

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** February 26, 2020

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** EXCECUTIVE SUMMARY: Consideration of a Design Review Permit, Coastal Development Permit, Non-Conforming Use Permit, and Off-Street Parking Exception to allow construction of a new 2,051 sq. ft., three-story single-family residence on a legal non-conforming parcel in the unincorporated Miramar area of San Mateo County. The use permit is required to allow a 5-foot left side setback where 10 feet is required, and to allow development on a 4,400 sq. ft. parcel, where 10,000 sq. ft. is required by the S-94 Zoning District. The project is not appealable to the California Coastal Commission.

County File Number: PLN 2018-00490 (Mithal)

**PROPOSAL**

The applicant proposes to construct a new 2,051 sq. ft., three-story residence and attached 1-car garage on a legal non-conforming, 4,400 sq. ft. parcel, where 10,000 sq. ft. is required by the S-94 Zoning District. Due to the substandard lot size and 40-foot lot width, the applicant requests a reduction of one covered parking space (where the County Parking Regulations require two covered parking spaces) and a reduction of the left side setback. The applicant would also provide one uncovered on-site parking space. The lot is generally flat with no trees. The project involves minor grading. The property is located in a largely undeveloped area designated for single-family residential use, with residences located to the southwest and east.

**RECOMMENDATION**

That the Planning Commission approve the Design Review Permit, Coastal Development Permit, and Non-Conforming Use Permit, County File Number PLN 2018-00490, by making the required findings and adopting the conditions of approval listed in Attachment A of the staff report.

**BACKGROUND**

Conformance with Design Review District Guidelines: On December 12, 2019, the Coastside Design Review Committee (CDRC) reviewed and recommended approval of

the project. The project, as proposed and conditioned, was found to be in compliance with the Design Review Standards, specifically that the project scale is proportional and complimentary to other homes in the neighborhood. Condition No. 4 has been included in Attachment A of the staff report to require compliance with CDRC conditions of approval, including extensive requirements pertaining to landscaping. On January 22, 2020, the applicant submitted revised plans, which have been confirmed by the Project Planner to comply with these landscaping requirements.

### Compliance with Local Coastal Program (LCP)

The project complies with Policies 1.18 (*Location of New Development*) and 1.20 (*Definition of Infill*) requiring the “infilling” of existing urban residential subdivisions, where infill is defined as the development of vacant land in urban areas that is subdivided and zoned for development at densities greater than one dwelling unit per 5 acres, and/or served by sewer and water. The subject parcel is designated by the General Plan for Medium Low-Density Residential use, at a density of 2.4 to 6 dwelling units per acre. The site is served by CCWD for water service and Granada Community Services District (GCSD) sewer service. Therefore, the project is considered an infill project.

Conformance with Zoning Regulations: The project site is a legal, non-conforming 40-foot wide, 4,400 sq. ft. parcel, where minimum average lot width is 50 feet and minimum lot size is 10,000 sq. ft., respectively, in the R-1/S-94/DR/CD Zoning District. The project complies with the maximum floor area ratio and lot coverage requirements, as well as the minimum front and rear setback requirements of this zoning district. However, the project provides a 5-foot left side setback where 10 feet. is required. Also, Section 6133.3 requires a non-conforming use permit for the development of an unimproved non-conforming parcel that is less than 5,000 sq. ft. where the required minimum parcel size is greater than 5,000 sq. ft. (10,000 sq. ft. in the S-94 Zoning District).

Section 6133 establishes findings that must be made in order to approve a use permit for the project, including “that all opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible.” The subject parcel is bordered by a residence at 216 Magellan Avenue to the northeast, a vacant property to the southwest, and a vacant property to the southeast which are substandard in size. The applicant has provided documentation, included as Attachment F of the staff report, summarizing his attempt to reach out to Helen Carey Trust, which owns two parcels adjoining the subject parcel, regarding purchase of an adjoining property in December 2018. The applicant has not received a response.

The Planning Commission must also find that “the proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible.” The proposed non-conforming left side yard setback (5 feet.) is necessary to accommodate a 25-feet. wide living/dining/kitchen area on the 1st floor and two

side-by-side 12.5-foot wide bedrooms on the 2nd floor. The room sizes are reasonable and could not be reduced by 5 feet without significant impact to function and experience.

Regarding project compliance with County parking regulations, the applicant requests a reduction of one covered parking space (where the County Parking Regulations require two covered parking spaces). Staff recommends approval of the requested exemption on the basis that the proposed off-street parking facilities are as nearly in compliance with the requirements set forth in Section 6119 of the Zoning Regulations as is reasonably possible.

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**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** February 26, 2020

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** Consideration of a Design Review Permit, Coastal Development Permit, Non-Conforming Use Permit, and Off-Street Parking Exception, pursuant to Sections 6565.3, 6328.4, 6133.3, and 6120 of the County Zoning Regulations, to allow construction of a new 2,051 sq. ft., three-story single-family residence and a 279 sq. ft. attached garage on a legal non-conforming parcel in the unincorporated Miramar area of San Mateo County. The use permit is required to allow a 5-foot left side setback where 10 feet is required, and development on the 4,400 sq. ft. parcel, where 10,000 sq. ft. is required by the S-94 Zoning District. The project is not appealable to the California Coastal Commission.

County File Number: PLN 2018-00490 (Mithal)

**PROPOSAL**

The applicant proposes to construct a new 2,051 sq. ft., three-story residence and attached 1-car garage on a legal non-conforming, 4,400 sq. ft. parcel, where 10,000 sq. ft. is required by the S-94 Zoning District. Due to the substandard lot size and 40-foot lot width, the applicant requests a reduction of the left side setback, and an exception to parking requirements to allow one covered parking space and one uncovered parking space, where two covered parking spaces are required. The lot is generally flat with no trees. The project involves minor grading. The property is located in an area designated for single-family residential use, with residences located to the southwest and east.

**RECOMMENDATION**

That the Planning Commission approve the Design Review Permit, Coastal Development Permit, and Non-Conforming Use Permit, County File Number PLN 2018-00490, by making the required findings and adopting the conditions of approval listed in Attachment A.

**BACKGROUND**

Report Prepared By: Camille Leung, Project Planner, Telephone 650/363-1826

Applicant: Raj Mithal

Owner: Arti Mithal

Location: Magellan Avenue, Miramar

APN(s): 048-031-200

Size: 4,400 sq. ft.

Existing Zoning: R-1/S-94/DR/CD

General Plan Designation: Medium Low Density Residential

Sphere-of-Influence: City of Half Moon Bay

Existing Land Use: Undeveloped

Water Supply: Coastside County Water District (CCWD)

Sewage Disposal: Granada Community Services District (GCSD)

Flood Zone: Zone X (areas of minimal flood hazard), FEMA Panel 06081C0252F,  
Effective Date: August 2, 2017

Environmental Evaluation: This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15303, Class 3(a), relating to the construction of one single-family residence in an urban, residential zone.

Setting: The property is located in an area designated for single-family residential use, with residences located to the southwest and east.

Chronology:

<u>Date</u>	<u>Action</u>
June 22, 2017	- Certificate of Compliance Type B (PLN 2017-00040) was recorded.
August 8, 2019; October 10, 2019; December 12, 2019	- The Coastside Design Review Committee (CDRC) reviews the project and recommends approval on December 12, 2019.
February 26, 2020	- Planning Commission public hearing.

## DISCUSSION

### A. KEY ISSUES

#### 1. Conformance with General Plan

The subject parcel is designated by the General Plan for Medium Low-Density Residential use, at a density of 2.4 to 6 dwelling units per acre. The subject parcel is a substandard parcel of 4,400 sq. ft., which, if developed with a single residence, would result in a density of approximately 10 dwelling units per acre. However, the parcel is a legal parcel and may be developed in a manner consistent with applicable zoning regulations.

#### 2. Conformance with Design Review District Guidelines

On December 12, 2019, the Coastside Design Review Committee reviewed and recommended approval of the project.

The project, as proposed and conditioned, was found to be in compliance with the Design Review Standards for One-family and Two-family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:

- a. Section 6565.20(D.1.b) Elements of Design: b. Neighborhood Scale: Project scale is proportional and complimentary to other homes in the neighborhood.
- b. Section 6565.20 (D.4) Exterior Materials and Colors. Proposed exterior materials and colors complement the style of the house and those of the neighborhood.

Condition No. 4 has been included in Attachment A to require compliance with CDRC conditions of approval, including those pertaining to landscaping. On January 22, 2020, the applicant submitted revised plans, which have been confirmed by the Project Planner to comply with these landscaping requirements.

#### 3. Compliance with Local Coastal Program (LCP)

A Coastal Development Permit (CDP) is required for new development outside of the Single-Family Residence Categorical Exclusion Area. The site is not located within the Coastal Commission Appeals Jurisdiction of the Coastal Development Zoning District and does not involve establishment of conditionally permitted use. If granted by the County, the CDP is therefore not appealable to the Coastal Commission. The site is not located in a scenic corridor and does not contain sensitive habitat. Staff has determined

that the project is in compliance with applicable Local Coastal Program (LCP) Policies, including the relevant components discussed below.

a. Locating and Planning New Development Component

Policy 1.18 (*Location of New Development*) directs new development to existing urban areas in order to discourage urban sprawl and maximize the efficiency of public facilities, services and utilities. Also, the policy requires new development to be concentrated in urban areas by requiring the “infilling” of existing residential subdivisions. Policy 1.20 (*Definition of Infill*) defines infill as the development of vacant land in urban areas that is subdivided and zoned for development at densities greater than one dwelling unit per 5 acres, and/or served by sewer and water. The subject parcel is designated by the General Plan for Medium Low-Density Residential use, at a density of 2.4 to 6 dwelling units per acre. The site is served by CCWD for water service and GCSD sewer service. Therefore, the project is considered an infill project.

Policy 1.23 (*Timing of New Housing Development in the Midcoast*) limits the maximum number of new dwelling units built in the urban Midcoast to 40 units per calendar year so that roads, public services and facilities and community infrastructure are not overburdened from new residential development. As of the print date of this report, building permits issued for new dwelling units are well under the maximum in the current 2020 calendar year.

4. Conformance with Zoning Regulations

a. Compliance with S-94 Zoning District Regulations

The project site is a legal, non-conforming 40-foot wide, 4,400 sq. ft. parcel, where minimum average lot width is 50 feet and minimum lot size is 10,000 sq. ft., respectively, in the R-1/S-94/DR/CD Zoning District. As shown in the table below, the project complies with the maximum floor area ratio and lot coverage requirements, as well as the minimum front and rear setback requirements of this zoning district. However, the project provides a 5-foot left side setback where 10 ft. is required. Also, Section 6133.3 requires a non-conforming use permit for the development of an unimproved non-conforming parcel that is less than 5,000 sq. ft. where the required minimum parcel size is greater than 5,000 sq. ft. (10,000 sq. ft. in the S-94 Zoning District).

Table 1 Compliance with the R-1/S-94/DR/CD Zoning District			
	<i>Required</i>	<i>Proposed</i>	<i>Complies</i>
Min. Side Yard Setback	10 ft.	Right – 10 ft. Left – 5 ft.**	Right – Yes Left – No
Min. Combined Side Yard Setback**	N/A	N/A	N/A
Min. Front Setback	20 ft.	20 ft.	Yes
Min. Rear Setback	20 ft.	20 ft.	Yes
Max. Building Height	28 ft.	28 ft.	Yes
Max. Floor Area Ratio	48%	46.6% (2,051 sq. ft.)	Yes
Max. Building Site Coverage	30%	27.2% (1,196 sq. ft.)	Yes
Min. Average Lot Width	50 ft.	40 ft.*	No
Min. Lot Size	10,000 sq. ft.	4,400 sq. ft.*	No
* Legal, Non-conforming.			
** Requested non-conformity requiring a use permit.			

As shown in Table 1, the project complies with the maximum floor area ratio and lot coverage of the zoning district, but, while the right-side setback complies with the minimum side setback of 10 feet, the proposed left side setback is non-conforming at 5 feet. The development of the non-conforming parcel requires a Non-Conforming Use Permit, which allows for the consideration of project features which do not conform to the development standards. Please see Section 5, below, for a discussion of project compliance with required findings for a Non-Conforming Use Permit.

Project compliance with County parking regulations is discussed in Section A.4.b., below, of this report.

b. Parking Regulations

The applicant requests a reduction of one covered parking space (where the County Parking Regulations require two covered parking spaces). Instead, the project proposes to provide one covered and one uncovered on-site parking space.

Section 6120 of the County Zoning Regulations requires the Planning Commission to find that “the establishment, maintenance and/or conducting of the off-street parking facilities as proposed are as nearly in compliance with the requirements set forth in Section 6119 hereof as are reasonably possible.” The subject parcel is 40 feet wide and

the project provides a combined side setback of 15 feet, leaving a remaining building envelope width of 25 feet. The applicant proposes an attached 13.5 feet wide one-car garage and an uncovered 8.5 feet wide parking space located on porous pavers. The proposal allows for two on-site parking spaces and for the garage to be a subordinate feature of the overall design as required Section 6565.20(D).2.d of the design review standards. Based on the foregoing, staff finds that off-street parking facilities as proposed are as nearly in compliance with the requirements set forth in Section 6119 hereof as are reasonably possible.

5. Conformance with Non-Conforming Use Permit Findings

The project site is a legal, non-conforming 40-foot wide, 4,400 sq. ft. parcel, where minimum average lot width is 50 feet and minimum lot size is 10,000 sq. ft. As stated in Section A.4.a. of this report above, the project would result in a 5-foot left side yard setback where a minimum of 10 feet is required. Section 6133.3.b.2 of Zoning Non-Conformities Chapter of the zoning regulations allows proposed development on an improved non-conforming parcel that does not conform to the zoning regulations currently in effect, with the issuance of a use permit. Per Section 6133, the following findings must be made in order to approve a use permit for the project:

a. **The proposed development is proportioned to the size of the parcel on which it is being built.**

The applicant proposes a new 2,051 sq. ft. residence on a 4,400 sq. ft. parcel. The project complies with requirements relating to proportionality, including floor area, lot coverage, and height requirements of the R-1/S-94/DR/CD Zoning District. Therefore, the proposed development is proportioned to the size of the parcel on which it is being built.

b. **All opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible.**

The subject parcel is bordered by a residence at 216 Magellan Avenue to the northeast, a vacant property to the southwest, and a vacant property to the southeast which are substandard in size (smaller than the minimum 10,000 sq. ft. in the S-94 Zoning District). A vacant property (APN 048-031-170) to the south of the parcel is approximately 10,500 square feet. Theoretically, the property owner could acquire a portion of this property up to 500 sq. ft., however, the lot line adjustment would result in both lots being irregular in shape. The applicant has provided documentation, included as Attachment F,

summarizing his attempt to reach out to the owner of two parcels adjoining the subject parcel, regarding purchase of an adjoining parcel in December 2018. The applicant has not received a response.

- c. **The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible.**

The proposed non-conforming left side yard setback (5 feet) is necessary to accommodate a 25-foot wide living/dining/kitchen area on the 1st floor and two side-by-side 12.5-foot wide bedrooms on the 2nd floor. The room sizes are reasonable and could not be reduced by 5 feet without significant impact to function and experience. Based on the reasonable and proportional size of the proposed residence, the project is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible, in order to achieve a three-bedroom and three-bathroom residence.

- d. **That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.**

The subject site does not contain sensitive habitat or trees. The CDRC has found that project scale is proportional and complimentary to other homes in the neighborhood. Therefore, the project, as proposed and conditioned, would not be detrimental to the public welfare or injurious to property or improvements in the neighborhood.

- e. **Use permit approval does not constitute a granting of special privileges.**

This project does not constitute a granting of special privileges, as the project is as nearly in conformance with the R-1/S-94/DR/CD Zoning District regulations as is reasonably possible. The subject parcel is largely surrounded by non-conforming, similarly-sized parcels, including 216 Magellan Avenue, which has a conforming side setback and a reduced side setback of similar width to the subject proposal.

B. REVIEW BY THE MIDCOAST COMMUNITY COUNCIL (MCC)

Planning staff referred the project to the Midcoast Community Council (MCC). In a letter dated June 6, 2019, Claire Toutant, then chair of the MCC, expressed concern about the reduced setbacks on the project. She stated that as “this neighborhood is developed further, the cumulative effects of smaller setbacks will be quite negative and that any exceptions should be clearly warranted.” As

discussed in Section 5 of this report, the reduced left side setback is necessary to achieve a reasonably-sized living/dining/kitchen area on the first floor and two reasonably-sized bedrooms on the second floor within the 25 feet wide building envelope, where otherwise the building envelope would be 20 feet wide with conforming side setbacks. No other setback exceptions are requested.

C. ENVIRONMENTAL REVIEW

This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15303, Class 3(a), relating to the construction of one single-family residence in an urban, residential zone.

D. REVIEWING AGENCIES

Building Inspection Section  
Department of Public Works  
Midcoast Community Council  
Geotechnical Section  
Coastside Fire Protection District  
Coastside County Water District  
Granada Community Services District  
California Coastal Commission

**ATTACHMENTS**

- A. Recommended Findings and Conditions of Approval
- B. Location Map
- C. Proposed Site Plan, Floor Plans, and Elevations, dated December 13, 2019
- D. Letter of Recommendation by Coastside Design Review Officer, dated January 6, 2020
- E. Story Pole Photos
- F. Offer Letter Sent to Helen Carey, dated December 11, 2018

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County of San Mateo  
Planning and Building Department

**RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL**

Permit or Project File Number: PLN 2018-00490      Hearing Date: February 26, 2020

Prepared By: Camille Leung, Project Planner    For Adoption By: Planning Commission

**RECOMMENDED FINDINGS**

Regarding Environmental Review, Find:

1. This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15303, Class 3(a), relating to the construction of one single-family residence in an urban, residential zone.

Regarding the Coastal Development Permit (CDP), Find:

2. That the project, as described in the application and accompanying materials required by the Zoning Regulations, Section 6328.7, and as conditioned in accordance with Section 6328.14, conforms with the applicable plans, policies, requirements and standards of the San Mateo County Local Coastal Program (LCP). Specifically, the project is in compliance with policies regarding infill development and timing of new housing development in the Midcoast.
3. That the project is not located between the nearest public road (Mirada Road) and the sea, or the shoreline of Pescadero Marsh, and is not subject to the public access and public recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Section 30200 of the Public Resources Code).
4. That, with the approval of this project, the number of building permits for the construction of single-family residences issued in the calendar year would not exceed the limit established by LCP Policy 1.23. As of the print date of this report, building permits issued for new dwelling units are well under the maximum in the current 2020 calendar year.
5. That the project conforms to specific findings required by policies of the San Mateo County Local Coastal Program. The project complies with the required findings for a CDP as listed above.

Regarding the Design Review, Find:

6. That the project, as proposed and conditioned, has been reviewed under and found to be in compliance with the Design Review Standards for One-family and Two-family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:
  - a. Section 6565.20(D.1.b) Elements of Design: b. Neighborhood Scale: Project scale is proportional and complimentary to other homes in the neighborhood.
  - b. Section 6565.20 (D.4) Exterior Materials and Colors: Proposed exterior materials and colors complement the style of the proposed house and other houses in the neighborhood.

Regarding the Off-Street Parking Exception, Find:

7. That the establishment, maintenance and/or conducting of the off-street parking facilities as proposed are as nearly in compliance with the requirements set forth in Section 6119 hereof as are reasonably possible. The subject parcel is 40 feet wide; the project provides a combined side setback of 15 feet, leaving a remaining width of 25 ft. for the structure. The applicant proposes an attached-13.5-foot-wide one-car garage and an uncovered 8.5-foot wide parking space located on porous pavers. The proposal allows for two on-site parking spaces and for the garage to be a subordinate feature of the overall design as required Section 6565.20(D).2.d of the design review standards.

Regarding the Non-Conforming Use Permit, Find:

8. That the proposed development is proportioned to the size of the parcel on which it is being built, as the project, as proposed and conditioned, complies with the floor area, lot coverage, and height requirements of the R-1/S-94/DR/CD Zoning District.
9. That all opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible, because the parcels that are contiguous to the subject property are either developed, substandard in size, or not available for purchase.
10. That the proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible. Based on the reasonable size of the proposed residence, the project is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible, in order to achieve a three-bedroom and three-bathroom residence.

11. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood. The subject site does not contain sensitive habitat or trees. The Coastside Design Review Committee has found that the project scale is proportional and complimentary to other homes in the neighborhood.
12. That use permit approval does not constitute a granting of special privileges, as the subject parcel is largely surrounded by non-conforming, similarly-sized parcels, including 216 Magellan Avenue, which has a conforming side setback and also a reduced side setback of similar width to the subject proposal.

## **RECOMMENDED CONDITIONS OF APPROVAL**

### **Current Planning Section**

1. The project shall be constructed in compliance with the plans approved by the Planning Commission on February 26, 2020, and as reviewed by the Coastside Design Review Committee on December 12, 2019. Any changes or revisions to the approved plans are subject to review and approval by the Planning Commission. Minor adjustments to project may be approved by the Community Development Director if they are consistent with the intent of and are in substantial conformance with this approval. Minor adjustments to project design may be approved by the Design Review Officer. For major adjustments to project design, the Design Review Officer will refer consideration of the revisions to the Coastside Design Review Committee, with applicable fees to be paid.
2. The Coastal Development Permit, Use Permit, Off-Street Parking Exception, and Design Review Permit shall be valid for five (5) years from the date of final approval, in which time a building permit shall be issued and a completed inspection (to the satisfaction of the Building Inspector) shall have occurred within 180 days of issuance of the building permit. The expiration date of the permits may be extended by one 1-year increment with submittal of an application for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
3. The applicant shall include a copy of the final approval letter on the top page of the building plans to provide the Planning approval date and required conditions of approval on the on-site plans.
4. The applicant shall provide "finished floor elevation verification" to certify that the structure is actually constructed at the height shown on the submitted plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site.

- a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
  - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
  - c. Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
  - d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
  - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
  - f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
5. The applicant shall indicate the following on plans submitted for a building permit, as stipulated by the Coastside Design Review Committee:
- a. For exterior colors and materials, plans shall reflect the following color scheme.
    - (1) Use Pearl Grey, Color Plus Technology paint for Hardie Board siding.
    - (2) Use Night Grey, Color Plus Technology Paint for stucco siding.
    - (3) Use Arctic White for trim, gutter and fascia.

- b. To break up stucco wall treatment, add a vertical reveal line in stucco wall on west side to the left of living room window. Also, add a horizontal reveal line at 4 feet high, wrapping the building.
- c. Remove 2 exterior lights on ground level on either side of large window on west side of building.
- d. Remove exterior motion detector light on west side of building on first floor plan.
- e. Consult a licensed landscape designer and revise plans to reflect the following:
  - (1) Use an alternate, less linear design for the shrubs that are shown on the plan.
  - (2) Leave trees as called out on the plan.
  - (3) Remove invasive species, *Stipa* and *Ipomea*, from the plant list and consider substitute grasses and ivy (e.g., *Calamagrostis Folios*, *Festuca Californica* *Leymus* and *Ficus Pumila*).
  - (4) Use 2-inch depth of gravel, polished rock as ground cover.
  - (5) The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including, but not limited to, the following:
    - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
    - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
    - c. Performing clearing and earth-moving activities only during dry weather.
    - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
    - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.

- f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
  - g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
  - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
  - i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
  - j. Limiting construction access routes and stabilization of designated access points.
  - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
  - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
  - m. Removing spoils promptly, and avoiding stockpiling of fill materials, when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.
  - n. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
  - o. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
6. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
7. All new power and telephone utility lines from the street or nearest existing utility pole to the main dwelling and/or any other structure on the property shall be placed underground.

8. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Department of Public Works and the Coastside Fire Protection District.
9. No site disturbance shall occur, including any vegetation/tree removal or grading, until a building permit has been issued.
10. To reduce the impact of construction activities on neighboring properties, comply with the following:
  - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
  - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
  - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on Magellan Avenue. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Magellan Avenue. There shall be no storage of construction vehicles in the public right-of-way.
11. Color and materials verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.
12. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving and Christmas (San Mateo County Ordinance Code Section 4.88.360).
13. Installation of the approved landscape plan is required prior to final inspection.
14. At the building permit application stage, the project shall demonstrate compliance with the Water Efficient Landscape Ordinance (WELo) and provide required forms. WELo applies to new landscape projects equal to or greater than 500 sq. ft. A prescriptive checklist is available as a compliance option for projects under 2,500 sq. ft. WELo also applies to rehabilitated landscape projects equal to or greater than 2,500 sq. ft. The following restrictions apply to projects using the prescriptive checklist:

- a. Compost: Project must incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test).
  - b. Plant Water Use (Residential): Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75 percent of the plant area excluding edibles and areas using recycled water.
  - c. Mulch: A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers.
  - d. Turf: Total turf area shall not exceed 25 percent of the landscape area. Turf is not allowed in non-residential projects. Turf (if utilized) is limited to slopes not exceeding 25 percent and is not used in parkways less than 10 feet in width. Turf, if utilized in parkways is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.
  - e. Irrigation System: The property shall certify that Irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor; Irrigation controller programming data will not be lost due to an interruption in the primary power source; and Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff.
15. At the building permit application stage, the applicant shall submit a tree protection plan for any work within tree driplines or adjacent to off-site trees, including the following:
- a. Identify, establish, and maintain tree protection zones throughout the entire duration of the project;
  - b. Isolate tree protection zones using 5-foot tall, orange plastic fencing supported by poles pounded into the ground, located at the driplines as described in the arborist's report;
  - c. Maintain tree protection zones free of equipment and materials storage; contractors shall not clean any tools, forms, or equipment within these areas;
  - d. If any large roots or large masses of roots need to be cut, the roots shall be inspected by a certified arborist or registered forester prior to cutting as required in the arborist's report. Any root cutting shall be undertaken by an arborist or forester and documented. Roots to be cut shall be severed cleanly with a saw or topers. A tree protection verification letter from the

certified arborist shall be submitted to the Planning Department within five (5) business days from site inspection following root cutting;

- e. Normal irrigation shall be maintained, but oaks shall not need summer irrigation, unless the arborist's report directs specific watering measures to protect trees;
- f. Street tree trunks and other trees not protected by dripline fencing shall be wrapped with straw wattles, orange fence and 2x4 boards in concentric layers to a height of eight feet; and
- g. Prior to issuance of a building permit, the Planning and Building Department shall complete a pre-construction site inspection, as necessary, to verify that all required tree protection and erosion control measures are in place.

#### Building Inspection Section

- 16. A building permit is required for this project.
- 17. Addressing Form: The applicant shall complete an Addressing Form and meet with a building technician prior to building permit application submittal.

#### Geotechnical Section

- 18. Geotechnical report required at building permit stage. Geotechnical Consultant of Record shall review and approve the grading plans, drainage plan(s) related to the geotechnical aspects, and foundation plans at the minimum. Plans review letter shall be submitted to County for review and approval.
- 19. The Geotechnical Consultant of Record shall propose site geotechnical inspections specifications in the geotechnical report. The specifications shall be in compliance with CBC2016 as a minimum.

#### Drainage Section

- 20. The following will be required at the time of building permit submittal:
  - a. An updated Drainage Report prepared and stamped by a registered civil engineer.
  - b. A final Grading and Drainage Plan prepared and stamped by a registered civil engineer.
  - c. An updated C3 C6 Checklist (if changes to the amount of impervious area were made during the design phase).

21. Prior to the issuance of the building permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Drainage Section for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Drainage Section for review and approval.

#### Coastside County Water District (CCWD)

22. The Coastside County Water District records confirm that there is one – 5/8-inch (20 gallons per minute (gpm)) uninstalled non-priority water service connection assigned to this parcel.
23. Before issuance of a building permit, CCWD will need to evaluate a complete set of building plans to determine if the water service capacity available is adequate for any development and complies with all CCWD regulations.

#### Granada Community Services District (GCSD)

24. The project may require a Sewer Variance from GCSD due to the non-conforming size of the parcel.

#### Coastside Fire Protection District

25. Add Note to plans: Smoke Detectors which are hard wired: As per the California Building Code, State Fire Marshal regulations, and Coastside Fire Protection District Ordinance 2016-01, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and recondition sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. Date of installation must be added to exterior of the smoke alarm and will be checked at final.
26. Add Note to plans: Smoke alarm/detector are to be hardwired, interconnected, or with battery back-up. Smoke alarms to be installed per manufactures instruction and NFPA 72.
27. Add Note to plans: Escape or rescue windows shall have a minimum net clear openable area of 5.7 sq. ft., 5.0 sq. ft. allowed at grade. The minimum net clear

openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor. (CFC 1030).

28. Identify rescue windows in each bedroom and verify that they meet all requirements. Add this to plans.
29. Add Note to plans: New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/2-inch stroke. Residential address numbers shall be at least six ft. above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire Protection District. This remote signage shall consist of a 6-inch by 18-inch green reflective metal sign with 3-inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent. Temporary address numbers shall be posted prior to combustibles being placed on site.
30. The installation of an approved spark arrester is required on all wood burning chimneys. Spark arresters shall be made of 12-gage woven or welded wire screening having openings not exceeding 1/2-inch. If not wood burning, disregard this note.
31. Fire Access Roads – Add note to plans: The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The San Mateo County Department of Public Works, the Coastside Fire Protection District Ordinance 2016-01, and the California Fire Code shall set road standards. As per the 2016 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Coastside Fire Protection District specifications. As per the 2016 CFC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20-foot road) and on-street parking is desired, an additional improved area shall be developed for that use.
32. The hydrant in front of the house is the correct hydrant but you will need to confirm that it meets the flows when you submit your fire sprinkler plans. Fire Hydrant: As per 2016 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 2065) must be located within 500 ft. of the proposed single-family dwelling unit measured by way of drivable access. As per 2016 CFC, Appendix B the hydrant must produce a minimum fire flow of 500 gpm at 20 pounds per square

inch (psi) residual pressure for 2 hours. Contact the local water purveyor for water flow details.

33. Add Note to plans: Automatic Fire Sprinkler System: Fire Sprinkler plans will require a separate permit. As per San Mateo County Building Standards and Coastside Fire Protection District Ordinance Number 2016-01, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. Sprinkler coverage shall be provided throughout the residence to include all bathrooms, garages, and any area used for storage. The only exception is small linen closets less than 24 sq. ft. with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Department. A building permit will not be issued until plans are received, reviewed and approved. Upon submission of plans, the County will forward a complete set to the Coastside Fire Protection District for review.
34. Installation of underground sprinkler pipe shall be flushed and visually inspected by Fire District prior to hook-up to riser. Any soldered fittings must be pressure tested with trench open. Please call Coastside Protection Fire District to schedule an inspection. Fees shall be paid prior to plan review.
35. Exterior bell and interior horn/strobe: are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.
36. Add note to the title page that the building will be protected by an automatic fire sprinkler system.

#### Department of Public Works

37. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20 percent) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
38. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued.

Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.

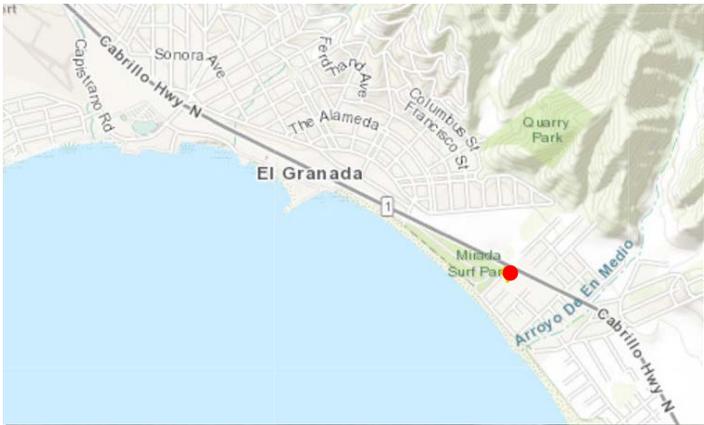
39. Prior to the issuance of the building permit, the applicant will be required to provide payment of “roadway mitigation fees” based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.

CMLEE:cmc – CMLEE0088\_WCU.DOCX



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT B**



**San Mateo County Planning Commission Meeting**

Owner/Applicant: \_\_\_\_\_

Attachment: \_\_\_\_\_

File Numbers: \_\_\_\_\_



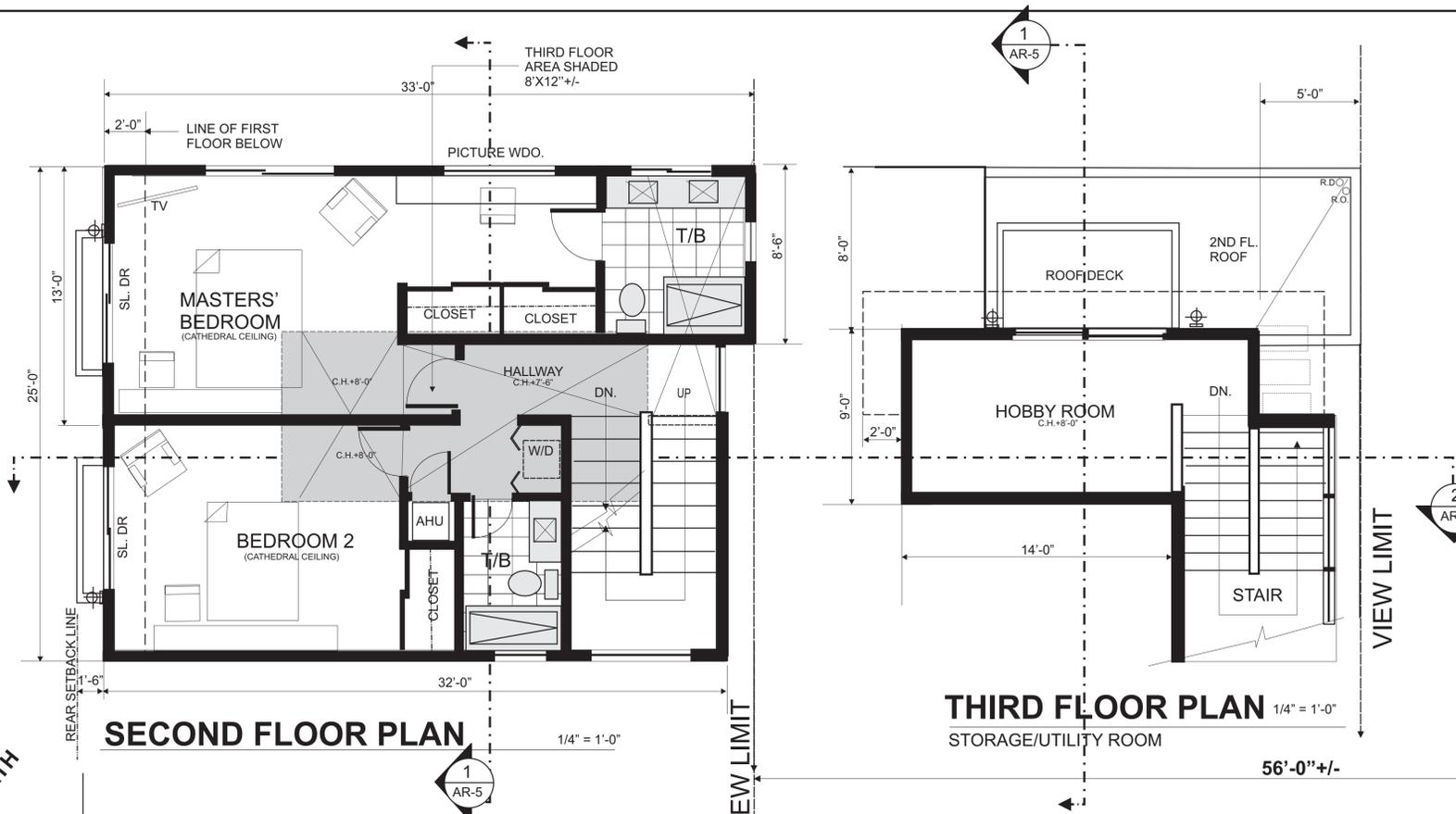
**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT C**

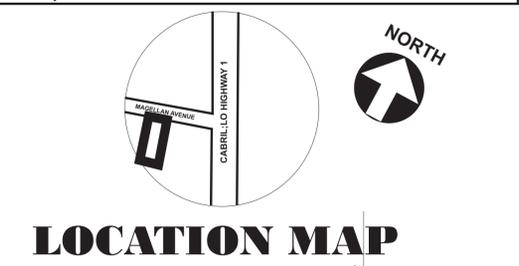
# PROJECT ANALYSIS

(SEE SHEET AR-5 FOR FLOOR AREA CALCULATIONS)

DISTRICT S-94 COMBINING DISTRICT-MIDCOAST  
 SETBACKS 10' AT SIDES  
 MAX. HT. 20' FRONT & REAR  
 28'-0"  
 LOT AREA: 40' X 110' = 4,400 S.F.  
 PROPOSED BUILDING AREAS:  
 FIRST FLOOR- 917 S.F.  
 SECOND FLOOR- 709 S.F.  
 THIRD FLOOR 146 S.F.  
 GARAGE 279 S.F.  
 GROSS FLOOR AREA 2,051 +/- S.F.  
 FLOOR AREA RATIO 46.61 % < 48%  
 LOT COVERAGE 1,196 S.F. =  
 27.18 % < 30%



INDEX TO DRAWINGS	
ARCHITECTURAL	
AR-1	FLOOR PLANS
AR-2	EXTERIOR ELEVATIONS AND ROOF PLAN
AR-3	EXTERIOR ELEVATIONS
AR-4	EXTERIOR SKETCH
AR-5	BUILDING SECTIONS AND FLOOR AREA CALCS
AR-0	PLANTING PLAN
REFERENCE DRAWINGS	
	TOPOGRAPHIC SURVEY PREPARED BY SAVIOR MICALLEF
C- dwgs.	GRADING & UTILITIES PLANS PREPARED BY PRECISION ENGINEERING



REVISIONS:	
11-30-18	12-13-19
01-14-19	
02-27-19	
03-04-19	
03-05-19	
08-08-19	
08-26-19	
10-25-19	

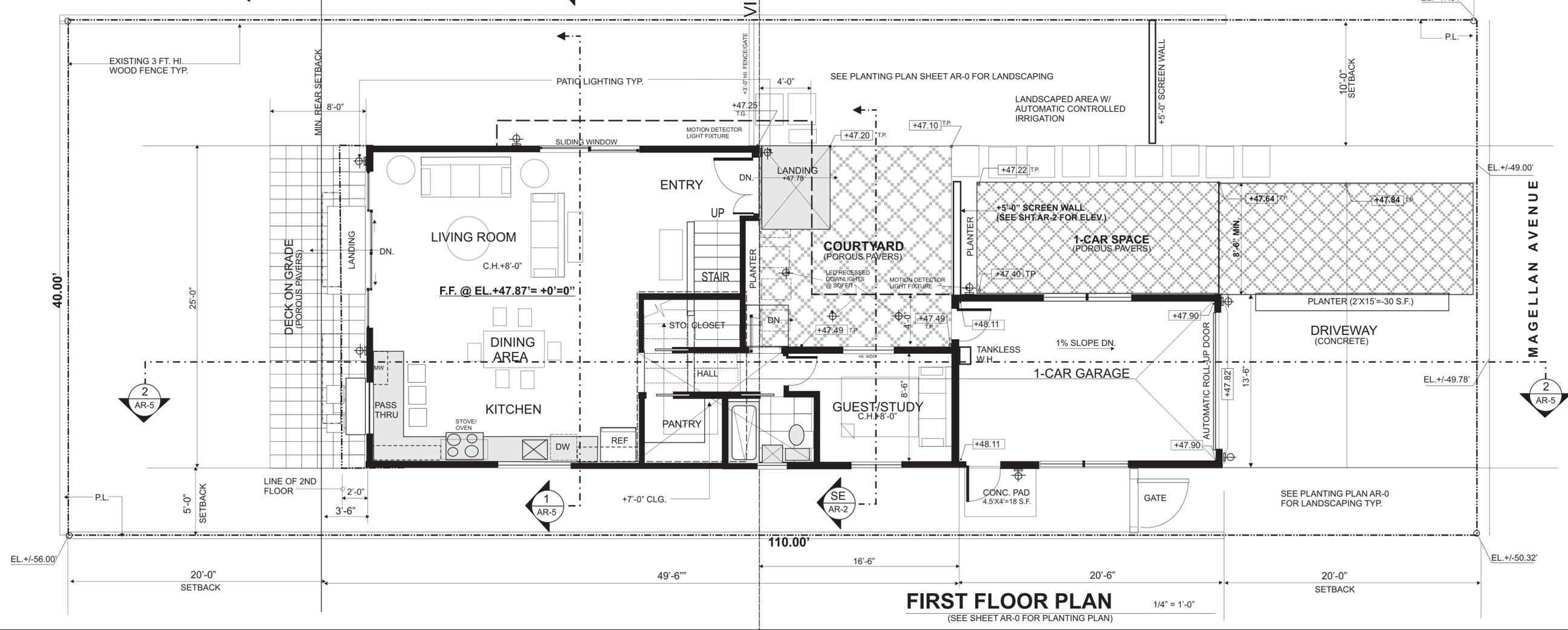
Architecture  
**ARISRUZ**  
 ARISRUZ AND ASSOCIATES, INC.  
 726 baden avenue, south san francisco, ca 94080  
 Tel. (650) 586-1951 E-mail ARISRUZ@yahoo.com

REVIEWED BY  
 APPROVED BY  
 JOB NO

**NEW MITHAL RESIDENCE**  
**MAGELLAN AVENUE**  
 HALF MOON BAY, CA

**FLOOR PLANS**

SHEET Number  
**AR-1**  
 1 OF 5  
 DATE: 10/10/18



**FIRST FLOOR PLAN**  
 (SEE SHEET AR-0 FOR PLANTING PLAN)  
 1/4" = 1'-0"

REVISIONS:	DATE
11-19-18	12-13-19
11-30-18	
01-14-19	
03-04-19	
08-08-19	
08-26-19	
10-25-19	

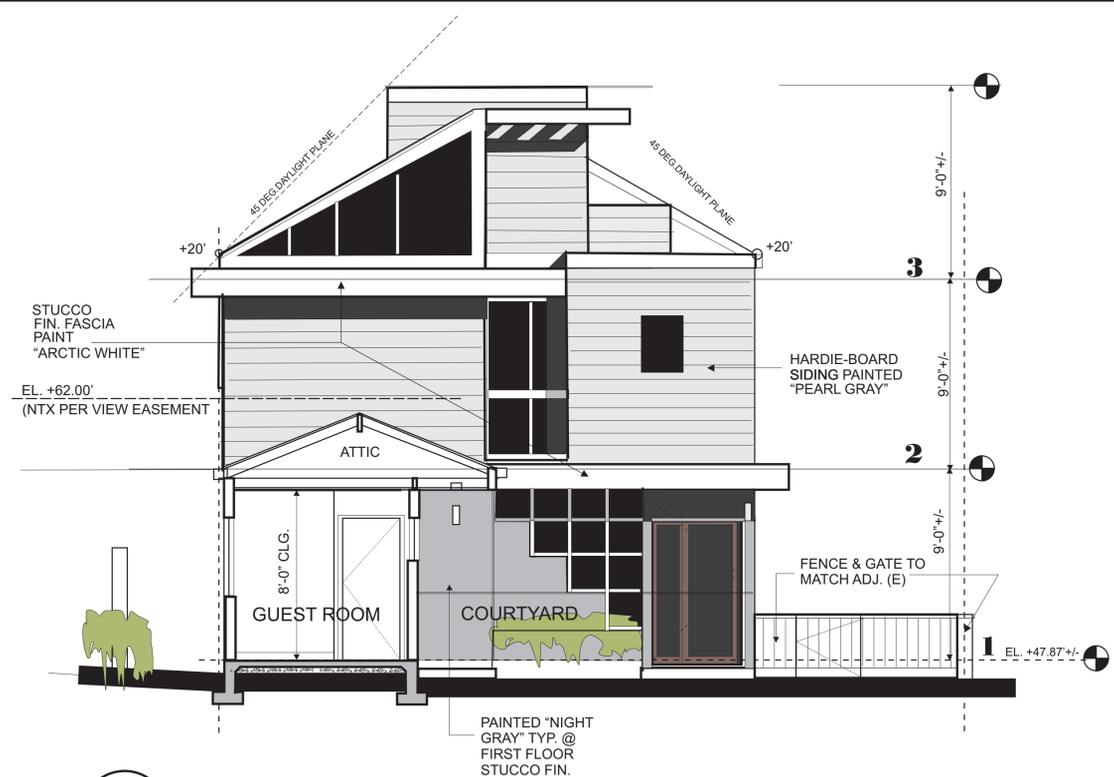
ARCHITECT  
**ARISRUZ**  
ARISRUZ ASSOCIATES, INC.  
728 baden avenue, south san francisco, ca 94080  
Tel: (650) 589-1951 E-mail: ARISRUZ@araboc.com

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JOB NO

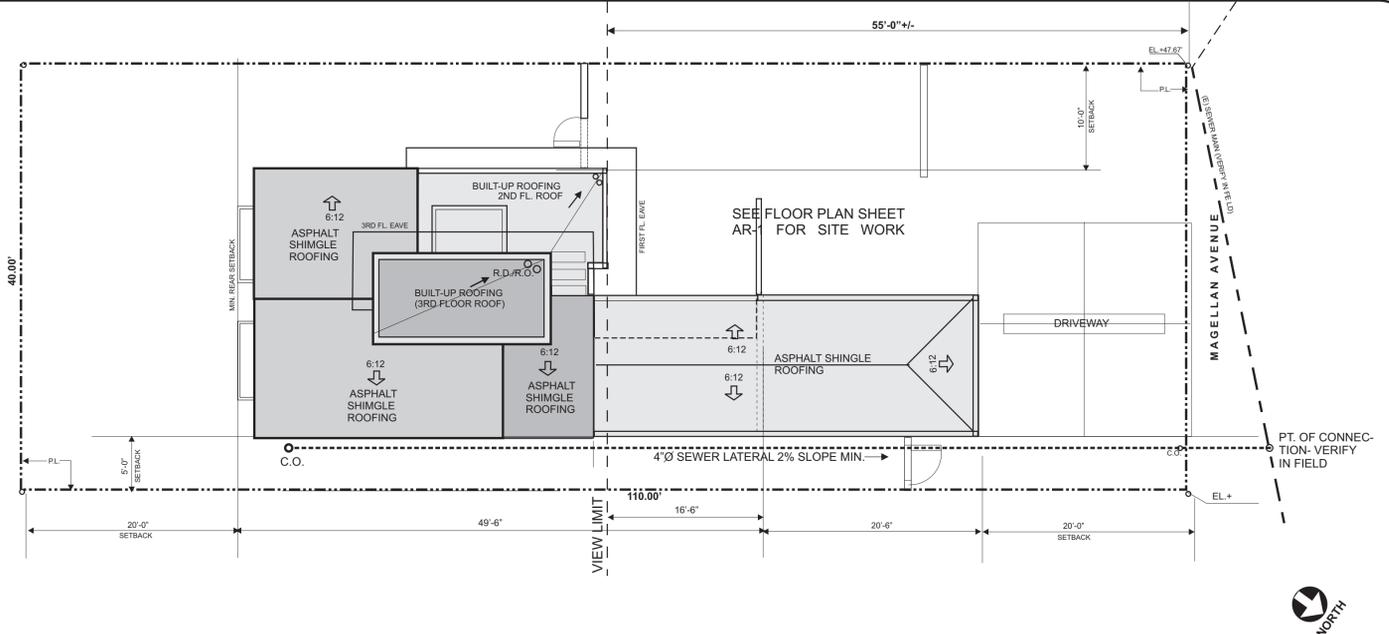
**NEW MITHAL RESIDENCE**  
**MAGELLAN AVENUE**  
HALF MOON BAY, CA

**EXTERIOR ELEVATIONS**  
**AND ROOF PLAN**

SHEET Number  
**AR-2**  
2 OF 5  
DATE: 11/12/18

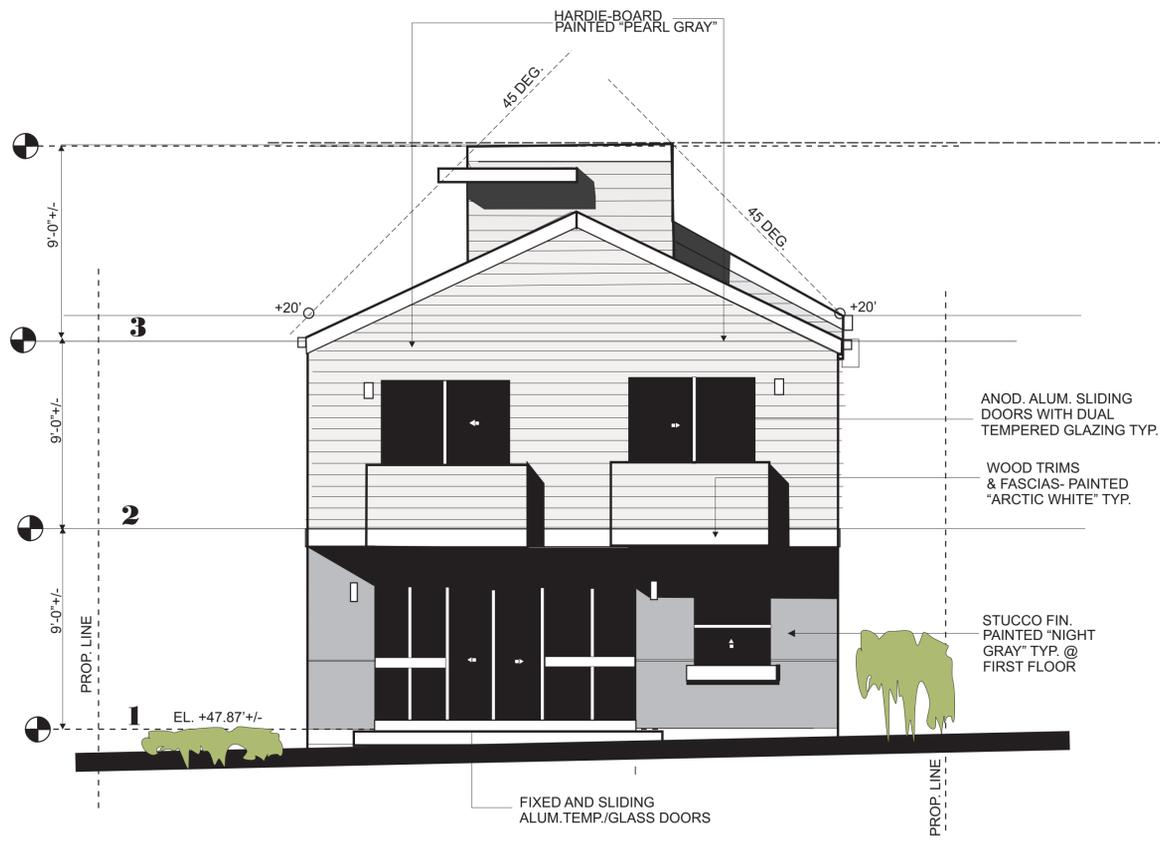


**NORTH ELEVATION AT COURTYARD**  
(SECTION THRU GUEST ROOM-COURTYARD)  
1/4" = 1'-0"

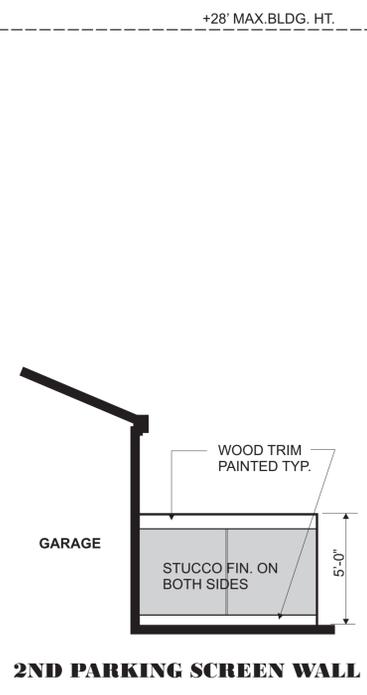


**ROOF-SITE PLAN**  
1/8" = 1'-0"  
(SEE SURVEY SHEET ATTACHED FOR INFORMATION ONLY)

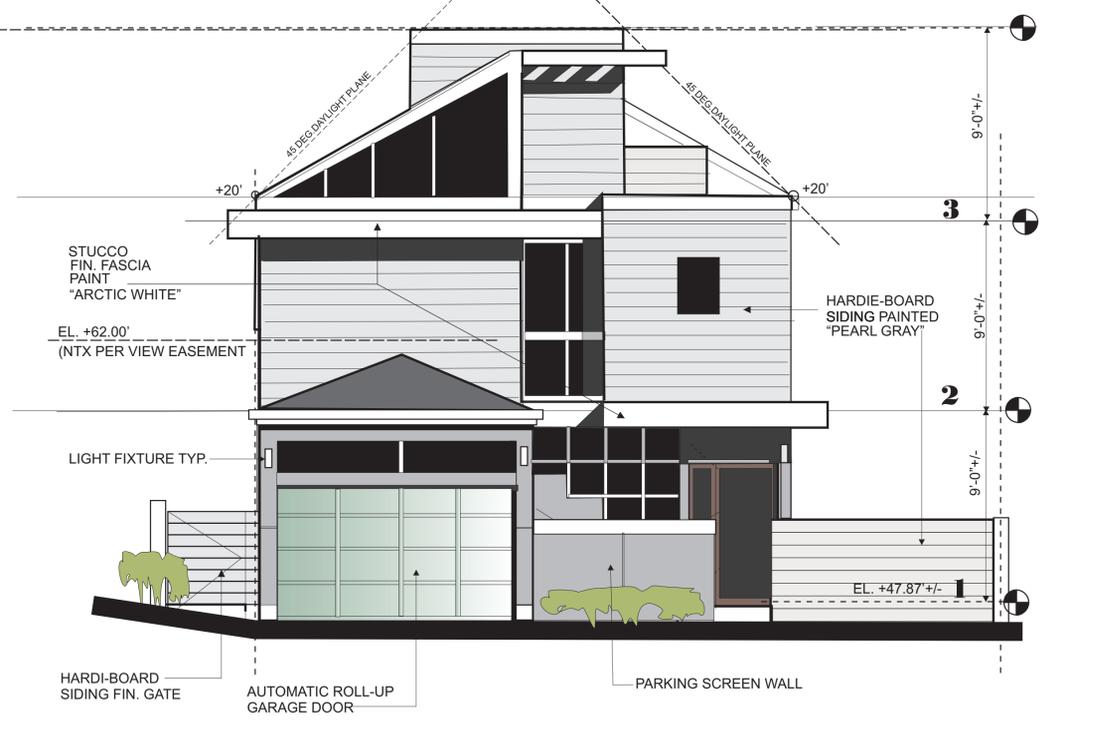
EXTERIOR MATERIALS AND FINISH SCHEDULE	
EXTERIOR WALLS	<ol style="list-style-type: none"> <li>1. STUCCO SMOOTH FINISH PAINTED "NIGHT GRAY"</li> <li>2. SIMULATED "HARDI-BOARD" OR EQUAL WOOD SIDING- PAINTED "PEARL GRAY"</li> </ol>
WINDOWS	BLACK ANODIZED ALUMINUM AND CLEAR GLASS (SLIDING , AWNING TYPE, ETC.)
DOORS	<ol style="list-style-type: none"> <li>1. WOOD FINISHED GARAGE ROLL-UP DOOR W/ AUTOMATIC GARAGE DOOR OPERATOR</li> <li>2. SOLID WOOD CORE W/ METAL CLADDING ENTRY AND GARAGE SIDE DOOR</li> <li>3. SLIDING BLACK ANODIZED ALUMINUM DOORS WITH CLEAR TEMPERED POL. PLATE GLASS</li> <li>4. FIXED POL. PLATE GLASS PANELS ADJACENT SLIDING DOORS</li> </ol>
ROOFING	<ol style="list-style-type: none"> <li>1. TAR AND GRAVEL ROOFING (25 YR. MIN. WARRANTY) FIRE RATED CLASS A</li> <li>2. ASPHALT SHINGLE ROOFING CLASS B MIN, 25 YRS. AS SELECTED.</li> </ol>



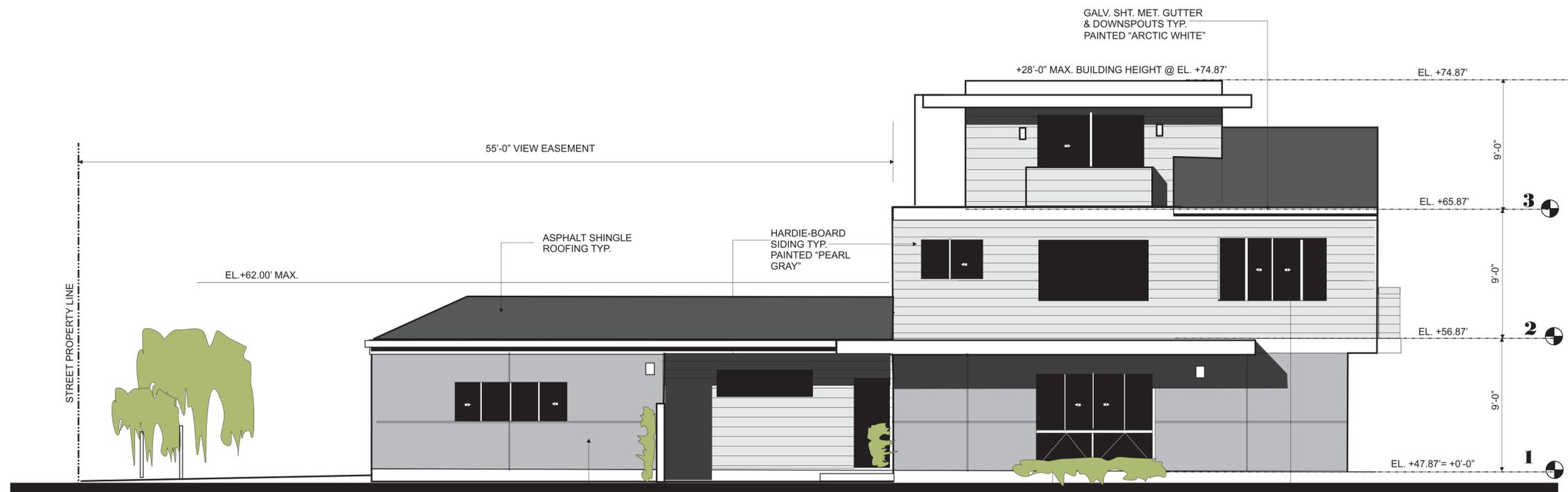
**REAR (SOUTH) ELEVATION**  
1/4" = 1'-0"



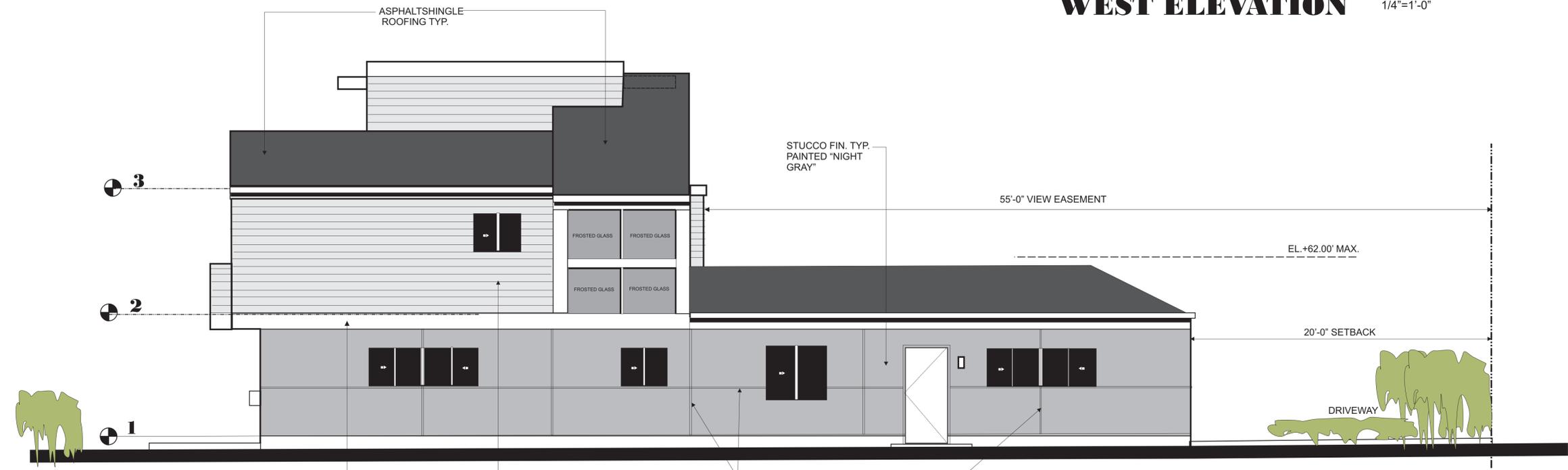
**2ND PARKING SCREEN WALL**



**STREET (NORTH) ELEVATION**  
1/4" = 1'-0"



**WEST ELEVATION** 1/4"=1'-0"



**EAST ELEVATION** 1/4"=1'-0"

REVISIONS:

11-19-18	12-13-19
11-30-18	
01-14-19	
03-04-19	
08-08-19	
08-26-19	
10-25-19	

Architect  
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 Tel: (650) 598-1951 E-mail: ARISRUIZ@yahoo.com

REVIEWED BY	APPROVED BY	JOB NO

**NEW MITHAL RESIDENCE**  
**MAGELLAN AVENUE**  
**HALF MOON BAY, CA**

**EXTERIOR ELEVATIONS**

SHEET Number  
**AR-3**  
 2 OF 5  
 DATE: 11/12/18

REVISIONS:  
 11-19-18  
 11-30-18  
 08-08-19  
 10-25-19

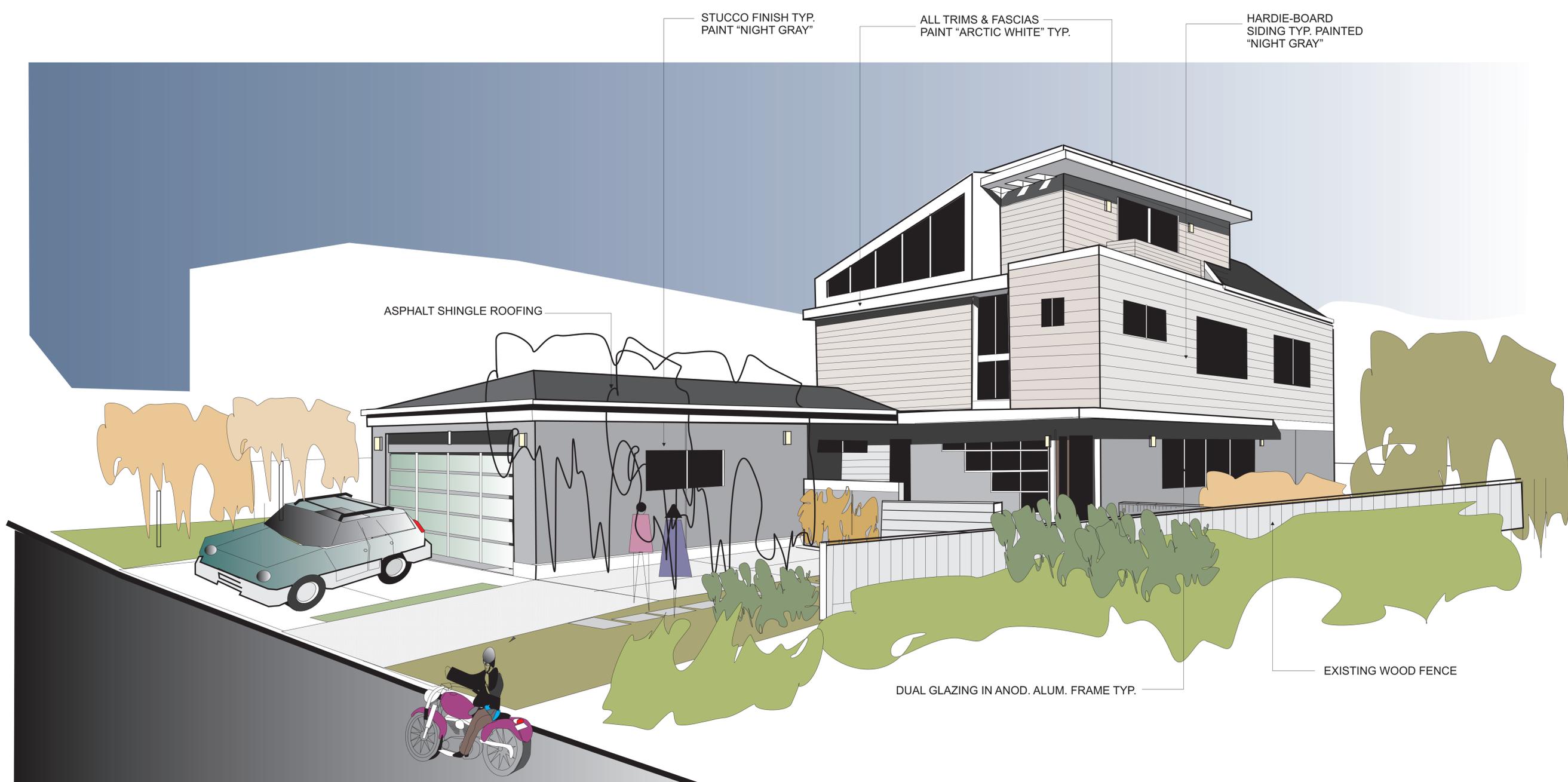
Architecture  
**ARISRUIS**  
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 725 baden avenue, south san francisco, ca 94080  
 Tel: (650) 989-1951 Fax: (650) 989-4200 E-mail: ARISRUIS@juno.com

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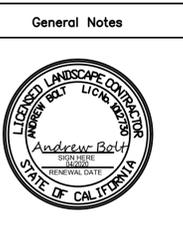
**NEW MITHAL RESIDENCE**  
**MAGELLAN AVENUE**  
**HALF MOON BAY, CA**

**SCHEMATIC DRAWINGS**

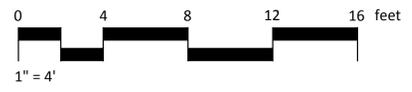
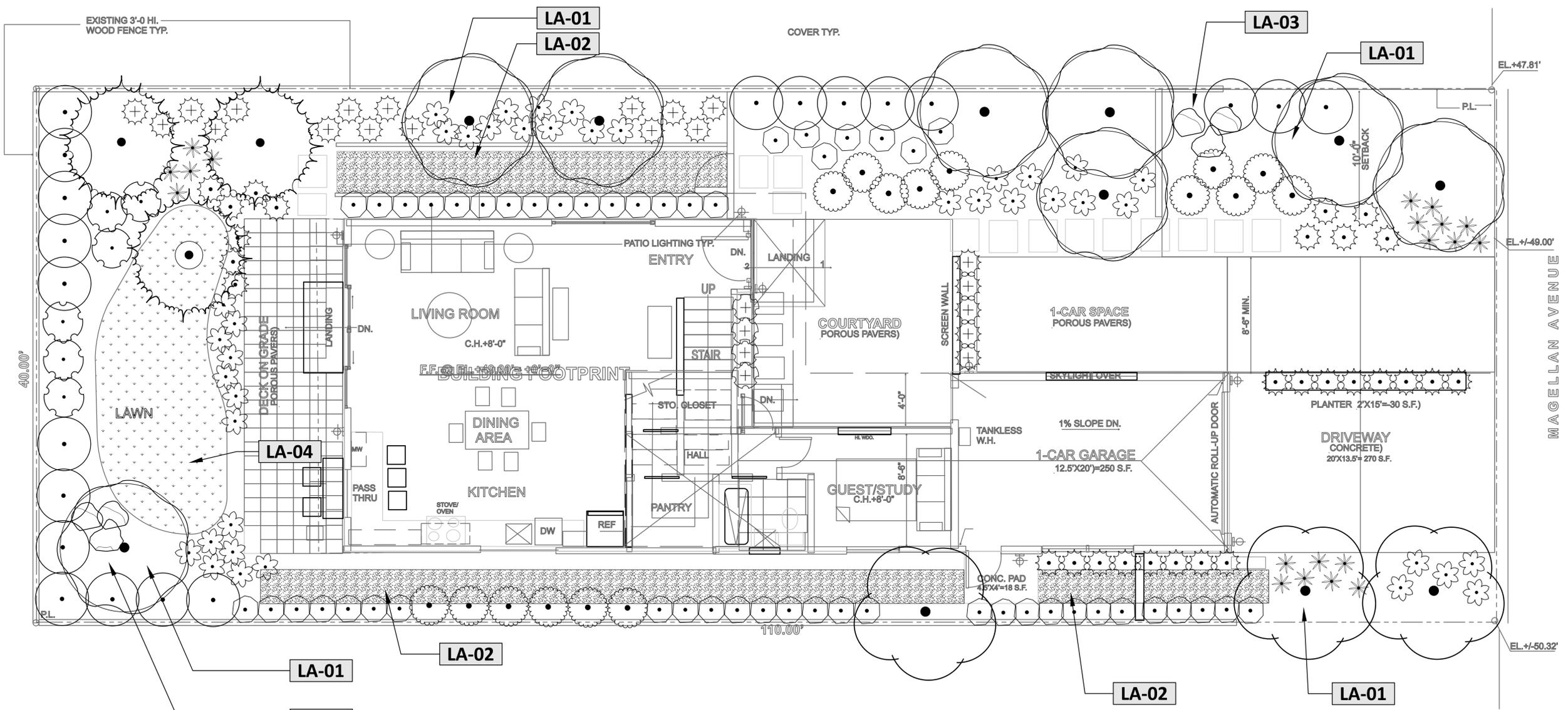
SHEET Number  
**AR-4**  
 4 OF 5  
 DATE: 11/12/18



**MITHAL RESIDENCE**  
**MAGELLAN AVENUE, HALF MOON BAY, CA**



# PLANTING LAYOUT



### IRRIGATION NOTES:

- POINT OF CONNECTION (P.O.C.)**
- CONNECT IRRIGATION MAINLINE TO MAIN WATER SUPPLY (SEE CIVIL OR ARCHITECTURAL DRAWINGS FOR LOCATION). LANDSCAPE CONTRACTOR TO VERIFY LOCATION, SIZE, FLOW AND PRESSURES AVAILABLE AND TO NOTIFY LANDSCAPE ARCHITECT OF ANY NECESSARY CHANGES NEEDED TO BE MADE SO THAT THE IRRIGATION SYSTEM PERFORMS TO AN IRRIGATION EFFICIENCY OF A MINIMUM OF 81 PERCENT.
  - SYSTEM MAXIMUM OPERATING PRESSURES. 65 PSI (AT P.O.C) INSTALL PRESSURE REDUCER IF PRESSURES EXCEED EQUIPMENT MANUFACTURERS SUGGESTED MAXIMUM OPERATING PRESSURES.
  - SYSTEM MINIMUM OPERATING PRESSURES. 40 PSI (AT P.O.C)

**IRRIGATING AROUND EXISTING TREES.**  
 ANY IRRIGATION (MAINLINE OR LATERALS) WATCHING DRIP LINES OF EXISTING TREES SHALL BE FIELD APPROVED BY CONSULTING ARBORIST AND OR LANDSCAPE ARCHITECT PRIOR TO ANY TRENCHING WORK COMMENCES. HAND TRENCH AND OR FOLLOW ALL ARBORISTS/LANDSCAPE ARCHITECTS RECOMMENDATIONS.  
 DO NOT STACK OR STORE ANY MATERIALS, EQUIPMENT OR MACHINERY UNDER DRIP LINE OF EXISTING TREES.

### MWELO NOTES

- CERTIFICATION OF COMPLETION REQUIREMENTS**
- UPON COMPLETION OF LANDSCAPE AND IRRIGATION INSTALLATION THE LANDSCAPE CONTRACTOR SHALL SUBMIT THE FOLLOWING AS REQUIRED BY CALIFORNIA MODEL CERTIFICATION FROM LANDSCAPE ARCHITECT FOR INSTALLATION ACCORDING TO THE APPROVED LANDSCAPE DOCUMENTATION PACKAGE.
  - SOIL MANAGEMENT REPORT AND RECEIPTS FOR SOIL IMPROVEMENT PRODUCTS.
  - LANDSCAPE MAINTENANCE MANAGEMENT REPORT.
  - IRRIGATION MAINTENANCE MANAGEMENT REPORT.
  - IRRIGATION SCHEDULE FOR NEW AND ESTABLISHED PLANT MATERIALS
  - IRRIGATION AUDIT REPORT INDICATING SITE IRRIGATION EFFICIENCY,
  - IRRIGATION DISTRIBUTION UNIFORMITY, ALL INSTALLED EQUIPMENT COMPLIES WITH APPROVED MWELO GUIDELINES.
  - CERTIFICATE OF COMPLETION (COC) FORM.
- CONTACT LOCAL ENFORCING AGENCY FOR APPROVED SUBMITTAL FORMS AND PROCEDURES.

### MWELO GENERAL NOTES:

- A CERTIFICATE OF COMPLETION SHALL BE COMPLETED BY EITHER THE OWNER, THE DESIGNER OF THE LANDSCAPE PLANS OR BY THE LICENSED INSTALLING CONTRACTOR.
- AN AS BUILT DIAGRAM OF THE INSTALLED IRRIGATION SHOWING NUMBERED ZONES, VALVE LOCATION, MAINLINE LOCATION, IRRIGATION CONTROLLER AND P.O.C LOCATION SHALL BE KEPT WITH THE CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- CHECK VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW HEAD DRAINAGE COULD OCCUR.
- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER OPTIMUM PRESSURE OF THE SPECIFIED IRRIGATION DEVICE PRESSURE EXCEEDS THE OPERATING RECOMMENDATIONS.
- NO OVERHEAD IRRIGATION IS PERMITTED IN LANDSCAPE AREAS THAT ARE LESS THAN 10' WIDE. DRIP OR LOW FLOW BUBBLER IRRIGATION MUST BE USED AS AN ALTERNATIVE.
- INSTALLING CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND PROGRAMMING ALL SELF ADJUSTING WEATHER/SOIL MOISTURE SENSING BASED CONTROLLERS. RAIN SENSORS ARE TO BE INSTALLED WITH ANY CONTROLLER WHERE AN OFFSITE WEATHER STATION IS USED.
- ALL SPECIFIED FLOW SENSORS AND MASTER VALVES MUST BE INSTALLED AND PROGRAMMED AS PER MANUFACTURERS REQUIREMENTS.
- AN IRRIGATION AUDIT AND COMMISSIONING IS REQUIRED ON ALL PROJECTS. CONTACT ANDREW BOLT 209-404-1746 TO SET UP.
- THESE PLANS HAVE BEEN PREPARED BY A CERTIFIED PROFESSIONAL AND ARE MEANT AS A GUIDE ONLY. PIPING AND VALVE PLACEMENT ARE DIAGRAMATIC ONLY. ALL PIPING UNDER HARDSCAPES MUST BE SLEEVED WITH SPECIFIED SLEEVING MATERIALS.
- PROTECT ALL EXISTING TREES DURING IRRIGATION TRENCHING AND PIPE INSTALLATION. CONSULT WITH LANDSCAPE ARCHITECT BEFORE CUTTING ANY ROOTS.
- NOTE TO CONTRACTOR: ALL IRRIGATION ZONES HAVE BEEN LAYED OUT AND APPROVED BY THE CITY OR COUNTY BASED ON PLANT WATER USE. SHOULD THE INSTALLING CONTRACTOR CHANGE OR MODIFY THE APPROVED IRRIGATION LAYOUT IN ANYWAY WITHOUT PRIOR AUTHORIZATION THE CONTRACTOR WILL ASSUME ALL LIABILITY AND COST OF ALL CHANGES TO THE IRRIGATION LAYOUT AND ALL ADDITIONAL WATER USAGE OVER AND ABOVE FOR THE LIFE OF THE IRRIGATION SYSTEM(S) AND ALL COSTS THAT ARE ASSOCIATED WITH OVER WATER USAGE.

"I have complied with the criteria of the Model Water Efficient Landscape Ordinance and have applied them accordingly for the efficient use of water in the Irrigation Design Plan."  
 DATED: 12/28/2019  
 BY: Andrew Bolt



No.	Revision/Issue	Date

Firm Name and Address



Project Name and Address

**NEW MITHAL RESIDENCE**  
 MAGELLAN AVE. HALF  
 MOON BAY, CA

Project	Drawn By
251-2019	AJBB
Date	Checked By
11/16/2019	
Scale	Approved By
1/4" = 1'	
	Sheet
	L1.0

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DATE: January 2, 2020 - Saved By: Andrew Bolt  
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## PLANT MAINTENANCE AND WARRANTY

MAINTENANCE DURING THE WARRANTY PERIOD by the plant installer  
During the warranty period, provide all maintenance for all plantings to keep the plants in a healthy state and the planting areas clean and neat.  
General requirements:

- All work shall be undertaken by trained planting crews under the supervision of a foreman with a minimum of 5 years experience supervising commercial plant maintenance crews.
- All chemical and fertilizer applications shall be made by licensed applicators for the type of chemicals to be used. All work and chemical use shall comply with all applicable local, provincial and federal requirements.
- Assure that hoses and watering equipment and other maintenance equipment does not block paths or be placed in a manner that may create tripping hazards. Use standard safety warning barriers and other procedures to maintain the site in a safe manner for visitors at all times.
- All workers shall wear required safety equipment and apparel appropriate for the tasks being undertaken.
- The Contractor shall not store maintenance equipment at the site at times when they are not in use unless authorized in writing by the Owner's Representative.
- Maintenance vehicles shall not park on the site including walks and lawn areas at any time without the Owner's Representative's written permission.
- Maintain a detailed log of all maintenance activities including types of tasks, date of task, types and quantities of materials and products used, watering times and amounts, and number of each crew. Periodically review the logs with the Owner's Representative, and submit a copy of the logs at the end of each year of the maintenance agreement.
- Meet with the Owner's Representative a minimum of three times a year to review the progress and discuss any changes that are needed in the maintenance program. At the end of the warranty period attend a hand over meeting to formally transfer the responsibilities of maintenance to the Owner's Representative. Provide all information on past maintenance activities and provide a list of critical tasks that will be needed over the next 12 months. Provide all maintenance logs and soil test data. Make the Contractor's supervisor available for a minimum of one year after the end of the warranty period to answer questions about past maintenance.
- Provide the following maintenance tasks:
- Watering: Provide all water required to keep soil within and around the root balls at optimum moisture content for plant growth.
- Maintain all watering systems and equipment and keep them operational.
- Monitor soil moisture to provide sufficient water. Check soil moisture and root ball moisture with a soil moisture meter on a regular basis and record moisture readings. Do not over water.
- Soil nutrient levels: Take a minimum of 4 soil samples from around the site in the spring and fall and have them tested by an accredited agricultural soil testing lab for chemical composition of plant required nutrients, pH, salt and % organic matter. Test results shall include laboratory recommendations for nutrient applications. Apply fertilizers at rates recommended by the soil test.
- Make any other soil test and/or plant tissue test that may be indicated by plant conditions that may not be related to soil nutrient levels such as soil contaminated by other chemicals or lack of chemical uptake by the plant.
- Plant pruning: Remove cross over branching, shorten or remove developing co dominant leaders, dead wood and winter-damaged branches. Unless directed by the Owner's Representative, do not shear plants or make heading cuts.
- Restore plants: Reset any plants that have settled or are leaning as soon as the condition is noticed.
- Guying and staking: Maintain plant guys in a taught position. Remove tree guys and staking after the first full growing season unless directed by Owner's Representative.
- Weed control: Keep all beds free of weeds. Hand-remove all weeds and any plants that do not appear on the planting plan. Chemical weed control is permitted only with the approval of the Owner's Representative. Schedule weeding as needed but not less 12 times per year.
- Trash removal: Remove all trash and debris from all planting beds and maintain the beds in a neat and tidy appearance. The number of trash and debris removal visits shall be no less than 12 times per year and may coincide with other maintenance visits.
- Plant pest control: Maintain disease, insects and other pests at manageable levels. Manageable levels shall be defined as damage to plants that may be noticeable to a professional but not to the average person. Use least invasive methods to control plant disease and insect outbreaks.
- The Owner's Representative must approve in advance the use of all chemical pesticide applications.
- Plant replacement: Replace all plants that are defective as defined in the warranty provisions, as soon as the plant decline is obvious and in suitable weather and season for planting as outlined in above sections. Plants that become defective during the maintenance period shall be covered and replaced under the warranty provisions.
- Mulch: Refresh mulch once a year to maintain complete coverage but do not over mulch. At no time shall the overall mulch thickness be greater than 3 inches. Do not apply mulch within 6 inches of the trunks or stems of any plants. Replacement mulch shall meet the requirements of the original approved material. Mulch shall be no more than one inch on top of the root ball surface.
- Bed edging: Check and maintain edges between mulch and lawn areas in smooth neat lines as originally shown on the drawings.
- Leaf, fruit and other plant debris removal: Remove fall leaf, spent flowers, fruit and plant part accumulations from beds and paved surfaces. Maintain all surface water drains free of debris. Debris removal shall be undertaken at each visit to weed or pick up trash in beds.
- Damage from site use: Repair of damage by site visitors and events, beyond normal wear, are not part of this maintenance. The Owner's Representative may request that the Contractor repair damage beds or plantings for an additional cost. All additional work shall be approved in advance by the Owner's Representative.

## PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	REMARKS	VERY LOW	LOW	MEDIUM	HIGH	
	ARB HYB	3	ARBUTUS X 'MARINA' / ARBUTUS STANDARD	15 GAL.			X			
	CUP CIT	8	CUPRESSUS MACROCARPA 'CITRIODORA' / MONTEREY CYPRESS	15 GAL.			X			
	MET EXC	3	METROSIDEROS EXCELSA / NEW ZEALAND CHRISTMAS TREE	15 GAL.			X			
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	REMARKS	VERY LOW	LOW	MEDIUM	HIGH	
	ANI HYB	20	ANIGOZANTHOS X 'BIG RED' / BIG RED KANGAROO PAW	1 GAL			X			
	ANI CA2	4	ANIGOZANTHOS X 'CAPE MAGENTA' / MAGENTA KANGAROO PAW	1 GAL			X			
	CAL LIT	6	CALLISTEMON VIMINALIS 'LITTLE JOHN' / DWARF WEEPING BOTTLEBRUSH	5 GAL			X			
	CAR DIV	40	CAREX DIVULSA / BERKELEY SEDGE	1 GAL			X			
	CAR EVE	20	CAREX OSHIMENSIS 'EVERGOLD' / VARIEGATED JAPANESE SEDGE	1 GAL			X			
	DIA CAS	28	DIANELLA TASMANICA 'CASA BLUE' / BLUE FLAX LILY	1 GAL			X			
	DOD PUR	20	DODONAEA VISCOSA 'PURPUREA' / PURPLE LEAFED HOPSEED BUSH	5 GAL			X			
	GRE COA	16	GREVILLEA LANIGERA 'COASTAL GEM' / COASTAL GEM GREVILLEA	5 GAL			X			
	NAN LEM	50	NANDINA DOMESTICA 'LEMON LIME' / LEMON LIME NANDINA	5 GAL			X			
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS	VERY LOW	LOW	MEDIUM	HIGH
	FES BOL	190 SF	FESTUCA X 'BOLERO PLUS' / BOLERO FESCUE	ROLLS						X
	GRA GRV	266 SF	GRAVEL 3/8" PEA GRAVEL	1" LAYER		INSTALL OVER 3" COMPACTED BASE ROCK				

## LANDSCAPE REFERENCE NOTES

SYMBOL	DESCRIPTION	PRODUCT	SIZE	COLOUR	REMARKS
	MULCH AREA - INSTALL 3" OFF APPROVED ORGANIC MULCH TYPICAL. DO NOT MOUND AT CROWN AT PLANTS AND TREES	BARK MULCH	1/2-1"	TAN	INSTALL IN ALL PLANTER AREAS
	GRAVEL MULCH- INSTALL 1" OF APPROVED GRAVEL. CONSULT WITH OWNER	PEA GRAVEL	3/8"	GREY	INSTALL 1" DEEP OVER 3" BASEROCK
	BOULDER PLACEMENT-INSTALL BOULDERS AS APPROVED BY LANDSCAPE ARCHITECT OR DESIGNER. BOLDERS TO BE EXCAVATED AND BURIED TO 25% OF SIZE. DO NOT PLACE BOULDERS ON GRADE.	GLACIER GRANITE	1/4"	GREY	BURY BOULDERS 25%
	TURF HEADER- PER LANDSCAPE PLANS	PERMALOC CLEAN LINE3/8X4"		BLACK	INSTALL WITH SMOOTH RADIUS

### General Notes



# PLANTING LEGEND

No.	Revision/Issue	Date

Firm Name and Address



Project Name and Address

**NEW MITHAL RESIDENCE**  
MAGELLAN AVE. HALF  
MOON BAY, CA

Project	Drawn By
251-2019	AJBB
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11/16/2019	
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"I have complied with the criteria of the Model Water Efficient Landscape Ordinance and have applied them accordingly for the efficient use of water in the Irrigation Design Plan."

DATED: 12/28/2019  
BY: Andrew Belt

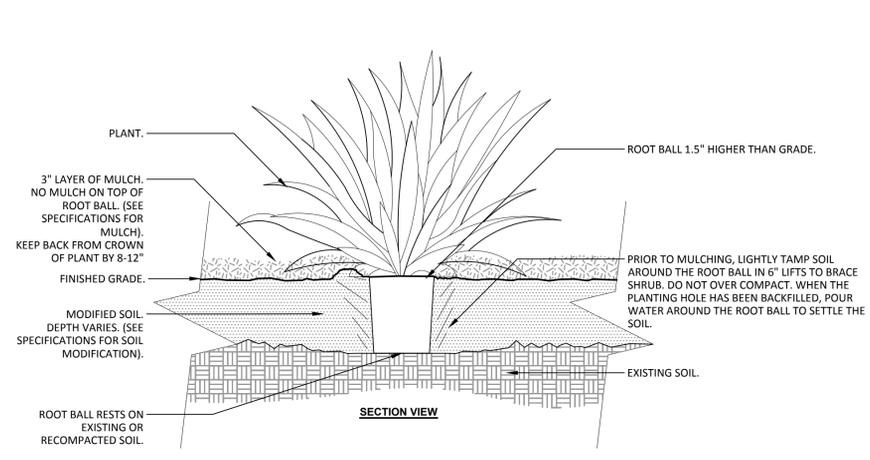


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General Notes

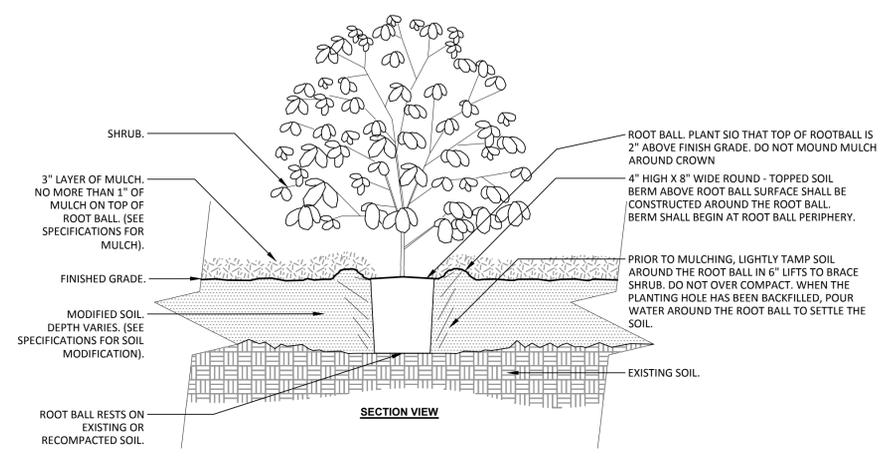


LANDSCAPE DETAILS



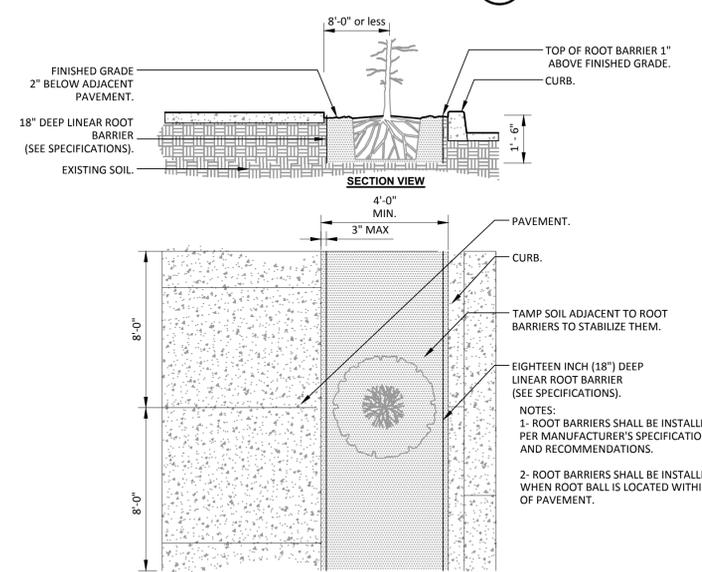
NOTES:  
 1- SHRUBS SHALL BE OF QUALITY PRESCRIBED IN THE ROOT OBSERVATIONS DETAIL AND SPECIFICATIONS.  
 2- SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

2 GRASSES & STRAPPY PLANT PLANTING  
 NTS AB-LA-PLA-09

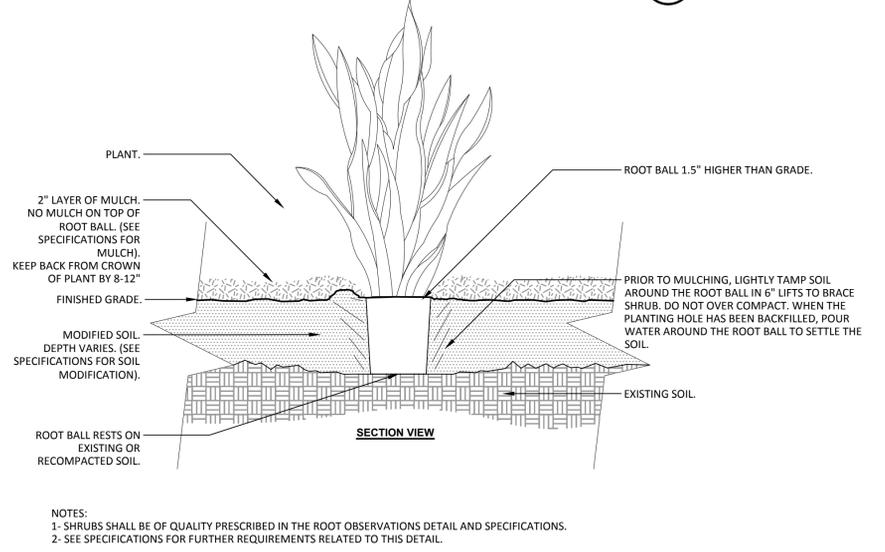


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 2- SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

1 SHRUB PLANTING  
 NTS AB-LA-PLA-07

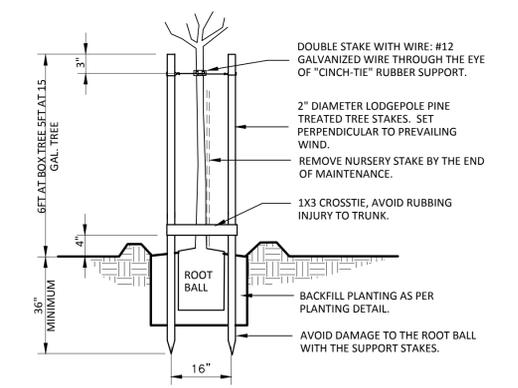


4 ROOT BARRIERS  
 NTS AB-LA-PLA-05

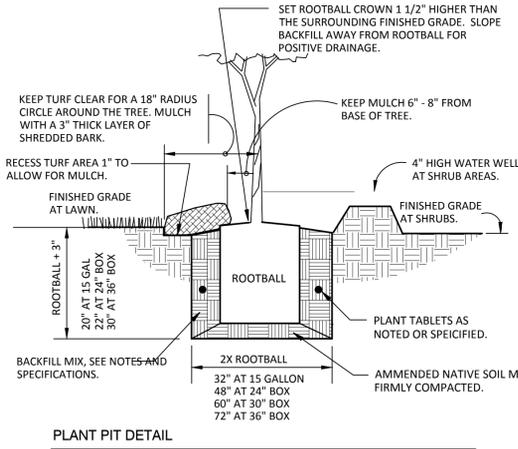


NOTES:  
 1- SHRUBS SHALL BE OF QUALITY PRESCRIBED IN THE ROOT OBSERVATIONS DETAIL AND SPECIFICATIONS.  
 2- SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

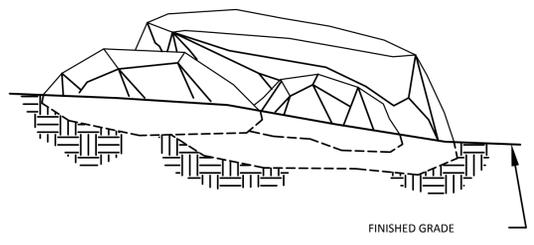
3 STRAPPY PLANT PLANTING  
 NTS AB-LA-PLA-10



STAKING DETAIL

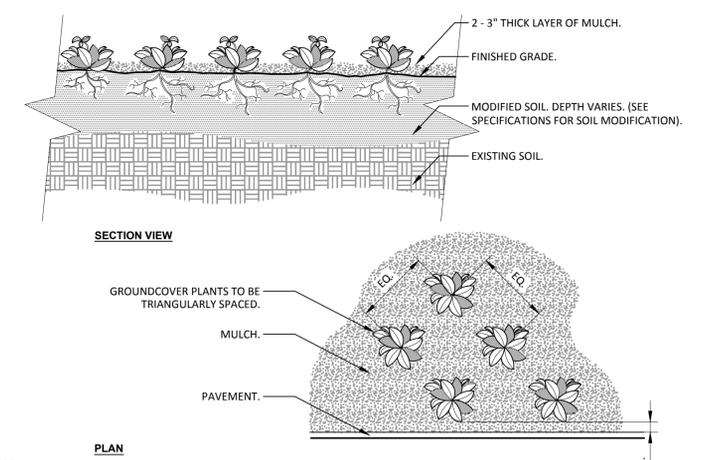


PLANT PIT DETAIL



NOTES:  
 ● SET BOULDERS WITH THE WIDEST PART AT GRADE (approx. 25% of the boulder below grade)  
 ● GROUP BOULDERS IN A NATURAL SETTING AS SHOWN ON THE PLAN

7 BOULDER DETAIL  
 1" = 1" AB-LA-WAL-01



NOTES:  
 1- SEE PLANTING LEGEND FOR GROUNDCOVER SPECIES, SIZE, AND SPACING DIMENSION.  
 2- SMALL ROOTS (1/2" OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY CAN BE REMOVED AT THE TIME OF PLANTING. (SEE ROOT BALL SHAVING CONTAINER DETAIL).  
 3- SETTLE SOIL AROUND ROOT BALL OF EACH PLUG PRIOR TO MULCHING.

6 PLUG PLANTING  
 NTS AB-LA-PLA-11

5 TREE PLANTING DOUBLE STAKE  
 NTS AB-LA-PLA-06

No.	Revision/Issue	Date

Firm Name and Address



Project Name and Address

**NEW MITHAL RESIDENCE**  
 MAGELLAN AVE. HALF MOON BAY, CA

Project	251-2019	Drawn By	AJBB
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**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT D**

January 6, 2020

Raj Mithal  
C/o Arti Mithal  
724 Main Street  
Half Moon Bay, CA 94019

Dear Mr. Mithal:

SUBJECT: Coastside Design Review Recommendation  
208 Magellan Avenue, Miramar  
APN 048-031-200; County File No. PLN 2018-00490

At its meeting of December 12, 2019, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a design review permit to allow construction of a new 2,051 sq. ft., 3-story single-family residence, plus a 279 sq. ft. 1-car attached garage, located on an existing 4,400 sq. ft. legal non-conforming parcel (legality confirmed via PLN 2017-00040), as part of a hearing-level Coastal Development Permit (CDP) and a Non-Conforming Use Permit (UP). The UP is required to allow one (1) covered parking space on-site where two (2) spaces are required, 5 feet left side setback where 10 feet is the minimum, and development of the non-conforming parcel, where 10,000 sq. ft. is required by the S-94 Zoning District. The project does not involve tree removal and only minor grading. The project is not appealable to the California Coastal Commission.

Based on the plans, application forms and accompanying materials submitted, the Coastside Design Review Committee recommended approval of your project based on and subject to the following findings and recommended conditions:

### **FINDINGS**

The Coastside Design Review Officer found that:

1. For the Environmental Review

This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA), Section 15303, Class 3(a), relating to the construction of one single-family residence in an urban, residential zone.

The Coastside Design Review Committee found that:

2. For the Design Review



The project, as proposed and conditioned, has been reviewed under and found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:

- a. *Section 6565.20(D.1.b) Elements of Design: b. Neighborhood Scale: Project scale is proportional and complimentary to other homes in the neighborhood.*
- b. *Section 6565.20 (D.4) Exterior Materials and Colors. Proposed exterior materials and colors complement the style of the house and those of the neighborhood.*

### **RECOMMENDED CONDITIONS**

#### **Current Planning Section**

1. The project shall be constructed in compliance with the plans once approved by the Planning Commission and as reviewed by the Coastside Design Review Committee on December 12, 2019. Any changes or revisions to the approved plans are subject to review and approval by the Community Development Director. Minor adjustments to project design may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the Coastside Design Review Committee, with applicable fees to be paid.
2. The applicant shall include a copy of the final approval letter on the top pages of the building plans. This would provide the Planning approval date and required conditions of approval on the on-site plans.
3. The applicant shall provide "finished floor elevation verification" to certify that the structure is actually constructed at the height shown on the submitted plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site.
  - a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
  - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
  - c. Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.

- d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
  - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
  - f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
4. The applicant shall indicate the following on plans submitted for a building permit, as stipulated by the Coastside Design Review Committee:
- a. For exterior colors and materials, plans shall reflect the following color scheme:
    - (1) Use Pearl Grey, Color Plus Technology paint for Hardie-Board siding.
    - (2) Use Night Grey, Color Plus Technology Paint for stucco siding.
    - (3) Use Arctic White for trim, gutter and fascia.
  - b. To break up stucco wall treatment, add a vertical reveal line in stucco wall on west side to the left of living room window. Also, add a horizontal reveal line at 4 feet high, wrapping the building.
  - c. Remove 2 exterior lights on ground level on either side of large window on west side of building.
  - d. Remove exterior motion detector light on west side of building on first floor plan.
  - e. Consult a licensed landscape designer and revise plans to reflect the following:
    - (1) Use an alternate, less linear design for the shrubs that are shown on the plan.
    - (2) Leave trees as called out on the plan.
    - (3) Remove invasive species, Stipa and Ipomea, from the plant list and consider substitute grasses and ivy (e.g., Calamagrostis Folios, Festuca Californica Leymus and Ficus Pumila).

- (4) Use 2-inch depth of gravel, polished rock as ground cover.
5. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including, but not limited to, the following:
- a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
  - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
  - c. Performing clearing and earth-moving activities only during dry weather.
  - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
  - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
  - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
  - g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
  - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
  - i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
  - j. Limiting construction access routes and stabilization of designated access points.
  - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
  - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.

- m. Removing spoils promptly, and avoiding stockpiling of fill materials, when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.
  - n. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
  - o. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
6. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
7. All new power and telephone utility lines from the street or nearest existing utility pole to the main dwelling and/or any other structure on the property shall be placed underground.
8. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Department of Public Works and the Coastside Fire Protection District.
9. No site disturbance shall occur, including any vegetation/tree removal or grading, until a building permit has been issued.
10. To reduce the impact of construction activities on neighboring properties, comply with the following:
- a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
  - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
  - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on Magellan Avenue. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Magellan Avenue. There shall be no storage of construction vehicles in the public right-of-way.

11. Color and materials verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.
12. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving and Christmas (San Mateo Ordinance Code Section 4.88.360).
13. Installation of the approved landscape plan is required prior to final inspection.
14. At the building permit application stage, the project shall demonstrate compliance with the Water Efficient Landscape Ordinance (WELO) and provide required forms. WELO applies to new landscape projects equal to or greater than 500 sq. ft. A prescriptive checklist is available as a compliance option for projects under 2,500 sq. ft. WELO also applies to rehabilitated landscape projects equal to or greater than 2,500 sq. ft. The following restrictions apply to projects using the prescriptive checklist:
  - a. Compost: Project must incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test).
  - b. Plant Water Use (Residential): Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75 percent of the plant area excluding edibles and areas using recycled water.
  - c. Mulch: A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers.
  - d. Turf: Total turf area shall not exceed 25 percent of the landscape area. Turf is not allowed in non-residential projects. Turf (if utilized) is limited to slopes not exceeding 25 percent and is not used in parkways less than 10 feet in width. Turf, if utilized in parkways is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.
  - e. Irrigation System: The property shall certify that Irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor; Irrigation controller programming data will not be lost due to an interruption in the primary power source; and Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff.

15. At the building permit application stage, the applicant shall submit a tree protection plan for any work within tree driplines or adjacent to off-site trees, including the following:
  - a. Identify, establish, and maintain tree protection zones throughout the entire duration of the project;
  - b. Isolate tree protection zones using 5-foot tall, orange plastic fencing supported by poles pounded into the ground, located at the driplines as described in the arborist's report;
  - c. Maintain tree protection zones free of equipment and materials storage; contractors shall not clean any tools, forms, or equipment within these areas;
  - d. If any large roots or large masses of roots need to be cut, the roots shall be inspected by a certified arborist or registered forester prior to cutting as required in the arborist's report. Any root cutting shall be undertaken by an arborist or forester and documented. Roots to be cut shall be severed cleanly with a saw or topers. A tree protection verification letter from the certified arborist shall be submitted to the Planning Department within five (5) business days from site inspection following root cutting;
  - e. Normal irrigation shall be maintained, but oaks shall not need summer irrigation, unless the arborist's report directs specific watering measures to protect trees;
  - f. Street tree trunks and other trees not protected by dripline fencing shall be wrapped with straw wattles, orange fence and 2x4 boards in concentric layers to a height of eight feet; and
  - g. Prior to issuance of a building Permit or demolition Permit, the Planning and Building Department shall complete a pre-construction site inspection, as necessary, to verify that all required tree protection and erosion control measures are in place.

#### Building Inspection Section

16. A building permit is required for this project.
17. Fire Department comments dated April 14, 2019, numbers 6 and 8, are not applicable as this property is located in neither a Local Responsibility Area (LRA) or State Responsibility Area (SRA) Fire Hazard Severity Zone.

Geotechnical Section

18. Geotechnical report required at building permit stage. Geotechnical Consultant of Record shall review and approve the grading plans, drainage plan(s) related to the geotechnical aspects, and foundation plans at the minimum. Plans review letter shall be submitted to County for review and approval.
19. The Geotechnical Consultant of Record shall propose site geotechnical inspections specifications in the geotechnical report. The specifications shall be in compliance with CBC2016 as a minimum.

Drainage Section

20. The following will be required at the time of building permit submittal:
  - a. An updated Drainage Report prepared and stamped by a Registered Civil Engineer.
  - b. A final Grading and Drainage Plan prepared and stamped by a Registered Civil Engineer.
  - c. An updated C3 C6 Checklist (if changes to the amount of impervious area were made during the design phase).
21. Prior to the issuance of the Building permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Drainage Section for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Drainage Section for review and approval.

Coastside County Water District (CCWD)

22. The Coastside County Water District records confirm that there is no installed or uninstalled water service connection(s) assigned to APN 048-031-200.  
  
Applicant will be required to obtain a water service connection if connecting to Coastside County Water District infrastructure.
23. Before issuance of a building permit, the District will need to evaluate a complete set of building plans to determine if the water service capacity available is adequate for any development and complies with all District regulations.

Granada Community Services District (GCSD)

24. The project may require a Sewer Variance from the Granada Community Services District due to the non-conforming size of the parcel.

Coastside Fire Protection District

25. Add Note to plans: Smoke Detectors which are hard wired: As per the California Building Code, State Fire Marshal regulations, and Coastside Fire District Ordinance 2016-01, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and recondition sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. Date of installation must be added to exterior of the smoke alarm and will be checked at final.
26. Add Note to plans: Smoke alarm/detector are to be hardwired, interconnected, or with battery back-up. Smoke alarms to be installed per manufactures instruction and NFPA 72.
27. Add Note to plans: Escape or rescue windows shall have a minimum net clear openable area of 5.7 sq. ft., 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor. (CFC 1030).
28. Identify rescue windows in each bedroom and verify that they meet all requirements. Add this to plans.
29. Add Note to plans: New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/2-inch stroke. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire District. This remote signage shall consist of a 6 inch by 18-inch green reflective metal sign with 3-inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE).
30. Add Note to plans: As per Coastside Fire District Ordinance 2016-01, the roof covering of every new building or structure, and materials applied as part of a roof covering

assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.

31. The installation of an approved spark arrester is required on all (WOOD BURNING) chimneys. Spark arresters shall be made of 12-gage woven or welded wire screening having openings not exceeding 1/2-inch. If not, wood burning disregard this note.
32. Vegetation Management (LRA) – Add notes from the Coastside Fire District Ordinance 2016-01, the 2016 California Fire Code 304.1.2.

A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees.

Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.

Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.

33. Fire Access Roads – Add note to plans: The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The City of Half Moon Bay Department of Public Works, San Mateo County Department of Public Works, the Coastside Fire District Ordinance 2016-01, and the California Fire Code shall set road standards. As per the 2016 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Coastside Fire District specifications. As per the 2016 CFC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20-foot road) and on-street parking is desired, an additional improved area shall be developed for that use.
34. The hydrant in front of the house is the correct hydrant but you will need to confirm that it meets the flows when you submit your fire sprinkler plans. Fire Hydrant: As per 2016 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 2065) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2016 CFC, Appendix B the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.

35. Add Note to plans: Automatic Fire Sprinkler System: Fire Sprinkler plans will require a separate permit. As per San Mateo County Building Standards and Coastside Fire District Ordinance Number 2016-01, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. Sprinkler coverage shall be provided throughout the residence to include all bathrooms, garages, and any area used for storage. The only exception is small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Division. A building permit will not be issued until plans are received, reviewed and approved. Upon submission of plans, the County will forward a complete set to the Coastside Fire District for review.
36. Installation of underground sprinkler pipe shall be flushed and visually inspected by Fire District prior to hook-up to riser. Any soldered fittings must be pressure tested with trench open. Please call Coastside Fire District to schedule an inspection. Fees shall be paid prior to plan review.
37. Exterior bell and interior horn/strobe: are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.
38. Add note to the title page that the building will be protected by an automatic fire sprinkler system.

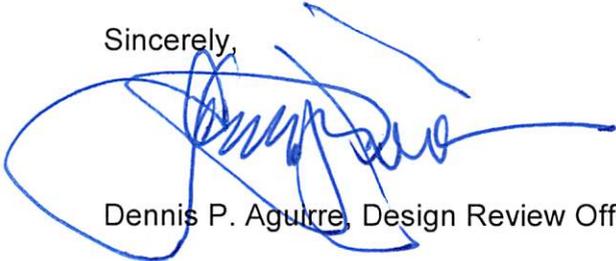
#### Department of Public Works

39. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20 percent) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
40. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
41. Prior to the issuance of the Building Permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance #3277.

Please note that the decision of the Coastside Design Review Committee is a recommendation regarding the project's compliance with design review standards, not the final decision on this project, which requires a hearing-level Coastal Development Permit (CDP) and a Non-Conforming Use Permit (UP). The decision on the CDP and UP will take place at a later date. For more information, please contact Camille Leung, Senior Planner, at 650/363-1826, if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link:  
<http://planning.smcgov.org/survey>.

Sincerely,



Dennis P. Aguirre, Design Review Officer

CML:DPA:cmc – CMLEE0002\_WCN.DOCX

cc: Arti Mithal, Property Owner  
Bruce Chan, Member Architect  
Katie Kostiuk, Member Architect  
Claire Toutant, Midcoast Community Council Chair (via email)  
Paul McGregor, Interested Member of the Public (via email)



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT E**



**PLN2018-00490**









**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT F**

Begin forwarded message:

**From:** Raj Mithal <[rmithal1@gmail.com](mailto:rmithal1@gmail.com)>  
**Subject:** OFFER LETTER  
**Date:** December 11, 2018 at 11:27:24 AM PST  
**To:** [gcomito@granada.ca.gov](mailto:gcomito@granada.ca.gov)  
**Cc:** Genevieve Saxton <[gsaxton@granada.ca.gov](mailto:gsaxton@granada.ca.gov)>

To Carey Helen. The Isabella Trust.

I Arti Mithal purchased a sub standard lot on Magellan Dr HMB Lot 15 Block 5. APN 048 031 200 (4,400)

Upon visiting the Sewer District, I was requested to ask you if you would entertain the idea of selling me a portion of your

property sharing the same property line with my property, so that my parcel would be rendered conforming (10,000 Sq Ft)

I feel the fair market value for 5,600 Sq Ft (Required to conform) is \$336,000.00. Thank you.

12/11/2018

[rmithal1@gmail.com](mailto:rmithal1@gmail.com)

8930

St. HMB. CA. 94019

Arti Mithal

[rmithal1@gmail.com](mailto:rmithal1@gmail.com)

650 243

724 Main