOF VENTS (72 SQ. IN. NFVA EACH) LOCATED IN VIEW. 3 HIGH & 3 LOW.

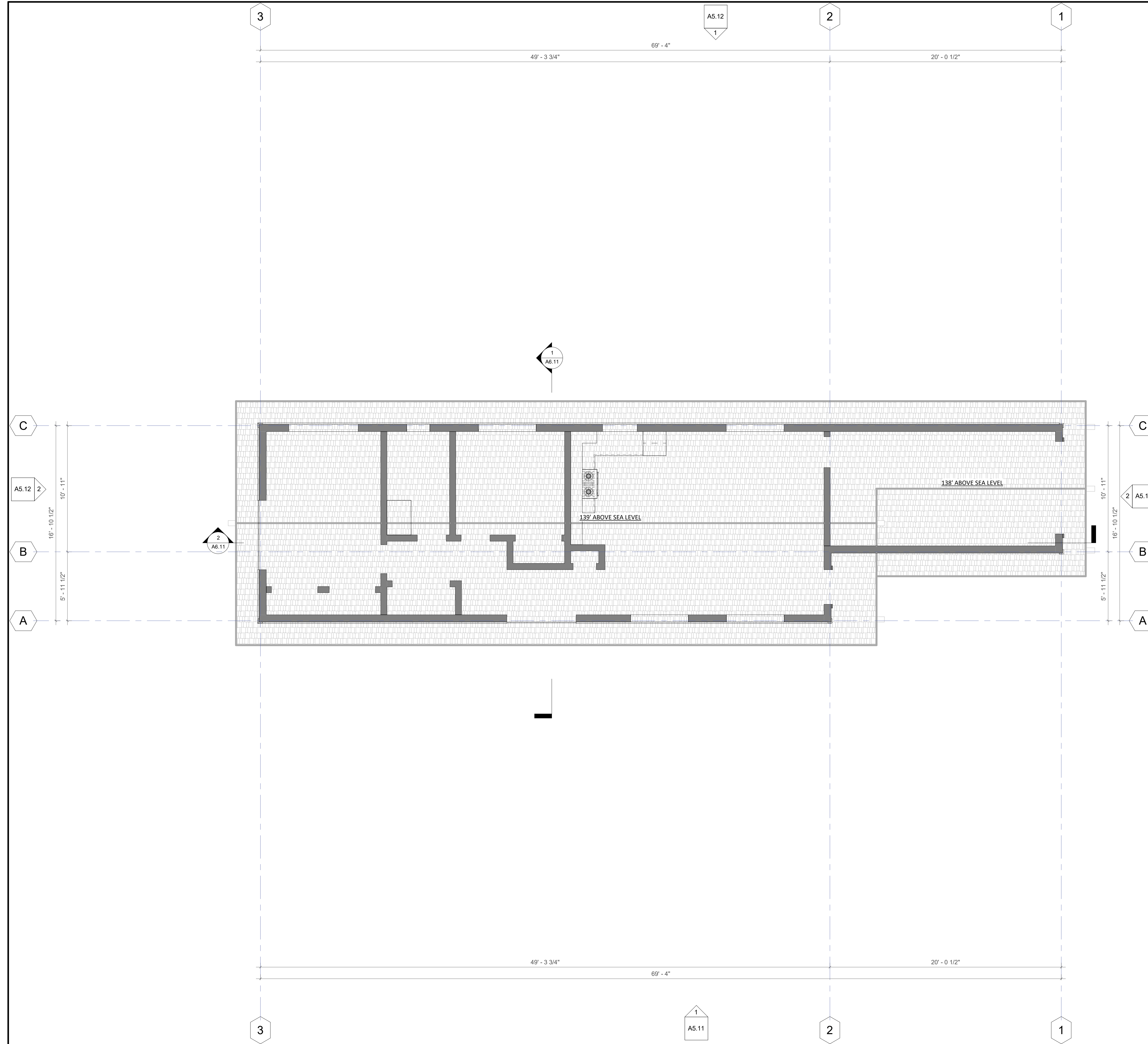
**TRUSS SYSTEM NOTE:**

IF IT IS ELECTED THAT ROOF FRAMING IS A PREMANUFACTURED TRUSS SYSTEM, TRUSS MANUFACTURER AND CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BUILDING TRUSSES AND INSTALLING.

SEAN FREITAS, ARCHITECT. LIMITS ITS RESPONSIBILITY TO INFORMATION REPRESENTED THEREIN AND THE INTENDED USE THEREOF AND ASSUMES NO RESPONSIBILITY FOR ACTUAL AS-BUILT CONDITIONS AND ACTUAL DIMENSIONS AS USED BY THE TRUSS MANUFACTURER.

**ADDITIONAL ROOF NOTES:**

1. ALL OPENINGS PERTAINING TO ATTIC VENTILATION SHALL BE COVERED IN 1/8" CORROSION RESISTANT, NON-COMBUSTIBLE METAL MESH. SEC. R806.2, CRC. U.N.O.
2. WHERE VALLEY FLASHING IS INSTALLED, ROOF VALLEYS SHALL BE NO. 26 GAUGE GALVANIZED SHEET METAL OVER MINIMUM 72 LB. CAP SHEET. SEC R327.5, CRC.
3. ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS. SEC. R327.5, CRC.
4. ROOF COVERING, WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS, BE FIRESTOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF NO. 72 ASTM CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING.
5. VENT AND ROOF STACKS SHALL PROJECT THE MINIMUM DISTANCE REQUIRED BY CODE. PAINT VENTS AND STACKS TO MATCH ROOF MATERIAL COLORS. LOCATED IN AREA LEAST VISIBLE FROM STREET AND CONCEAL IN DORMER VENTS WHENEVER POSSIBLE.
6. ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS WHERE POSSIBLE.



## ROOM NOTES

- ALL INTERIOR WALL/CEILING FINISHES SELECTED BY OWNER, U.N.O. ON FLOOR PLAN SHEET.
- GARAGE FLOOR SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. R309.1
- GARAGE CEILING: **BASE LAYER** 5/8" TYPE X GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO 2X10 WOOD JOISTS W/ 1 1/4" TYPE W OR 5 DRYWALL SCREWS @ 16" O.C. **FACE LAYER** 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED AT RIGHT ANGLES TO JOISTS W/ 1 7/8" TYPE W OR 5 DRYWALL SCREWS 12" O.C. AND INTERMEDIATE JOISTS AND 1 1/2" TYPE G DRYWALL SCREWS 12" O.C. PLACED 2" BACK ON EITHER SIDE OF END JOISTS. JOISTS OFFSET 16" FROM BASE LAYER JOISTS. WOOD SUPPORTS 1/2" MIN PLYWOOD WITH EXTERIOR GLUE APPLIED AT RIGHT ANGLES TO JOISTS W/ 8d NAILS.
- GARAGE WALLS: ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF 2X4 WOOD STUDS 24" O.C. WITH 6d COATED NAILS, 1 7/8" LONG, 0.0915" SHANK, 1/4" HEADS, 7" O.C.

## DOOR NOTES

- ALL EXTERIOR DOORS TO BE PROPERLY WEATHERPROOFED WHEN INSTALLING.
- FIRE RATED DOORS ARE TO BE SOLID CORE 1-3/8" THICK OR 20-MIN FIRE RATED W/ SELF-CLOSING DEVISE.
- LOUVERED DOOR SHALL PROVIDE A MIN. OPENING OF 100 SQ. IN. FOR MAKE-UP AIR. CMC 504.4.1
- DOOR FLASHING SHALL BE IN ACCORDANCE WITH CRC 703.4.
- GC TO COORDINATE SUBMITTAL & FIELD VERIFY ROUGH OPENING SIZES PRIOR TO PURCHASE.
- FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS SHALL CONTAIN A SAFETY GLAZING PER CBC 2406.4

## WINDOW NOTES

- ALL WINDOWS TO BE PROPERLY WEATHERPROOFED WHEN INSTALLING.
- WINDOW FLASHING SHALL BE IN ACCORDANCE WITH CRC 703.4.
- GC TO COORDINATE SUBMITTAL & FIELD VERIFY ROUGH OPENING SIZES PRIOR TO PURCHASE.
- SASHES NOTED AS EGRESS, EMERGENCY ESCAPE AND RESCUE OPENINGS, SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". OPENING SHALL HAVE THE FINISHED SILL HEIGHT NOT GREATER THAN 44" ABOVE FINISHED FLOOR.
- SAFETY GLAZING IS REQUIRED AT LOCATIONS WHERE BOTTOM EDGE OF WINDOW IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET IN A BUILDING WALL WHICH ENCLOSES A TUB OR SHOWER PER CBC 2406.4.5.

## ROOM SCHEDULE

ROOM NO.	ROOM NAME	CEILING	ROOM SIZE (VIF)		NET AREA	REMARKS
		CLG HT	WIDTH	LENGTH		
LEVEL-1 FF						
100	GARAGE	9'	9' - 11"	19' - 6"	193 SF	
101	GREAT RM.	9'	13' - 8"	24' - 1"	330 SF	
102	HALL	9'	3' - 9"	21' - 6"	80 SF	
103	BED1	9'	8' - 11"	9' - 5"	84 SF	
104	BATH1	9'	5' - 5"	8' - 11"	49 SF	
105	M. BED	9'	9' - 11"	13' - 5"	133 SF	

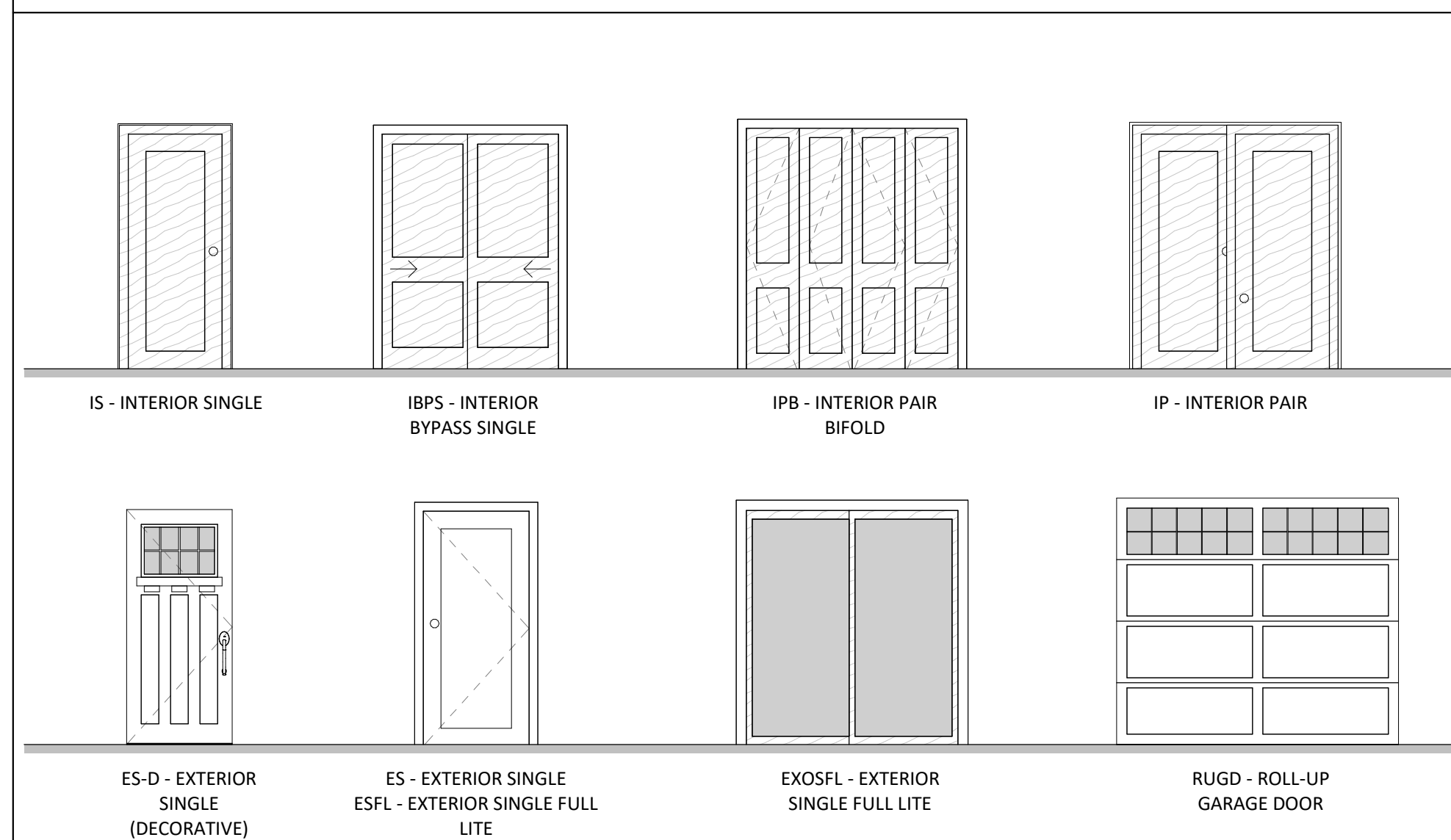
## DOOR SCHEDULE

DOOR NO.	ROOM NO.	WIDTH	HEIGHT	TYPE	STYLE	NOTES
GARAGE FF						
112	100	8' - 0"	8' - 0"	RU20PD-D		
LEVEL-1 FF						
100	101	3' - 0"	6' - 8"	ES-D	DECORATIVE	
101	102	2' - 0"	6' - 8"	IS		
102	102	6' - 0"	8' - 0"	EXOSFL		
103	102	5' - 0"	6' - 8"	IPB		
104	105	2' - 6"	8' - 0"	IS		
105	105	4' - 0"	6' - 8"	IBPS		
106	105	4' - 0"	6' - 8"	IBPS		
107	105	6' - 0"	8' - 0"	EXOSFL		
108	104	2' - 6"	8' - 0"	IS		
109	103	2' - 6"	8' - 0"	IS		
110	103	4' - 0"	6' - 8"	IBPS		
111	100	2' - 8"	6' - 8"	IS	THREE PANEL	

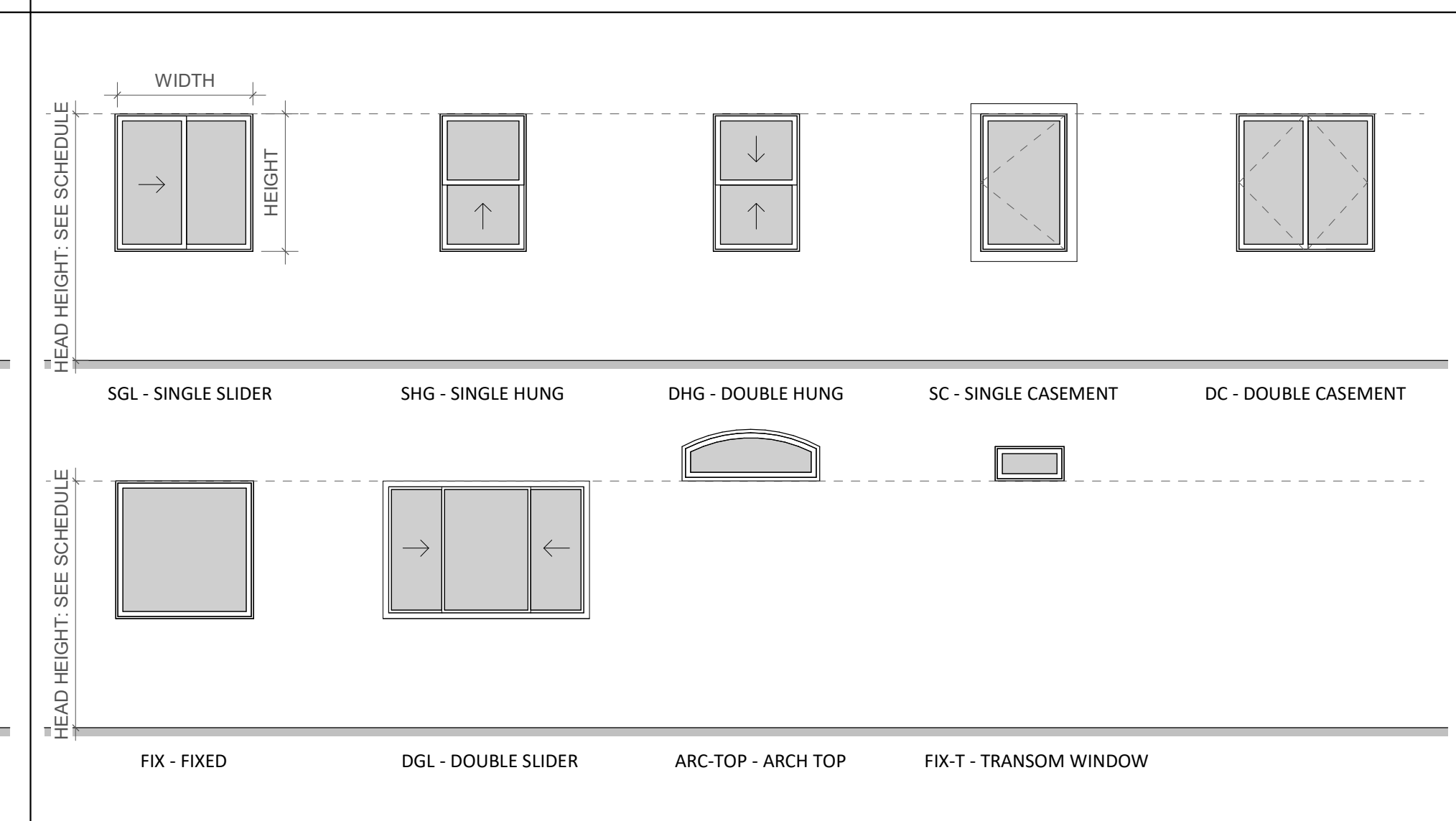
## WINDOW SCHEDULE

WINDOW NO.	ROOM NO.	WINDOW (VERIFY ROUGH OPENING W/ MANF)				HEAD HEIGHT	NOTES
		WIDTH	HEIGHT	GLAZING	TYPE		
LEVEL-1 FF							
100	101	3' - 0"	1' - 0"	TEMP	AWN	7' - 8"	
101	101	5' - 0"	5' - 0"	--	DCM	8' - 0"	
102	101	5' - 0"	5' - 0"	--	DCM	8' - 0"	
103	105	6' - 0"	1' - 6"	--	AWN	8' - 0"	
104	104	2' - 0"	2' - 0"	--	AWN	8' - 0"	
105	103	5' - 0"	5' - 0"	--	DCM	8' - 0"	
106	101	3' - 0"	4' - 0"	--	SC	8' - 0"	
107	101	5' - 0"	5' - 0"	--	DCM	8' - 0"	

## DOOR TYPES



## WINDOW TYPES



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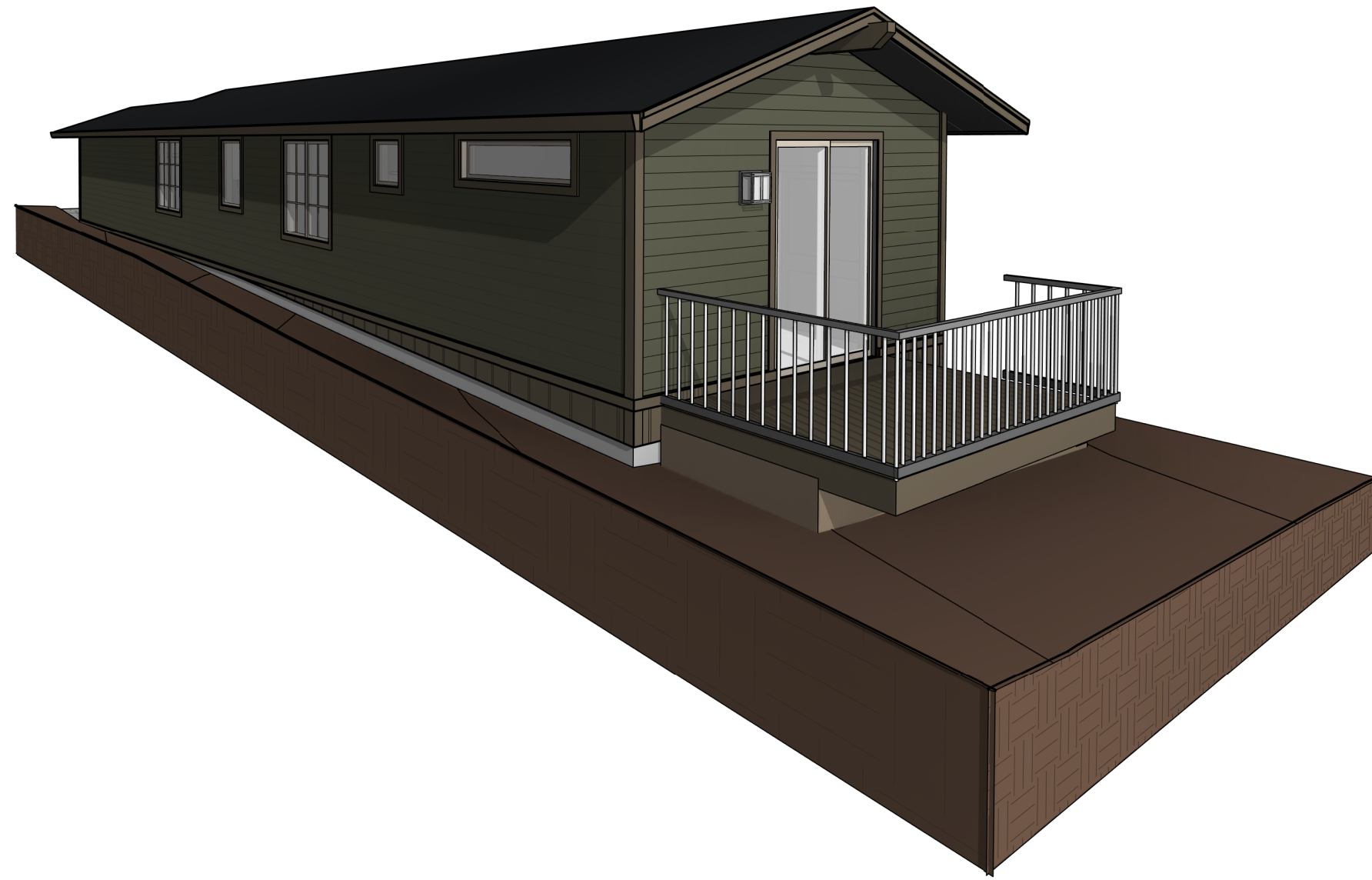
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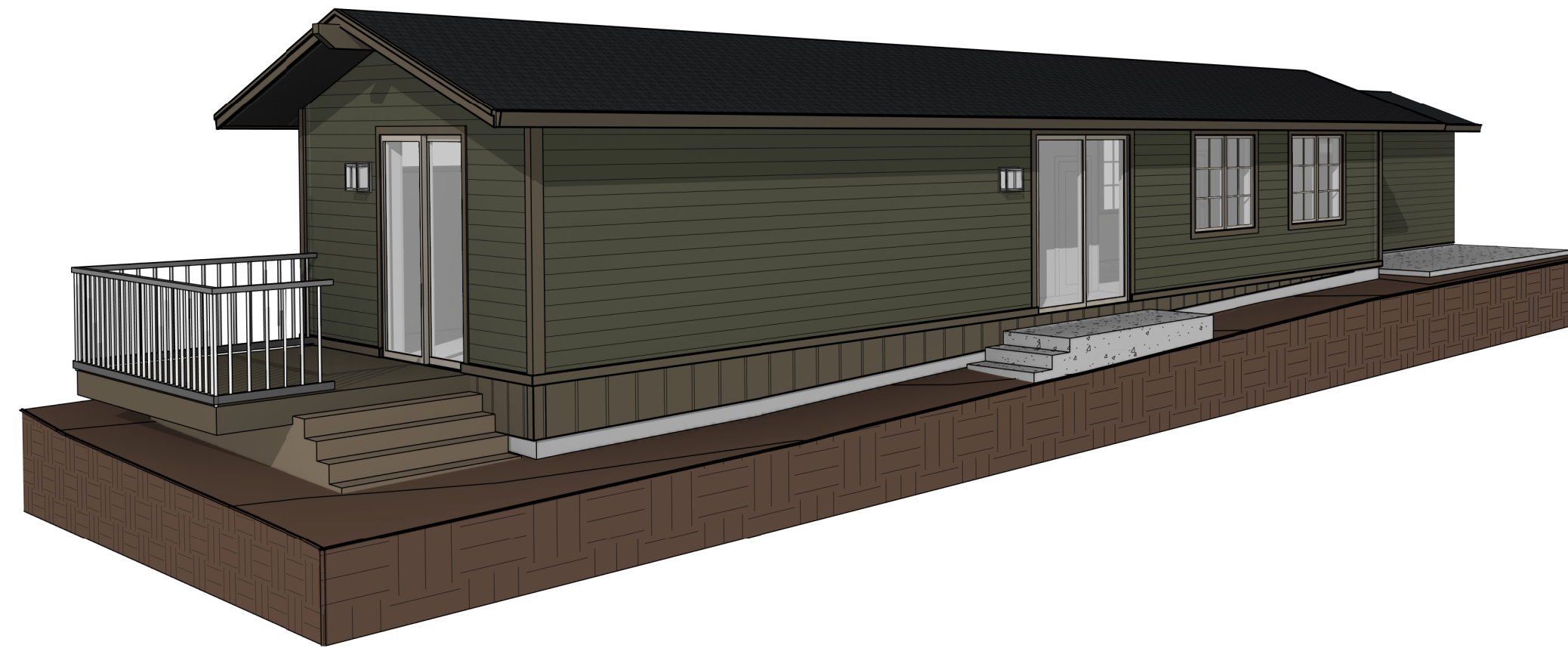
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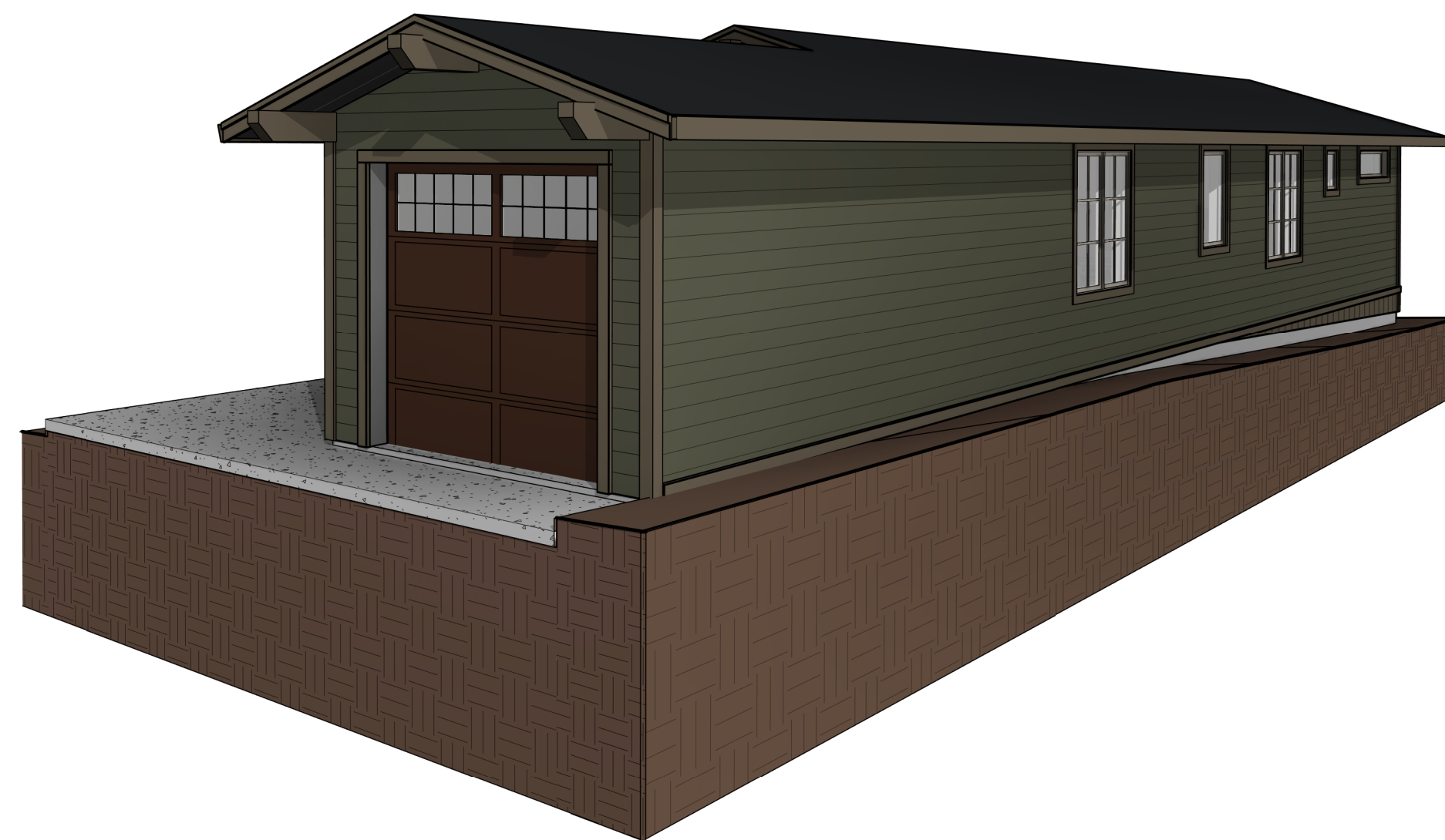
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SHEET: OF SHEETS



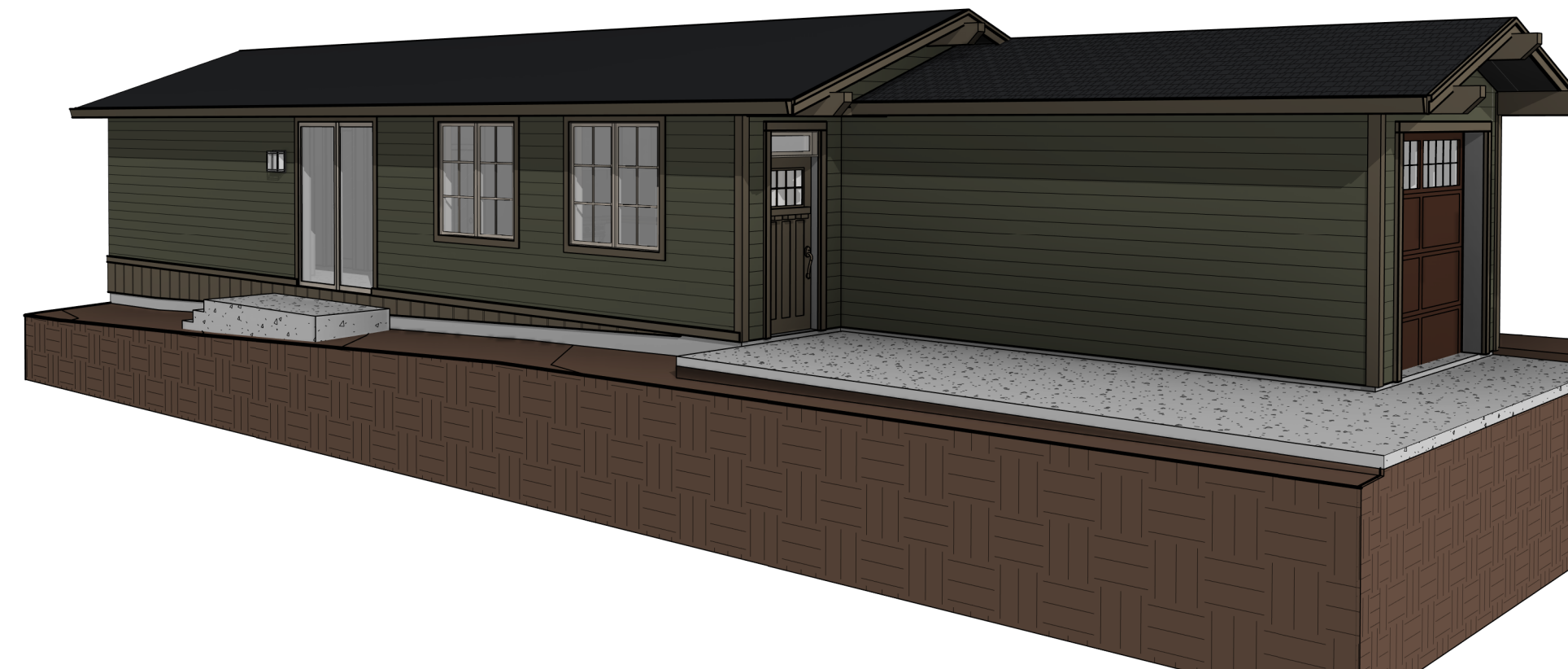
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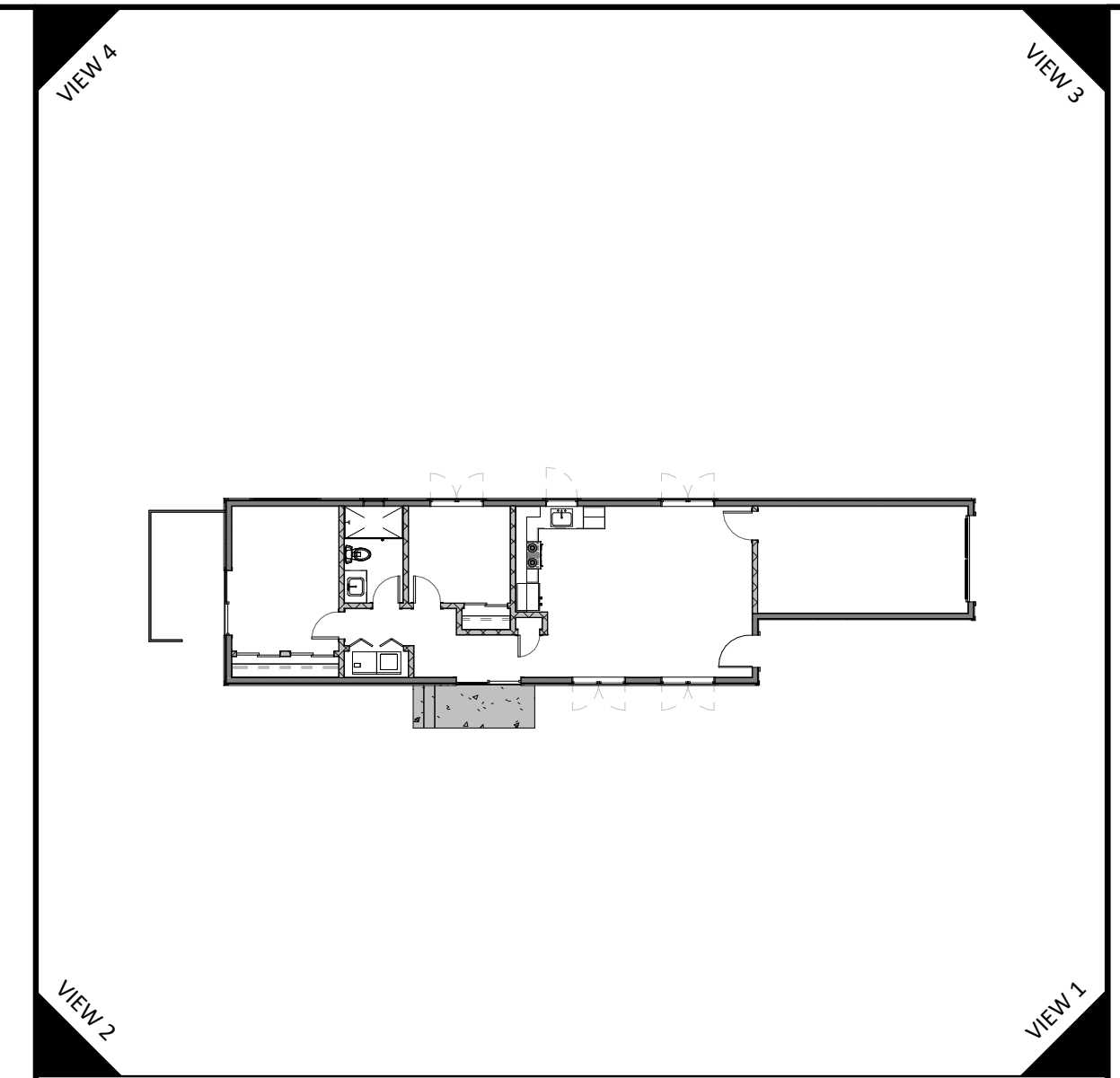
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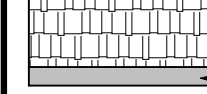
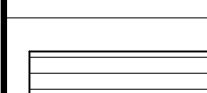
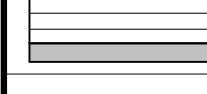
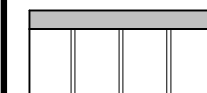
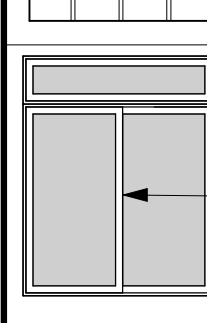
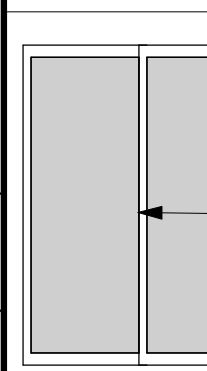
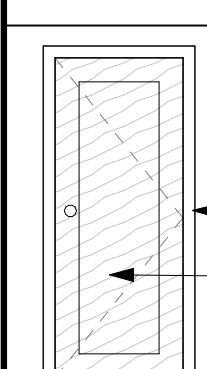
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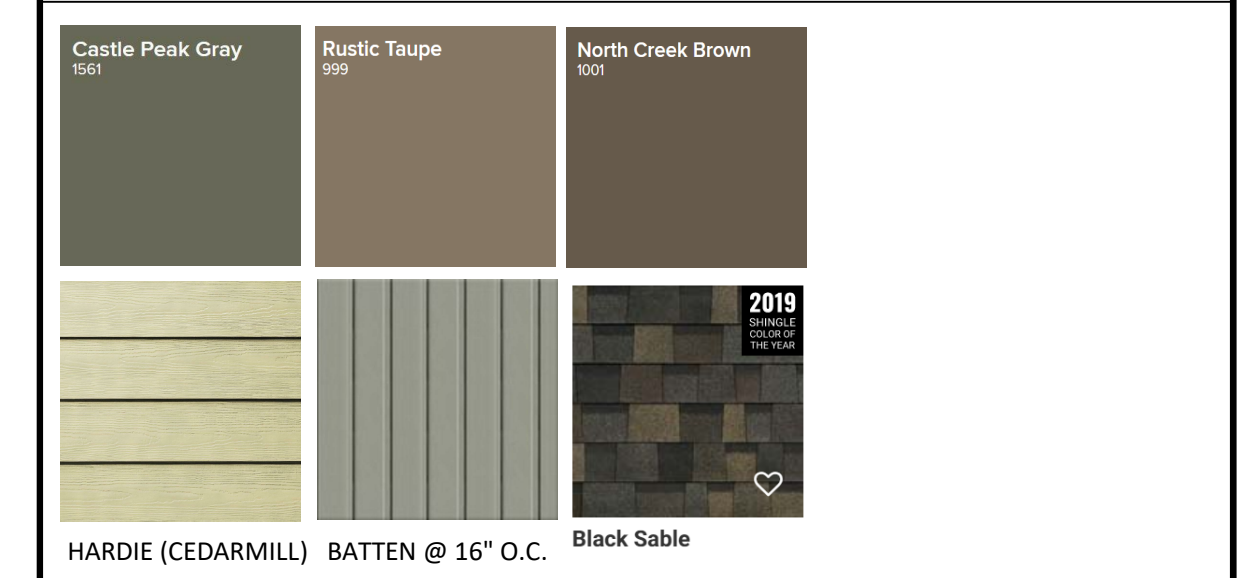
**LEGEND: ELEVATIONS EXTERIOR**

-  CLASS "A" ASPHALT SHINGLES: SEE ROOF PLAN FOR ADDITIONAL INFORMATION
-  ROOF FASCIA GUTTER-1: SEE ROOF PLAN FOR ADDITIONAL INFORMATION
-  LAP SIDING: HARDIE PLANK FIBER CEMENT LAP SIDING (CEDARMILL) OVER 2-LAYERS OF GRADE D BUILDING PAPER AND 3/8" MIN. OSB SHEATHING. COLOR: SEE ELEVATIONS. 2X4 TRIM OVER 1X SPACER, KEY FOR STUCCO: PAINT 3-COAT TRIM.
-  BOARD & BATTEN SIDING: HARDIE VERTICAL SIDING (CEDARMILL) W/ BATTEN @ 16" O.C. OVER 2-LAYERS OF GRADE D BUILDING PAPER AND 3/8" MIN. OSB SHEATHING. COLOR: SEE ELEVATIONS
-  WINDOWS-1: MAKE/MODEL - AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.  
 FRAME: VINYL - COLOR: CLAY  
 GRID PATTERN: 2X1 UPPER PANEL  
 2X4 TRIM & SHUTTERS WHERE OCCURS: PAINT 3-COAT AS SELECTED BY OWNER.
-  DOORS-1: MAKE/MODEL - (SBO) SLIDING GLASS DOOR. CAULK & FLASH ALL EXTERIOR JOINTS (TYP) PER MANUFACTURER'S SPECIFICATIONS.  
 FRAME: VINYL - COLOR: CLAY  
 2X4 TRIM WHERE OCCURS: PAINT 3-COAT AS SHOWN ON ELEVATIONS
-  DOORS-1: MAKE/MODEL AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.  
 2X4 TRIM WHERE OCCURS: PAINT 3-COAT AS SHOWN ON ELEVATIONS  
 PANEL STYLE: THREE-PANEL SMOOTH OR AS SELECTED BY OWNER.

**ADDITIONAL ELEVATION NOTES:**

1. ADDRESS NUMBERS WITH CONTRASTING BACKGROUND SHALL BE CLEARLY VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY. ADDRESS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH.
2. GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
3. INSTALL ALL PRE-MANUFACTURED MATERIALS PER MANUFACTURERS REQUIREMENTS, RECOMMENDATIONS AND SPECIFICATIONS. INSTALLATION REQUIREMENTS TO BE PROVIDED BY BUILDER.
4. ALL FOAM TRIM IS ATTACHED WITH AN ACRYLIC BASED GLUE.
5. EXTERIOR PORCH CEILINGS SHALL BE NON-COMBUSTIBLE MATERIAL, IGNITION RESISTANT MATERIAL OR ONE LAYER OF 5/8" TYPE X EXTERIOR RATED GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE PORCH CEILING.
6. FLOOR PROJECTIONS SHALL BE NON-COMBUSTIBLE MATERIAL, IGNITION RESISTANT MATERIAL OR ONE LAYER OF 5/8" TYPE X EXTERIOR RATED GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE FLOOR PROJECTION.
7. DECKING SHALL BE 1-1/4 INCH MINIMUM THICKNESS SOLID WOOD OR A PRODUCT APPROVED BY OSFM BLM.
8. PROVIDE MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS PER 2019 CRC SECTION R303.5.1.

**MATERIALS:**



**GRAPHIA**  
 ARCHITECTURE  
 & ENGINEERING

100 GATEWAY DRIVE, SUITE 120  
 LINCOLN, CA 95648  
 (916) 580-9981  
 Sean@GRAPHIA.com  
 GRAPHIA.com

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PROJECT: 20190110


CLIENT: FREITAS FAMILY  
 KATHLEEN FREITAS  
 2515 ANVIL COURT,  
 ROCKLIN, CA 95765

Tel: 916-580-9981  
 Email: sean@graphia.com

**NEW SINGLE FAMILY RESIDENCE**  
**FREITAS FAMILY**  
 047-208-120 AVENUE PORTOLA,  
 EL GRANADA, CA

TITLE: PERSPECTIVE VIEWS  
 ISSUES:  
 Project Issue Date:  
 Project Status:  
 Sheet Issue Date: 12/04/2019  
 Revision Number:  
 Revision Date:

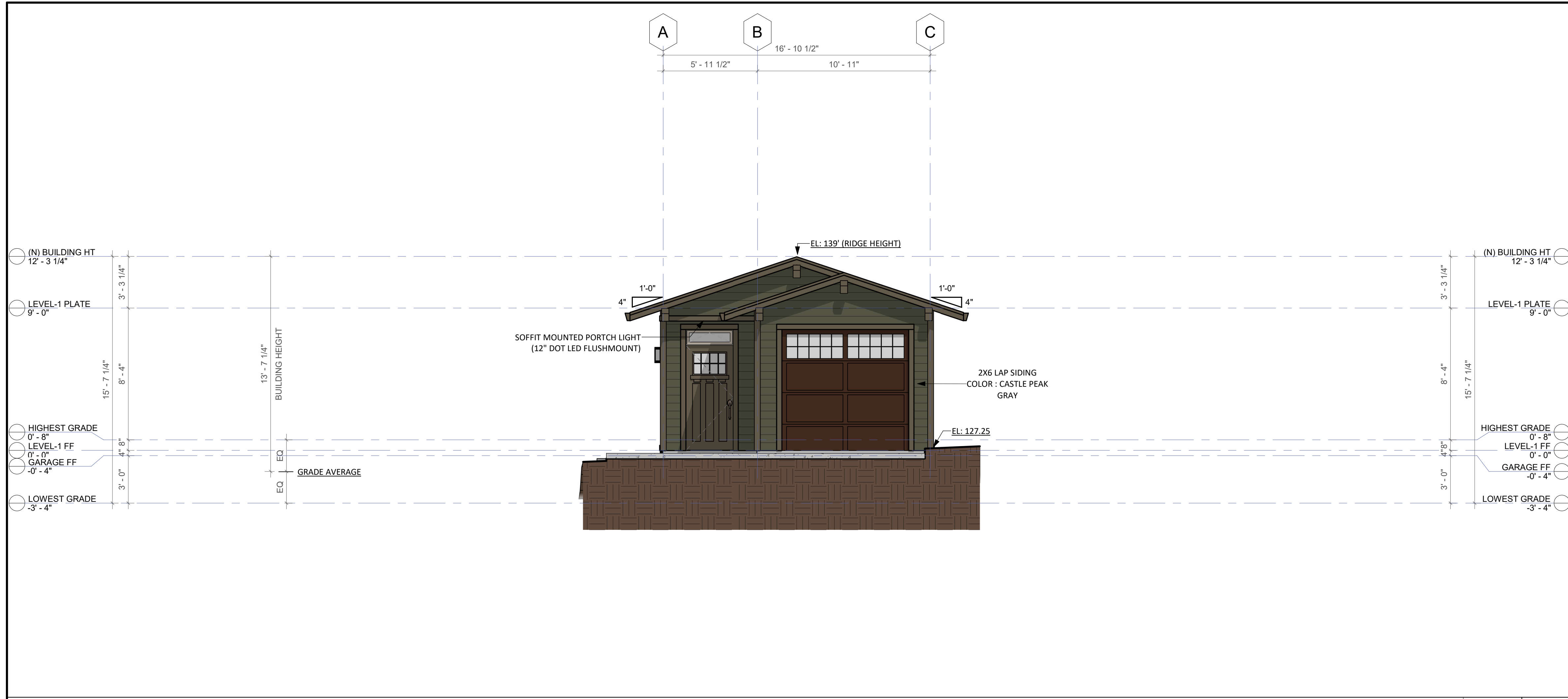
ARCHITECT'S APPROVAL



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SHEET:  
**A5.00**  
 SHEET OF SHEETS



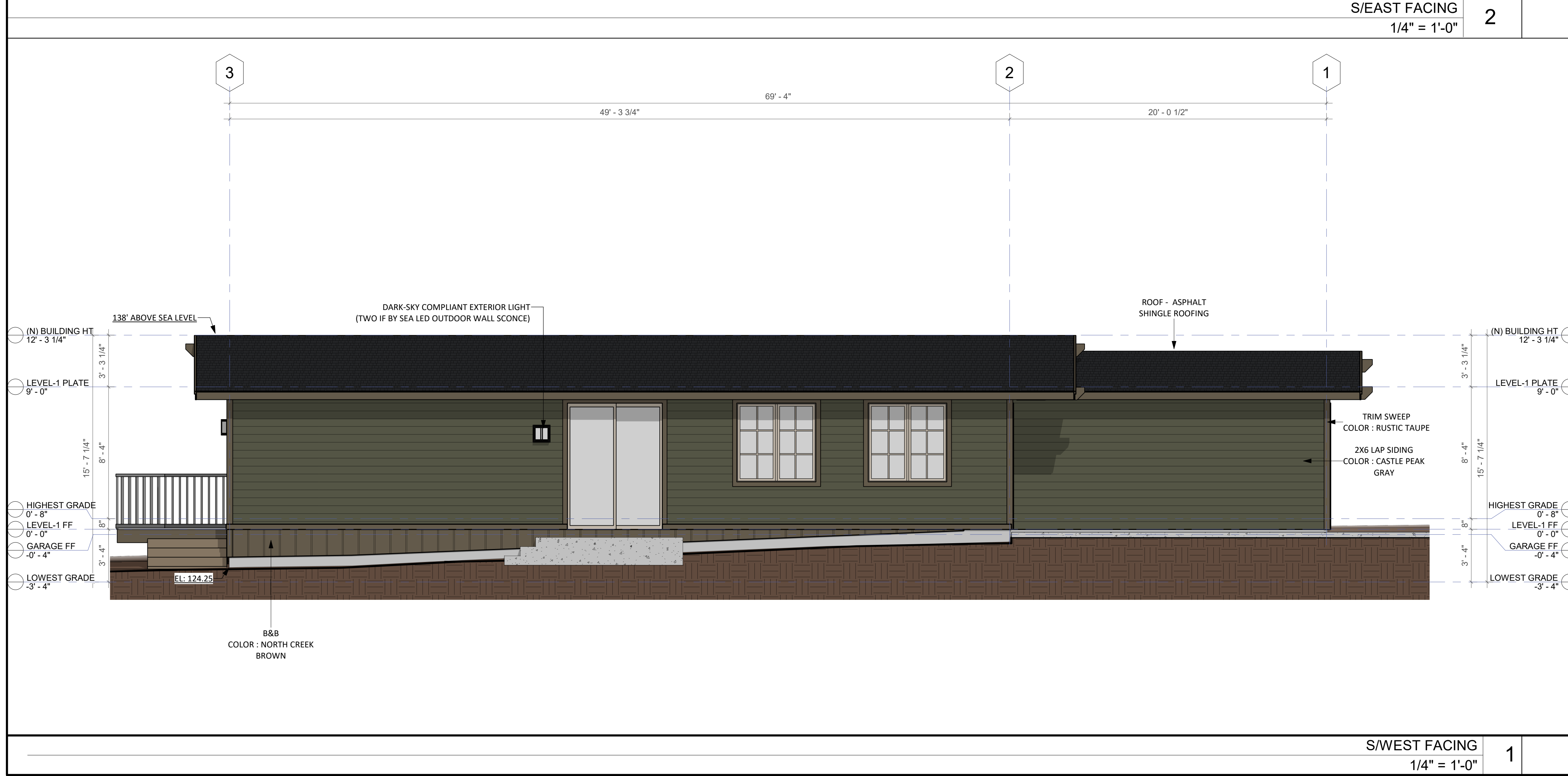


**LEGEND: ELEVATIONS EXTERIOR**

	CLASS "A" ASPHALT SHINGLES: SEE ROOF PLAN FOR ADDITIONAL INFORMATION
	ROOF FASCIA GUTTER-1: SEE ROOF PLAN FOR ADDITIONAL INFORMATION
	LAP SIDING: HARDIE PLANK FIBER CEMENT LAP SIDING (CEDARMILL) OVER 2-LAYERS OF GRADE D BUILDING PAPER AND 3/8" MIN. OSB SHEATHING. COLOR: SEE ELEVATIONS. 2X4 TRIM OVER 1X SPACER, KEY FOR STUCCO: PAINT 3-COAT TRIM.
	2X4 TRIM OVER 1X SPACER, KEY FOR STUCCO: PAINT 3-COAT TRIM. BOARD & BATTEN SIDING: HARDIE VERTICAL SIDING (CEDARMILL) W/ BATTEN @ 16" O.C. OVER 2-LAYERS OF GRADE D BUILDING PAPER AND 3/8" MIN. OSB SHEATHING. COLOR: SEE ELEVATIONS
	WINDOWS-1: MAKE/MODEL - AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O. FRAME: VINYL - COLOR: CLAY GRID PATTERN: 2X1 UPPER PANEL 2X4 TRIM & SHUTTERS WHERE OCCURS: PAINT 3-COAT AS SELECTED BY OWNER.
	DOORS-1: MAKE/MODEL - (SBO) SLIDING GLASS DOOR. CAULK & FLASH ALL EXTERIOR JOINTS (TYP) PER MANUFACTURER'S SPECIFICATIONS. FRAME: VINYL - COLOR: CLAY 2X4 TRIM WHERE OCCURS: PAINT 3-COAT AS SHOWN ON ELEVATIONS
	DOORS-1: MAKE/MODEL AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O. 2X4 TRIM WHERE OCCURS: PAINT 3-COAT AS SHOWN ON ELEVATIONS PANEL STYLE: THREE-PANEL SMOOTH OR AS SELECTED BY OWNER.

- ADDITIONAL ELEVATION NOTES:**
- ADDRESS NUMBERS WITH CONTRASTING BACKGROUND SHALL BE CLEARLY VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY. ADDRESS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH.
  - GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
  - INSTALL ALL PRE-MANUFACTURED MATERIALS PER MANUFACTURERS REQUIREMENTS, RECOMMENDATIONS AND SPECIFICATIONS. INSTALLATION REQUIREMENTS TO BE PROVIDED BY BUILDER.
  - ALL FOAM TRIM IS ATTACHED WITH AN ACRYLIC BASED GLUE.
  - EXTERIOR PORCH CEILINGS SHALL BE NON-COMBUSTIBLE MATERIAL, IGNITION RESISTANT MATERIAL OR ONE LAYER OF 5/8" TYPE X EXTERIOR RATED GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE PORCH CEILING.
  - FLOOR PROJECTIONS SHALL BE NON-COMBUSTIBLE MATERIAL, IGNITION RESISTANT MATERIAL OR ONE LAYER OF 5/8" TYPE X EXTERIOR RATED GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE FLOOR PROJECTION.
  - DECKING SHALL BE 1-1/4 INCH MINIMUM THICKNESS SOLID WOOD OR A PRODUCT APPROVED BY OSFM BLM.
  - PROVIDE MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS PER 2019 CRC SECTION R303.5.1.

**MATERIALS:**

**TITLE: ELEVATIONS**

**ISSUES:**  
 Project Issue Date:  
 Project Status:  
 Sheet Issue Date:  
 Revision Number:  
 Revision Date:

12/04/2019

**ARCHITECT'S APPROVAL**

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**SHEET: A5.11**

SHEET: OF SHEETS

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**PROJECT: 20190110**

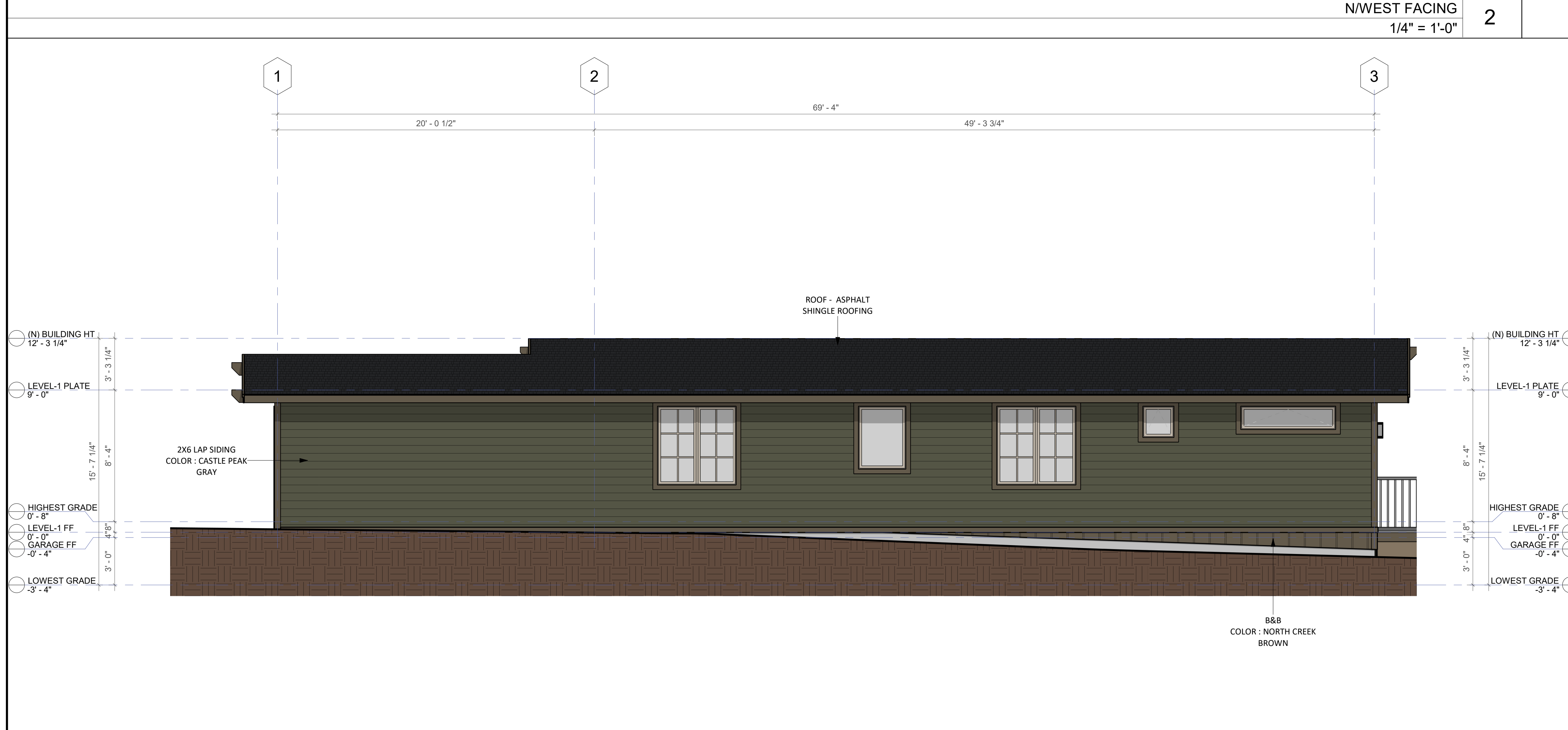
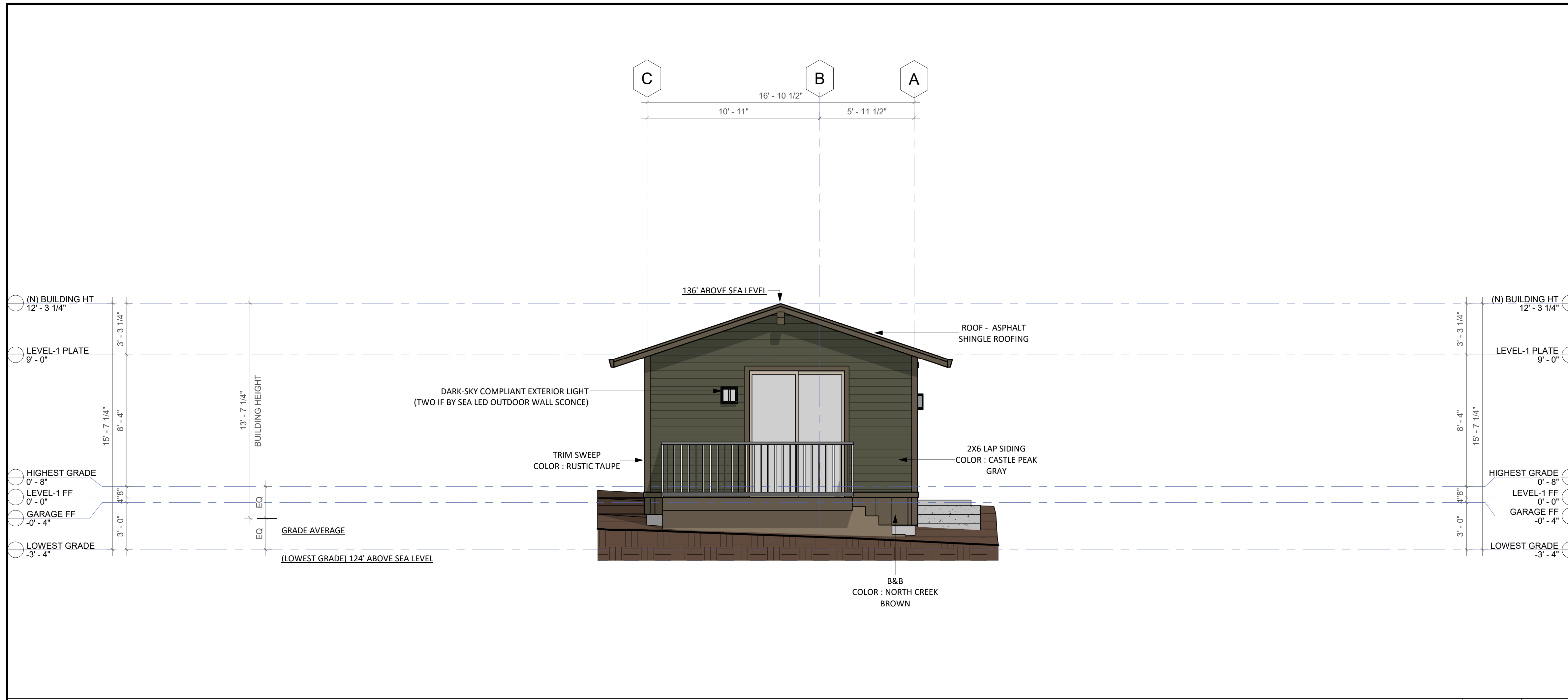
CLIENT: FREITAS FAMILY  
 KATHLEEN FREITAS  
 2515 ANVIL COURT,  
 ROCKLIN, CA 95765

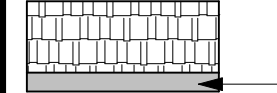
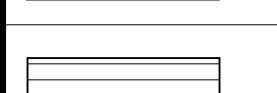
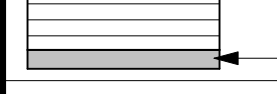
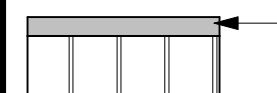

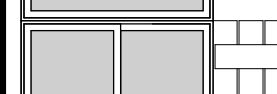
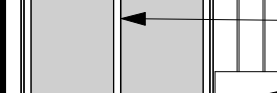
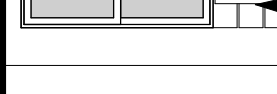
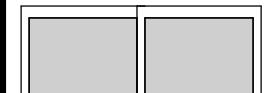

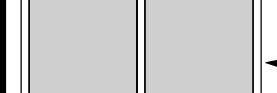
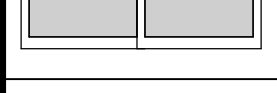


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**NEW SINGLE FAMILY RESIDENCE**  
**FREITAS FAMILY**  
 047-208-120 AVENUE PORTOLA,  
 EL GRANADA, CA

S/EAST FACING  
 1/4" = 1'-0" 2

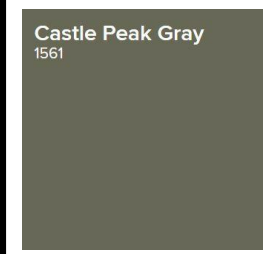
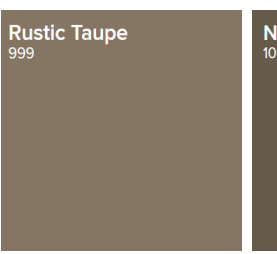
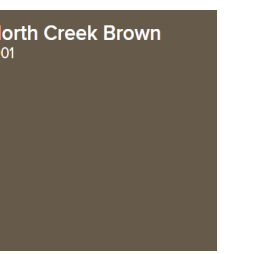

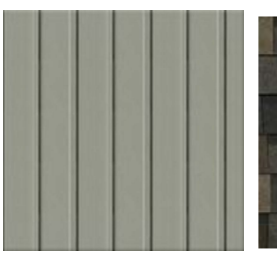

S/WEST FACING  
 1/4" = 1'-0" 1



- ### LEGEND: ELEVATIONS EXTERIOR
-  CLASS "A" ASPHALT SHINGLES: SEE ROOF PLAN FOR ADDITIONAL INFORMATION
  -  ROOF FASCIA GUTTER-1: SEE ROOF PLAN FOR ADDITIONAL INFORMATION
  -  LAP SIDING: HARDIE PLANK FIBER CEMENT LAP SIDING (CEDARMILL) OVER 2-LAYERS OF GRADE D BUILDING PAPER AND 3/8" MIN. OSB SHEATHING. COLOR: SEE ELEVATIONS.
  -  BOARD & BATTEN SIDING: HARDIE VERTICAL SIDING (CEDARMILL) W/ BATTEN @ 16" O.C. OVER 2-LAYERS OF GRADE D BUILDING PAPER AND 3/8" MIN. OSB SHEATHING. COLOR: SEE ELEVATIONS
  -  WINDOWS-1: MAKE/MODEL - AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
  -  FRAME: VINYL - COLOR: CLAY
  -  GRID PATTERN: 2X1 UPPER PANEL
  -  2X4 TRIM & SHUTTERS WHERE OCCURS: PAINT 3-COAT AS SELECTED BY OWNER.
  -  DOORS-1: MAKE/MODEL - (SBO) SLIDING GLASS DOOR. CAULK & FLASH ALL EXTERIOR JOINTS (TYP) PER MANUFACTURER'S SPECIFICATIONS.
  -  FRAME: VINYL - COLOR: CLAY
  -  2X4 TRIM WHERE OCCURS: PAINT 3-COAT AS SHOWN ON ELEVATIONS
  -  DOORS-1: MAKE/MODEL AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
  -  2X4 TRIM WHERE OCCURS: PAINT 3-COAT AS SHOWN ON ELEVATIONS
  -  PANEL STYLE: THREE-PANEL SMOOTH OR AS SELECTED BY OWNER.

- ### ADDITIONAL ELEVATION NOTES:
1. ADDRESS NUMBERS WITH CONTRASTING BACKGROUND SHALL BE CLEARLY VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY. ADDRESS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH.
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  5. EXTERIOR PORCH CEILING SHALL BE NON-COMBUSTIBLE MATERIAL, IGNITION RESISTANT MATERIAL OR ONE LAYER OF 5/8" TYPE X EXTERIOR RATED GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE PORCH CEILING.
  6. FLOOR PROJECTIONS SHALL BE NON-COMBUSTIBLE MATERIAL, IGNITION RESISTANT MATERIAL OR ONE LAYER OF 5/8" TYPE X EXTERIOR RATED GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE FLOOR PROJECTION.
  7. DECKING SHALL BE 1-1/4 INCH MINIMUM THICKNESS SOLID WOOD OR A PRODUCT APPROVED BY OSFM BLM.
  8. PROVIDE MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS PER 2019 CRC SECTION R303.5.1.

### MATERIALS:

HARDIE (CEDARMILL) BATTEN @ 16" O.C. Black Sable

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NEW SINGLE FAMILY RESIDENCE  
**FREITAS FAMILY**  
047-208-120 AVENUE PORTOLA,  
EL GRANADA, CA

TITLE: ELEVATIONS  
ISSUES:  
Project Issue Date:  
Project Status:  
Sheet Issue Date: 12/04/2019  
Revision Number:  
Revision Date:



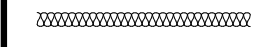
ARCHITECT'S APPROVAL

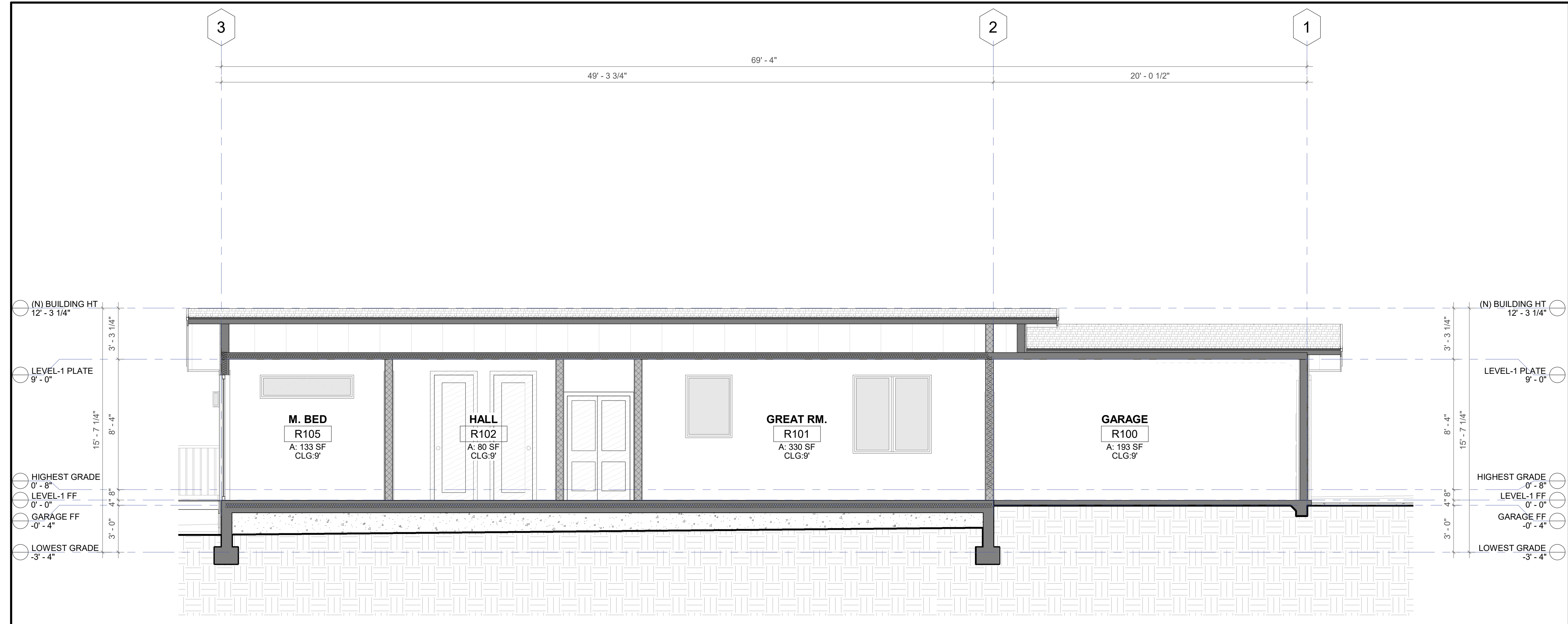


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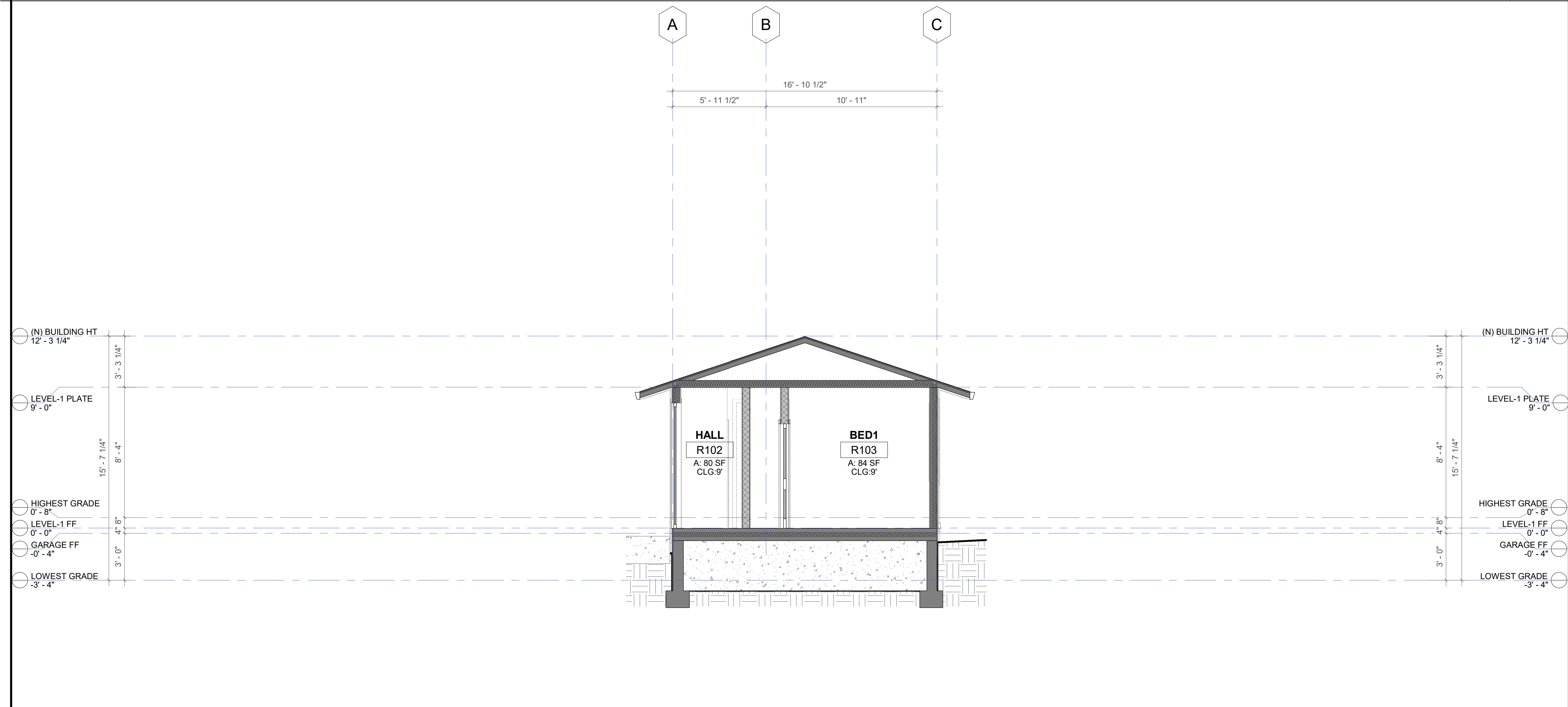
SHEET:  
**A5.12**  
SHEET: OF SHEETS

**LEGEND: BUILDING SECTION**

-  IF SELECTED, EXTERIOR WALL INSULATION: R-15 INSULATION AT ALL 2X4 EXTERIOR WALL CAVITIES, TYP.
-  IF SELECTED, EXTERIOR WALL INSULATION: R-19 INSULATION AT ALL 2X6 EXTERIOR WALL CAVITIES, TYP.
-  IF SELECTED, EXTERIOR ROOF/CEILING INSULATION: R-38 BATT INSULATION AT ALL EXTERIOR ROOF AND/OR CEILING CAVITIES, TYP.



Section 2  
1/4" = 1'-0" 2



Section 1  
1/4" = 1'-0" 1

**Dot LED Flushmount**  
By dweLED



**Product Options**

Finish: Stainless Steel, Black  
Size: 6 inches, 9 inches, 12 inches, 15 inches  
Color Temperature: 3000, 3500

**Details**

- May be mounted on ceiling or wall
- No transformer or driver needed
- Dimmable with an ELV dimmer (not included)
- Designed in 2018
- Material: Stainless Steel
- Shade Material: Clear Acrylic
- Dimmable When Used With a Electronic low voltage (ELV) Dimmer (Not Included)
- Dimmer Range: 100-10
- ADA compliant, Dark Sky compliant, Title 24 compliant
- ETL Listed Wet
- Warranty: 5 Years Functional, 2 Years Finish
- Made In China

**Dimensions**

6 inches Option Fixture: Height 2.5", Diameter 6"  
9 inches Option Fixture: Height 2.5", Diameter 9"  
12 inches Option Fixture: Height 2.5", Diameter 12"  
15 inches Option Fixture: Height 2.5", Diameter 15"

**Lighting**

- 6 inches Option: 15.6 Watt (1300 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3000K Lifespan: 54000 hours
- 6 inches Option: 15.6 Watt (1300 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3500K Lifespan: 54000 hours
- 9 inches Option: 18.5 Watt (1700 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3000K Lifespan: 54000 hours
- 9 inches Option: 18.5 Watt (1700 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3500K Lifespan: 54000 hours
- 12 inches Option: 30.9 Watt (2650 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3000K Lifespan: 54000 hours
- 12 inches Option: 30.9 Watt (2650 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3500K Lifespan: 54000 hours
- 15 inches Option: 26.6 Watt (2728 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3000K Lifespan: 54000 hours
- 15 inches Option: 26.6 Watt (2728 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3500K Lifespan: 54000 hours

**Additional Details**

Product URL: <https://www.lumens.com/dot-led-flushmount-by-dweled-WACP201432.html>  
Rating: ETL Listed Wet

Product ID: WACP201432

Prepared by: GADSF  
ASDF

Prepared for: ASDF  
Project: ASDF  
Room: ASDF  
Placement: ASDF  
Approval:



Created June 12th, 2020



Notes:



**Two If By Sea LED Outdoor Wall Sconce**  
By Modern Forms



**Product Options**

Size: Small, Large

**Details**

- Designed in 2019
- Finish: Black
- Material: Aluminum
- Shade Material: Glass
- Dimmable When Used With a Electronic low voltage (ELV) Dimmer (Not Included)
- Dimmer Range: 100 to 5%
- Dark Sky compliant, Title 24 compliant
- Installation Type: Hardwired
- ETL Listed Wet
- Warranty: 5 Years Functional, 2 Years Finish
- Made In USA

**Dimensions**

Small Option Fixture: Width 4.5", Height 11.87", Extension 5.81"  
Large Option Fixture: Width 6", Height 18", Extension 7.56"

**Lighting**

- Small Option: 15 Watt (916 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 50000 hours
- Large Option: 15 Watt (932 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 50000 hours

**Additional Details**

Product URL: <https://www.lumens.com/two-if-by-sea-led-outdoor-wall-sconce-by-modern-forms-MFMP281811.html>  
Rating: ETL Listed Wet

Product ID: MFMP281811

Prepared by: GADSF  
ASDF

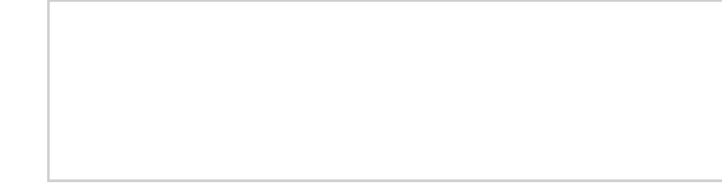
Prepared for: ASDF  
Project: ASDF  
Room: ASDF  
Placement: ASDF  
Approval:



Created June 12th, 2020



Notes:



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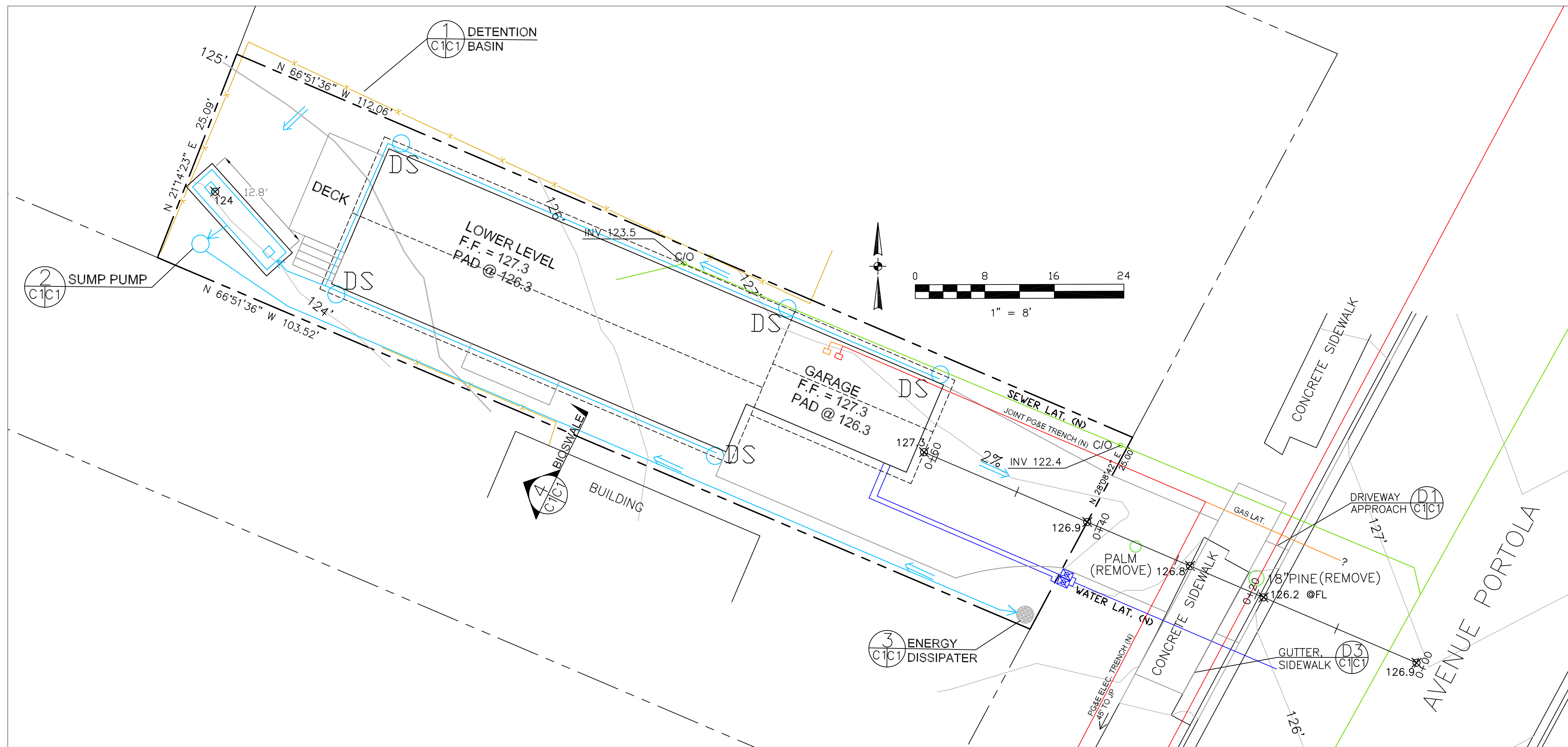
NEW SINGLE FAMILY RESIDENCE  
**FREITAS FAMILY**  
047-208-120 AVENUE PORTOLA,  
EL GRANADA, CA

TITLE:  
LIGHTING SHEETS  
ISSUES:  
Project Issue Date:  
Project Status:  
Sheet Issue Date:  
Revision Number:  
Revision Date:



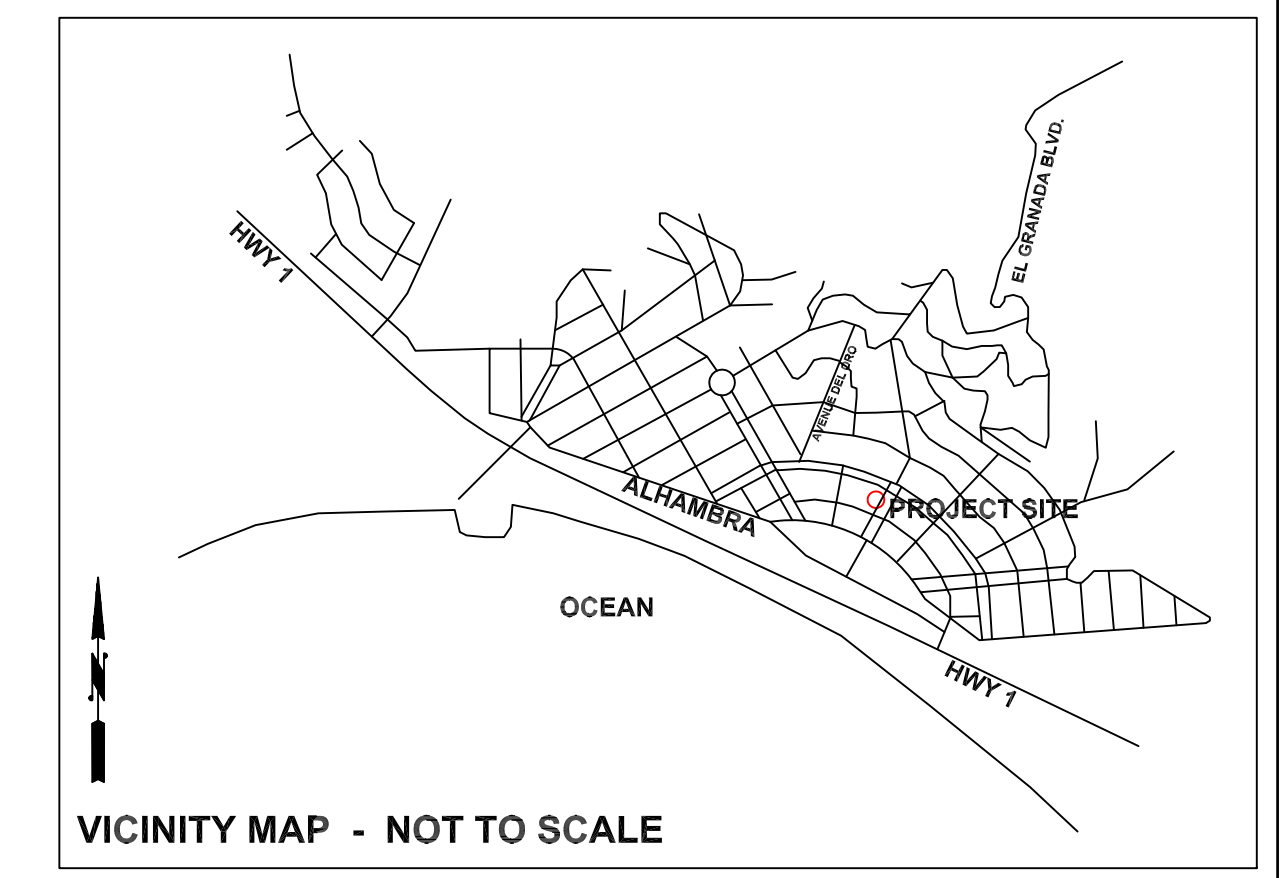
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SHEET:  
**AT.0**  
SHEET: OF SHEETS



**LEGEND**

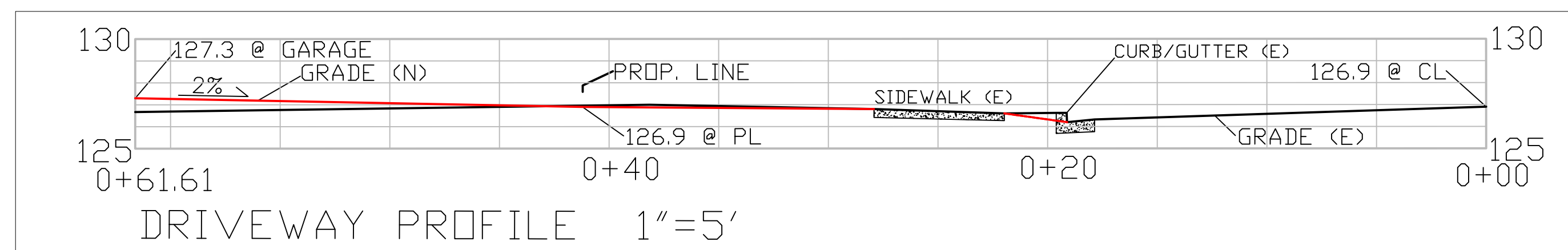
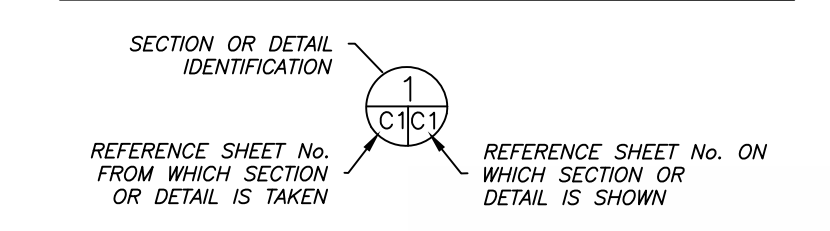
- EXISTING CONTOURS
- 122.7 PROPOSED SPOT ELEVATION
- ENERGY DISSIPATER - PER DETAIL 3
- DS DOWNSPOUT
- 4" MIN SOLID DRAIN PIPE



**GENERAL NOTES**

1. PLANS PREPARED AT THE REQUEST OF: SEAN FREITAS, OWNER
2. TOPOGRAPHY BY CONTI AND ASSOC.; SEPTEMBER, 2019.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM ASSUMED.
5. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650-306-8405 EXT 181) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

**SECTION AND DETAIL CONVENTION**



**GRADING NOTES**

CUT VOLUME : 15 CY  
 FILL VOLUME : 15 CY  
 TOTAL : 30 CY

VOLUMES ABOVE ARE APPROXIMATE.

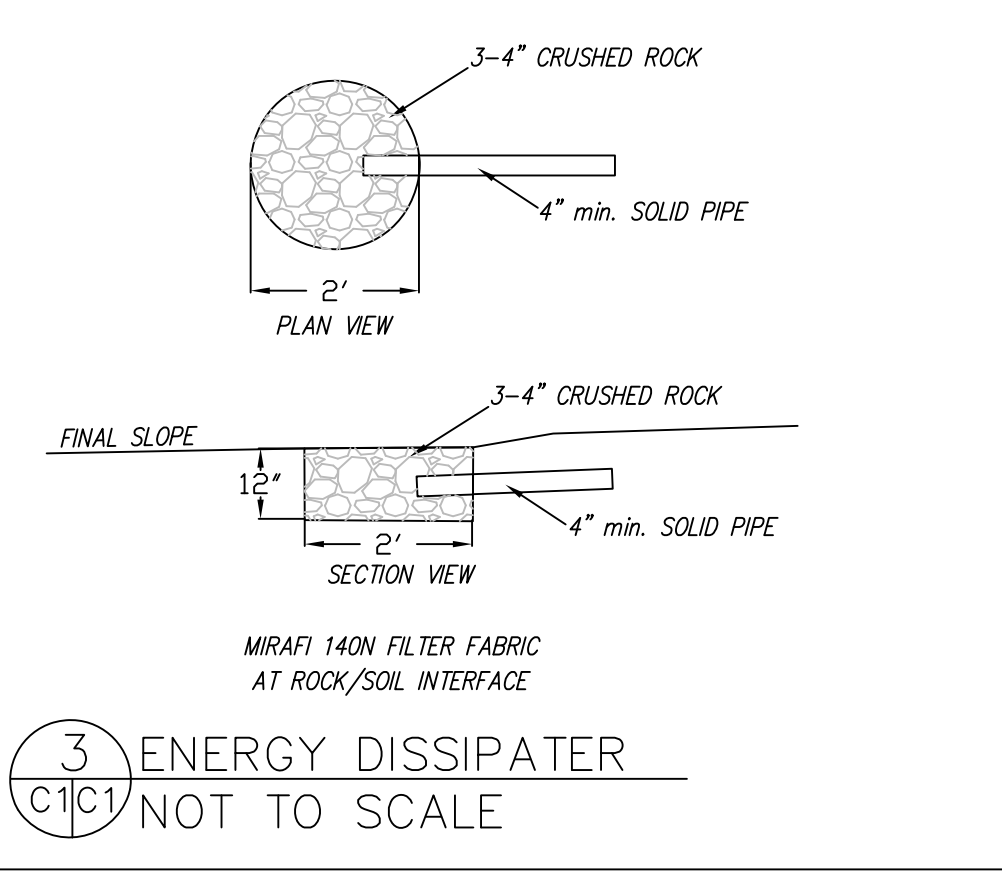
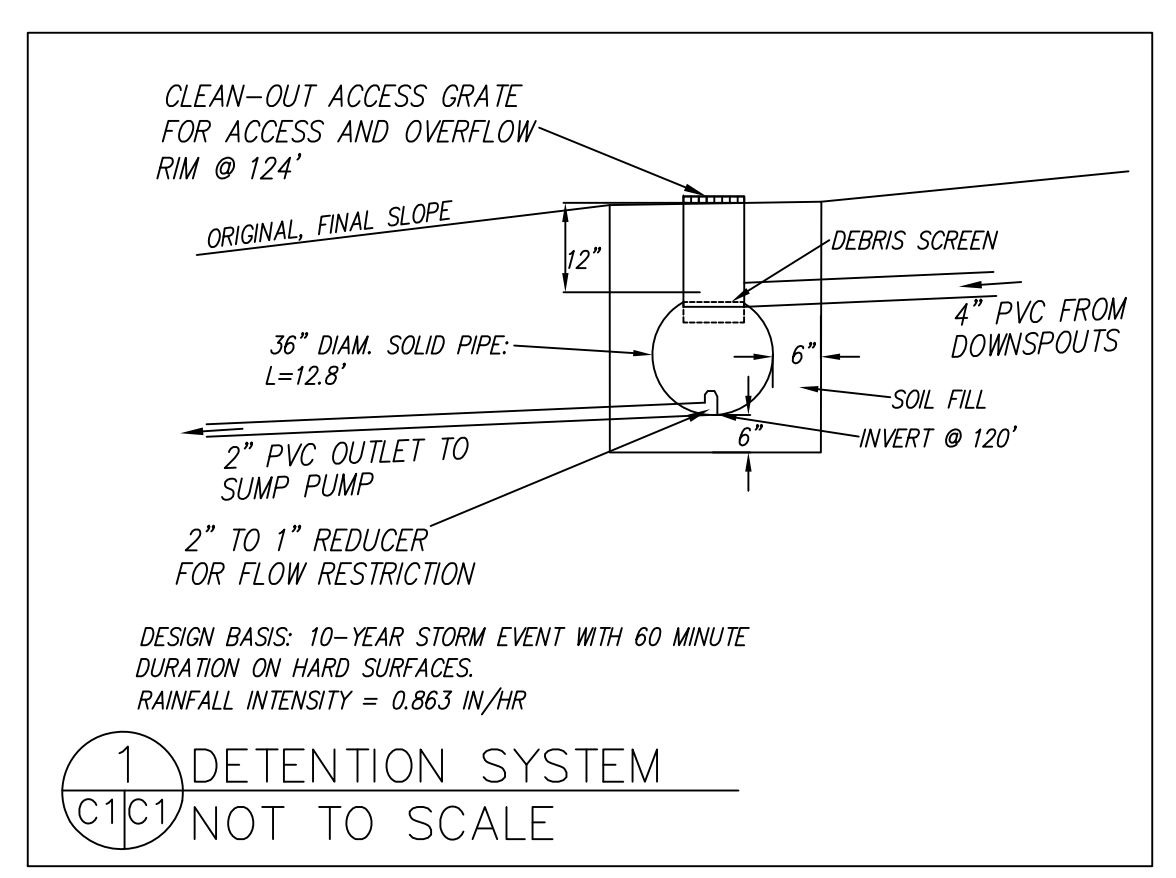
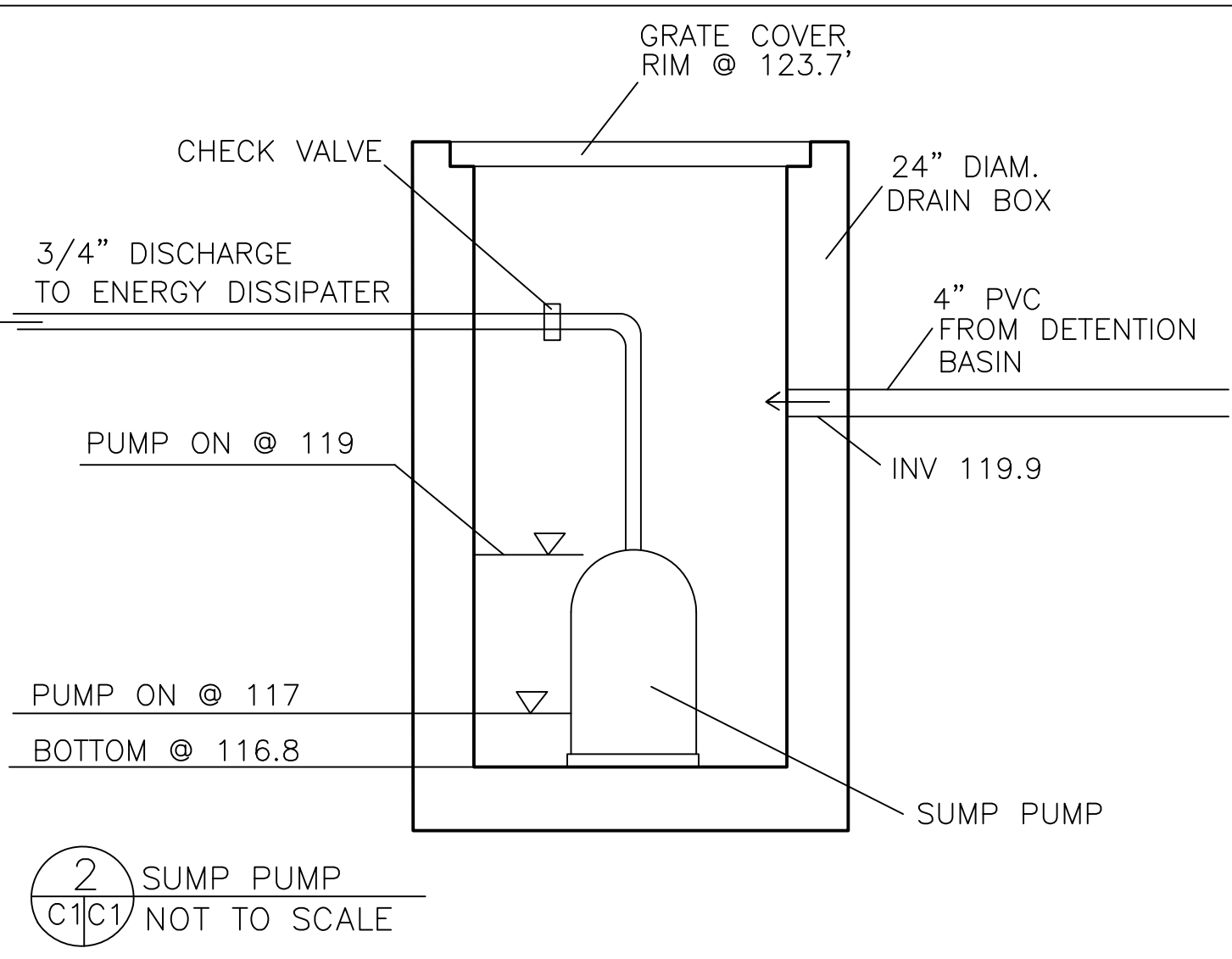
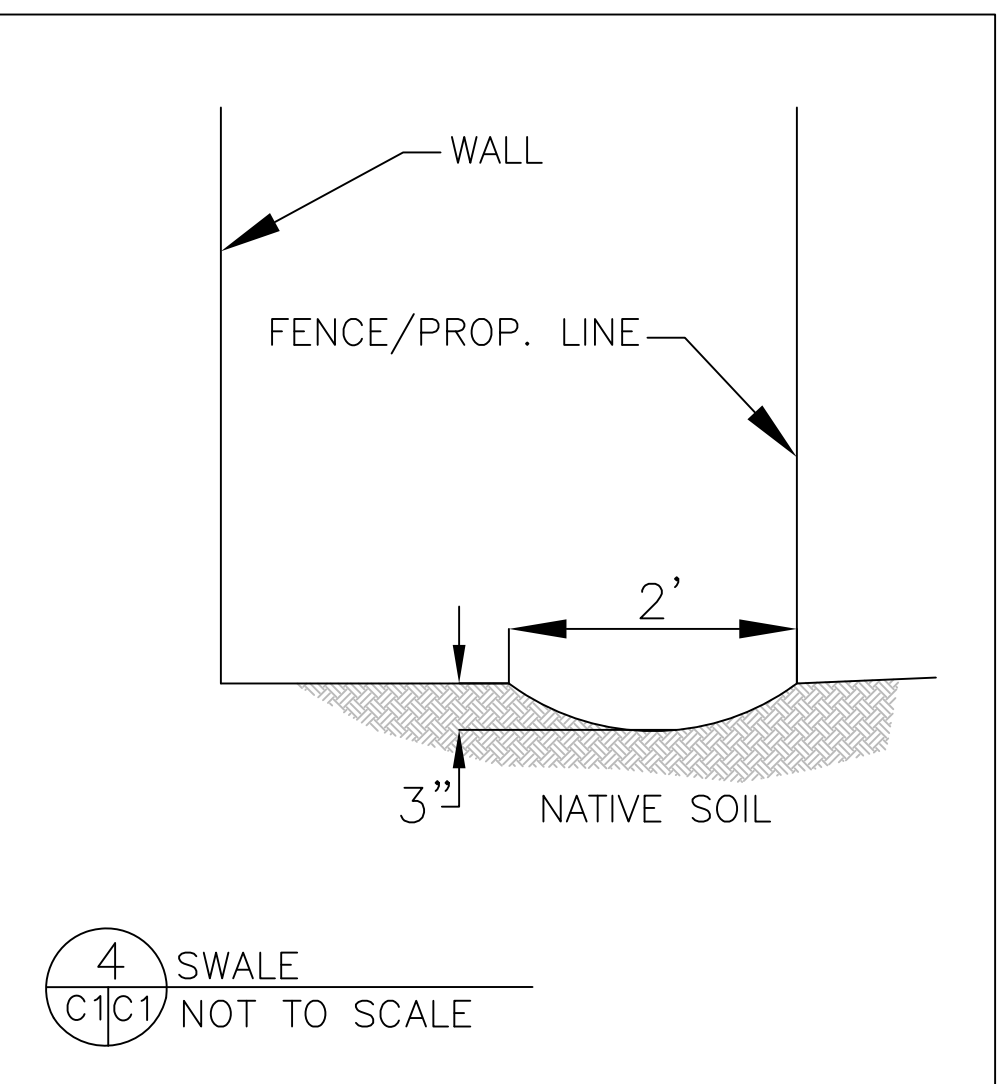
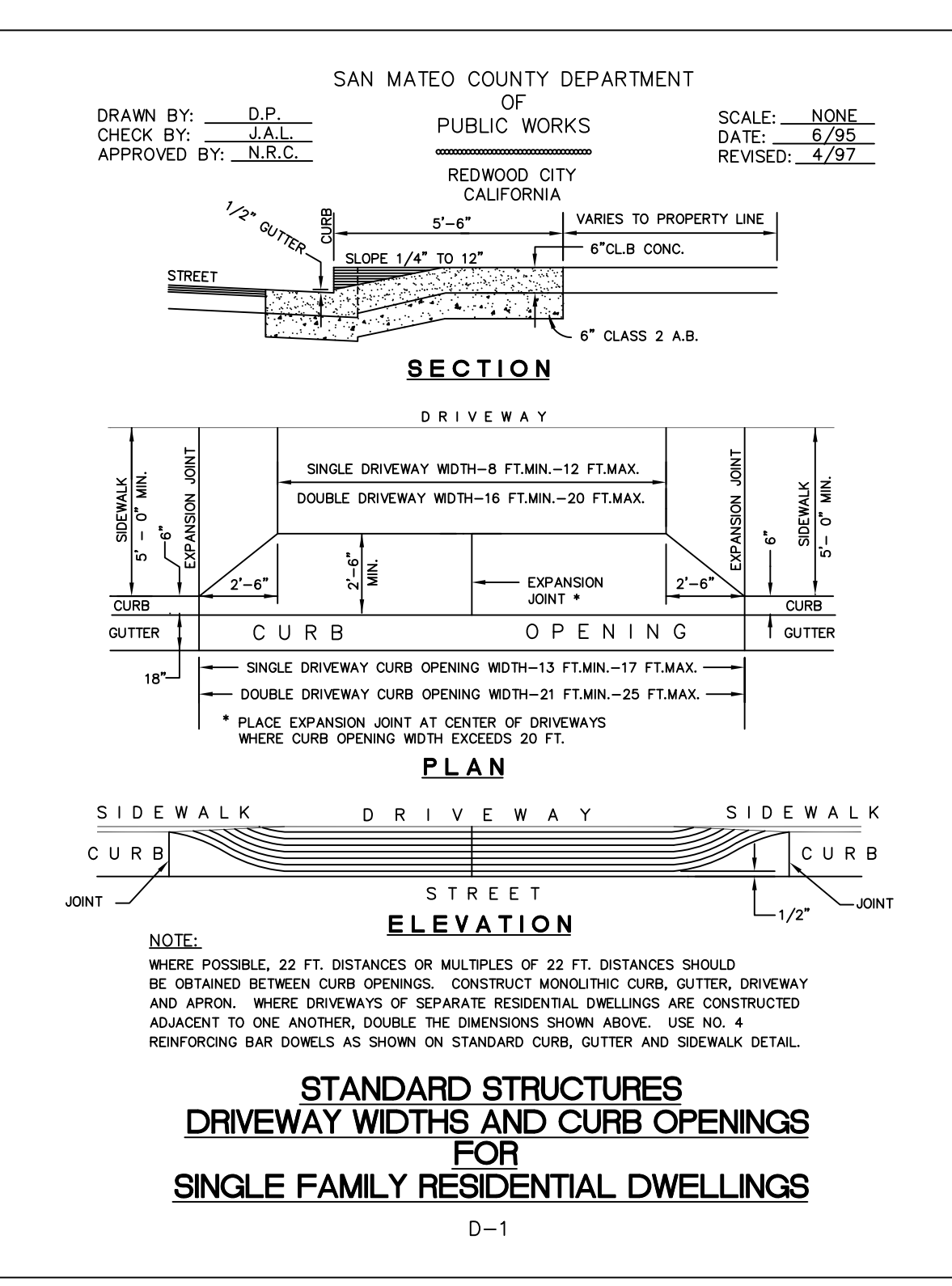
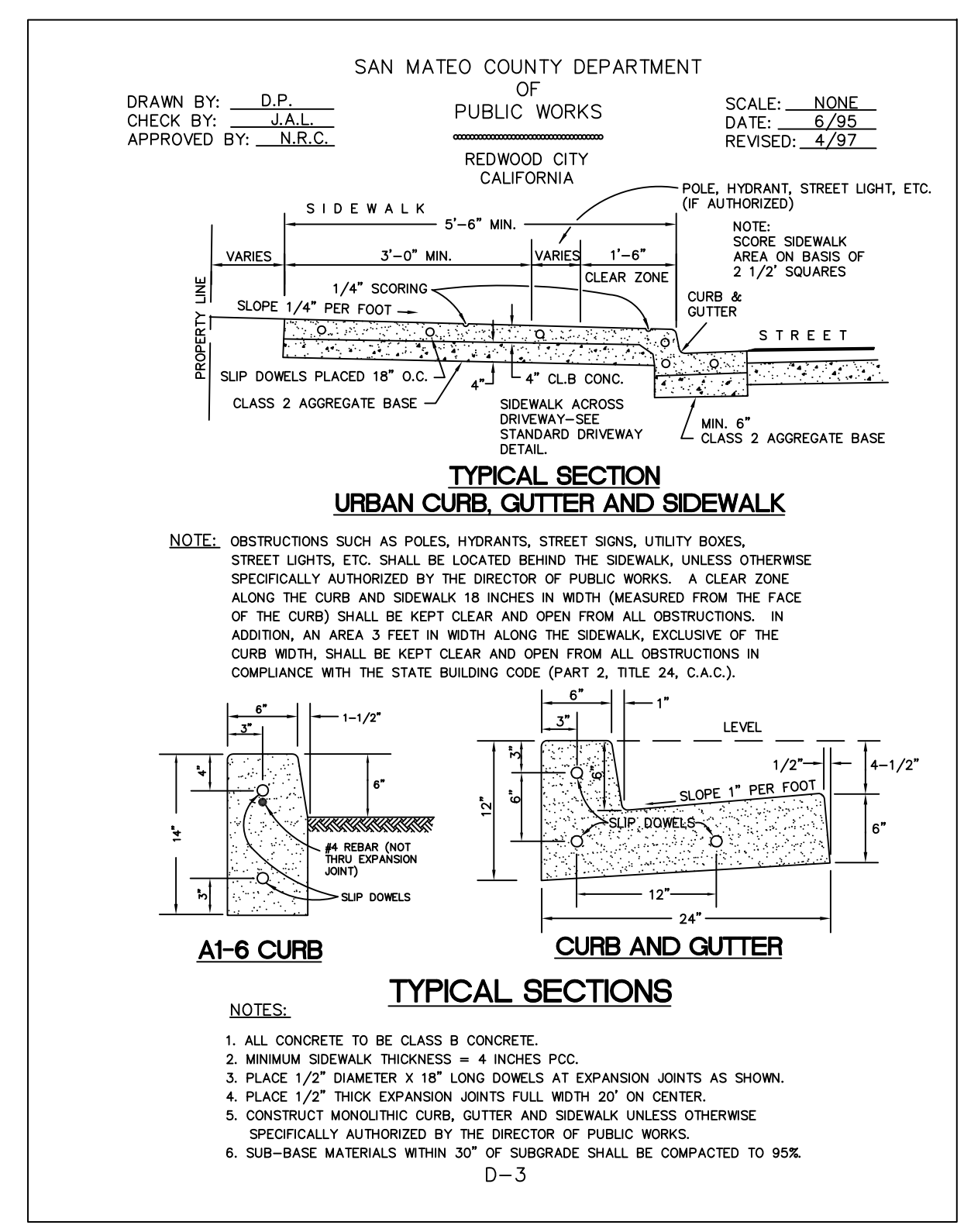
THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

**DRAINAGE NOTES**

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN. THE DETENTION BASIN SHALL DRAIN TO A SUMP PUMP AND ENERGY DISSIPATER, AS SHOWN.
3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN/ENERGY DISSIPATER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

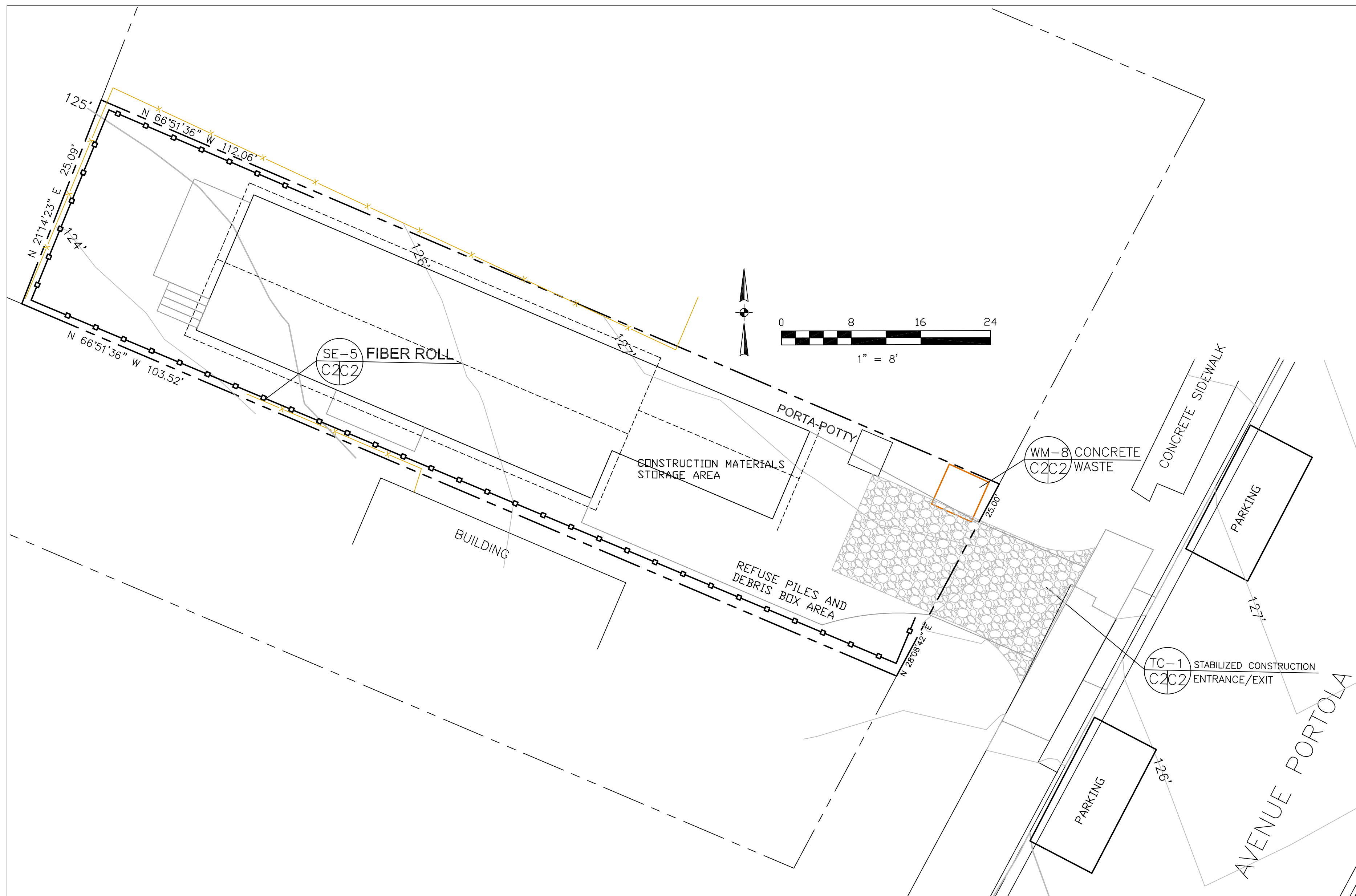


DATE: 12-3-19  
 DRAWN BY: CHK  
 CHECKED BY: AZG  
 REV. DATE: 10-11-20  
 REV. DATE:  
 REV. DATE:

GRADING AND DRAINAGE PLAN

FREITAS PROPERTY  
 AVENUE PORTOLA  
 APN 047-208-120  
 EL GRANADA

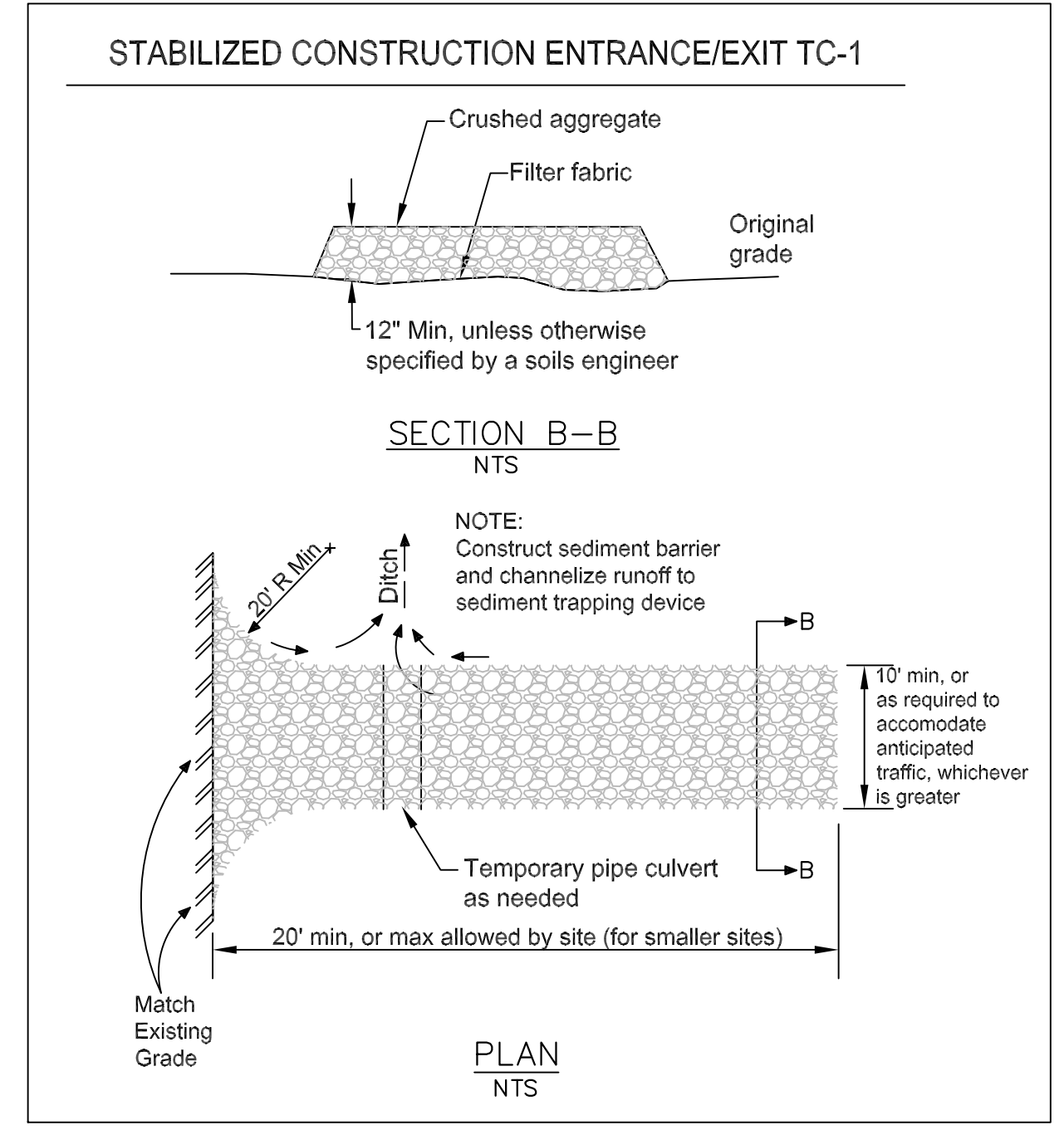
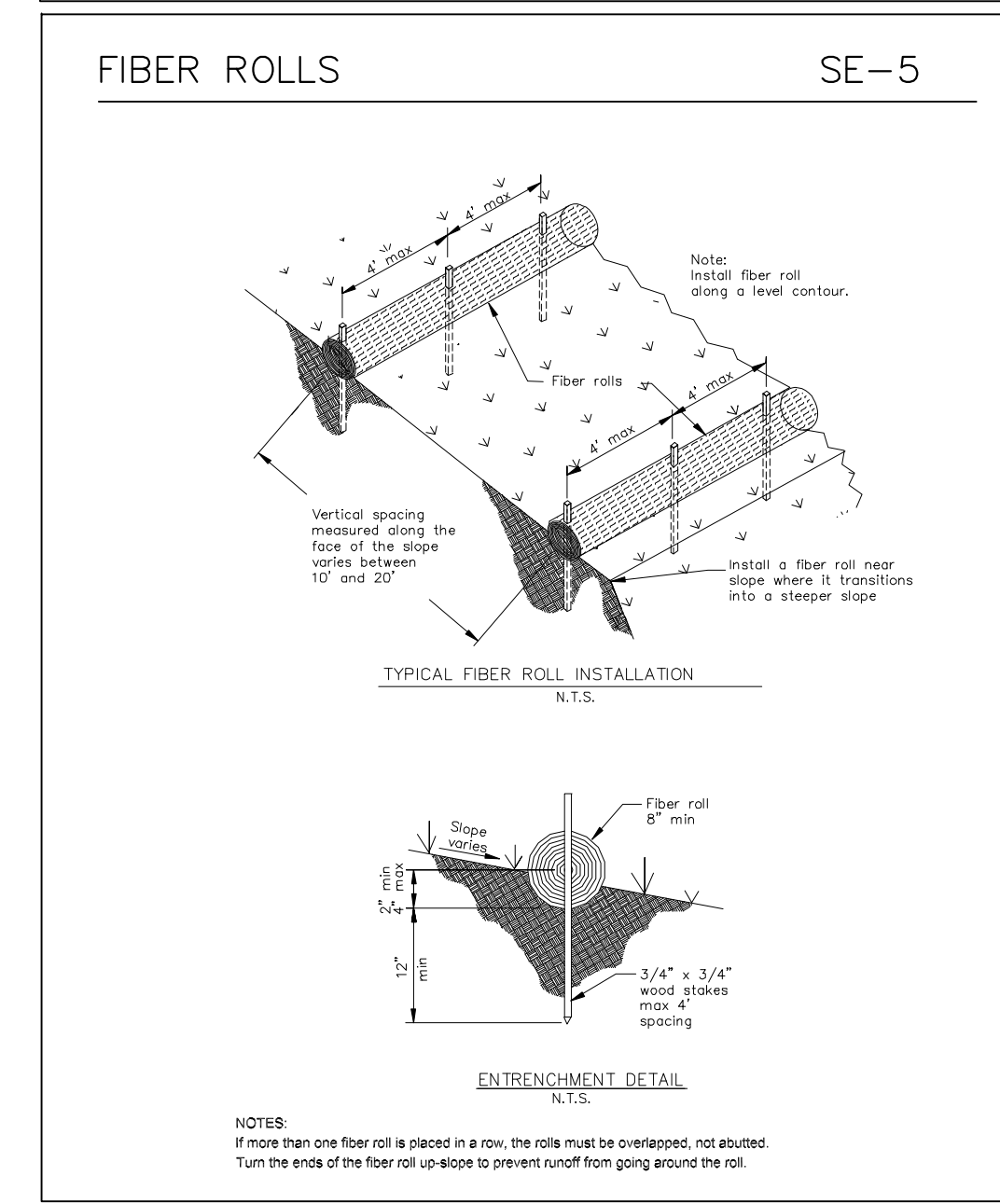
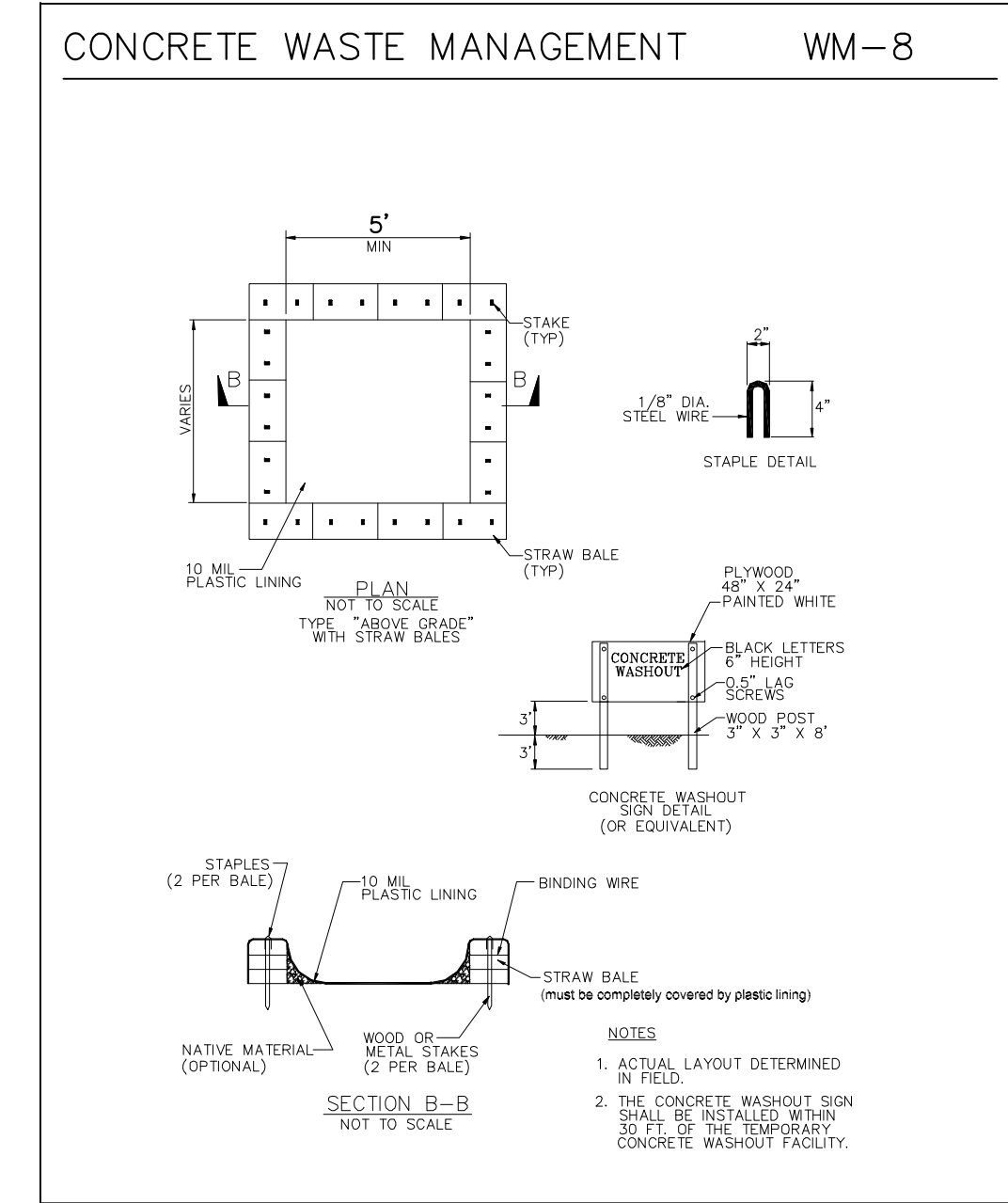
SHEET C-1



**GENERAL EROSION AND SEDIMENT CONTROL NOTES**



- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There will be no trees or driplines on the site.



**EROSION CONTROL POINT OF CONTACT**

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: SEAN FREITAS  
TITLE/QUALIFICATION: OWNER  
PHONE: 916-580-9981  
PHONE:  
E-MAIL: SEAN@GRAPHIA.COM



DATE: 12-3-19	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE: 10-11-20	REV. DATE:	REV. DATE:
<b>Sigma Prime Geosciences, Inc.</b> SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593					

**EROSION AND SEDIMENT CONTROL PLAN**  
**FREITAS PROPERTY**  
**AVENUE PORTOLA**  
**APN 047-208-120**  
**EL GRANADA**

**SHEET**  
**C-2**