

September 2, 2020

Guadalupe Lopez
411 Chesterfield Avenue
Half Moon Bay, CA 94019

Dear Ms. Lopez:

SUBJECT: Coastside Design Review Continuance
Highland Avenue, El Granada
APN 047-161-100; County File No. PLN 2017-00191

At its meeting of August 13, 2020, the San Mateo County Coastside Design Review Committee (CDRC) considered your design review application to construct a new 4,590 sq. ft., 3-story single-family residence with attached 660 sq. ft. 3-car garage on an 8,663 sq. ft. legal parcel and road extension (approx. 140 linear feet) for access to the parcel, associated with a staff-level Coastal Development Permit (CDP). The proposed house will be built on an existing foundation (BLD 2007-00781) built over 25 years ago. Three (3) significant trees are proposed for removal. Approximately 190 cubic yards (cy) (131 cy cut, 59 cy fill) of grading proposed. This project is not appealable to the California Coastal Commission.

The CDRC was unable to make the findings for a design review recommendation of approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required. As such, requirements from the CDRC for further project redesign are as follows:

- a. Increase accuracy, continuity, and consistency within the drawing set, including but not limited to:
 - (1) Coordinate roof forms, elevations, and sections to accurately depict the roof forms.
 - (2) Provide accurate specs and samples for colors as well as architectural elements like the metal gate, the garage doors, and the front entry doors.
 - (3) Remove antiquated design info that is not being utilized.
 - (4) Accurately label the rooms.



- (5) Include a landing area for the exterior steps.
- (6) Confirm volumes of cut and fill needed for road extension and house
- b. *Per Section 6565.20(D). Elements of Design; 3. Roof Design; a. Massing and Design of Roof Forms; Standards: (1) When planning a new home or second story addition, begin with a primary roof form. Consider additions to the primary roof such as secondary roof forms and dormers that may serve to reduce the home's apparent mass and scale, provide visual interest and have an appropriate number of roof forms. Additional roof forms shall be architecturally compatible with the primary roof form's slope and material:*
 - (1) Revise massing and design of roof forms to Include secondary roof forms that are compatible with the primary roof form's slope and material in order to reduce the home's apparent mass and scale and provide visual interest.
 - (2) Generally, reduce ceiling height.
- c. *Per Section 6565.20(E). Additional Site Planning and Design Considerations; Standards: 1.c. Vary in design style, exterior detail, roof lines, finish materials, and landscaping enough to avoid overly repetitive appearance:* Provide more articulation of the massing of the house rather than only utilizing applied material changes.
- d. *Per Section 6565.20(D). Building Mass, Shape and Scale; (2) On downslope lots, minimize unused, enclosed space between the lowest floor and the grade below. (3) Minimize building extensions out over a slope supported on high stilts:* Reduce the amount of crawl space beneath the house.
- e. Suggestions (not required):
 - (1) Consider removing the small room attached to the garage.
 - (2) Revise landscape plan to provide a more organic appearance and avoid linear planting patterns.

As such, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Camille Leung, Senior Planner, at cleung@smcgov.org, if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link: <http://planning.smcgov.org/survey>.

Sincerely,

A handwritten signature in black ink, appearing to read "Ruemel Panglao". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Ruemel Panglao, Design Review Officer

RSP:CML:cmc – CMLEE0351_WCN.DOCX

cc: Katie Kostiuk, Member Architect
Rebecca Katkin, Member Architect
Chris Johnson, El Granada Community Representative
Carlos Dominguez, Designer and Engineer
Steven Dominguez, Designer and Engineer

AS OF JANUARY 1, 2016

CALIFORNIA BUILDING CODE 2016 EDITION
CALIFORNIA PLUMBING CODE 2016 EDITION (CPC)
CALIFORNIA ELECTRICAL CODE 2016 EDITION (CEC)
CALIFORNIA MECHANICAL CODE 2016 EDITION(CMC)
CALIFORNIA ENERGY CODE 2016 EDITION (CEnergyC)
CALIFORNIA RESIDENTIAL CODE 2016 EDITION (CRC)
CALGREEN CODE 2016 EDITION (CRC)
ALONG WITH ANY OTHER LOCAL AND STATE LAWS AND REG.

SCOPE OF WORK

NEW THREE STORY HOME

DRAWING INDEX

Table with 2 columns: Drawing ID and Description. Includes items like A1 THIS SHEET, C5 UTILITY PLAN, A2 FLOOR PLANS, E1 ENERGY CALCULATIONS, etc.

BUILDING INFO
APN: 047161100
LAND AREA (SQ. FT.): 8663
YEAR BUILT: TBD
BASE AREA (SQ. FT.): 3824
TOTAL ROOMS: 9
NO. OF BEDROOMS: 3
NO. OF BATHROOMS: 3.5
CITY NAME: EL GRANADA (UNINC)
ZIP CODE: 94018
APO: R-1/S-11/DR/CD

FIRE NOTES:

- AUTOMATIC FIRE SPRINKLER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13D.
FAST RESPONSE FIRE SPRINKLER HEADS SHALL BE INSTALLED IN HABITABLE SPACES.
THE AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED BY A LICENSED (C-16) CONTRACTOR...

CALGREEN NOTES

- DIVERT AT LEAST 65% OF ALL CONSTRUCTION DEBRIS AND WASTE TO A RECYCLING OR SALVAGE FACILITY AS PER CALGREEN SEC. A4.40B.1
PROVIDE A COPY OF ALL OPERATIONAL AND MAINTENANCE MANUALS TO THE BUILDING OCCUPANT.
PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS.

NOTES:

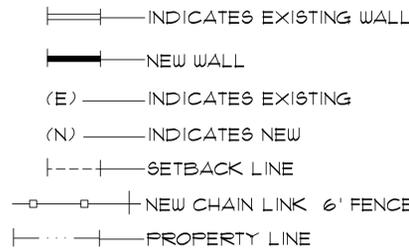
- PROVIDE TWO 20-AMP BRANCH CIRCUITS FOR SMALL KITCHEN APPLIANCES.
PROVIDE AT LEAST 1 GFCI PROTECTED RECEPTACLE FOR EACH 12-INCH OR WIDER KITCHEN WALL COUNTER SPACE ONLY, INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24 INCHES FROM A RECEPTACLE IN THAT SPACE.

SITE DATA

Table with 2 columns: Category and Value. Includes LOT SIZE 8663 SQFT, FIRST FLOOR 2046 SQFT, SECOND FLOOR 1528 SQFT, etc.

4591.39 SQFT MAX FAR

GENERAL LEGEND

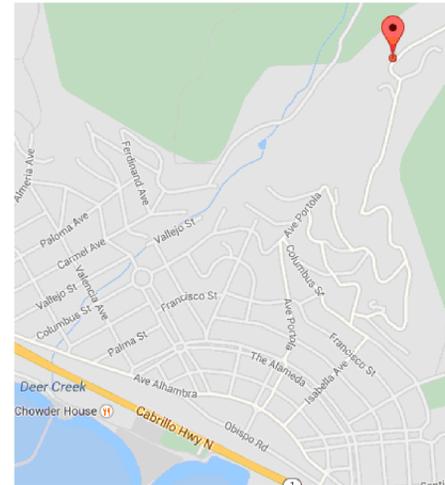


ABBREVIATIONS

Table of abbreviations and their full names. Includes AND ANGLE AT, CASEMENT, CENTER TO CENTER, etc.

GENERAL NOTES

- ALL CONSTRUCTION WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING CODE (CBC), 2016 CALIFORNIA PLUMBING CODE (CPC), 2016 CALIFORNIA MECHANICAL CODE (CMC), 2016 CALIFORNIA ELECTRICAL CODE (CEC), 2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS (BEEES), AND COUNTY OF SAN MATEO CODE (CSMC) TITLE 19.08.
STORM WATER RUN OFF SHALL NOT DRAIN ONTO THE ADJACENT PROPERTY, AND SHALL DRAIN AWAY FROM BUILDING FOUNDATION TO AN UNPAVED AREA.



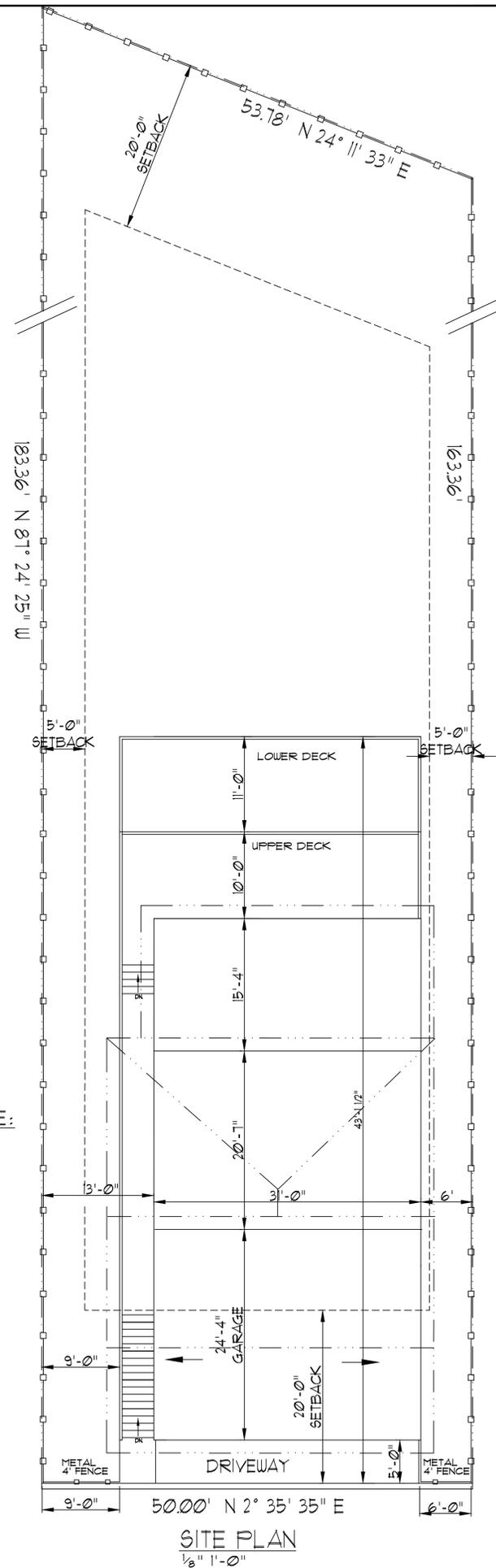
VICINITY MAP



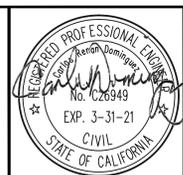
CONSTRUCTION SCHEDULE:

Table with 2 columns: BEGIN and ESTIMATE COMPLETION. Shows dates for April 2021 and April 2022.

- EACH RECEPTACLE OUTLET "AFCI" ARC-FAULT CIRCUIT INTERRUPTER AT ALL HABITABLE ROOMS OUTLETS INSTALLED IN DWELLING UNITS ROOMS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER.
ALL OUTLETS IN LAUNDRY TO BE GFI PROTECTED.
ALL 125-VOLT, 15- AND 20- AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT.



SITE PLAN
1/8" = 1'-0"



NEW RESIDENCE FOR LUPE LOPEZ
119 HIGHLAND AVE., EL GRANADA, CA. 94018

DOMINGUEZ ASSOCIATES LLC
40 HUMBOLDT COURT
PACIFICA, CA. 94044
(650) 359-0947 EMAIL carlos@dominguezassociates.com

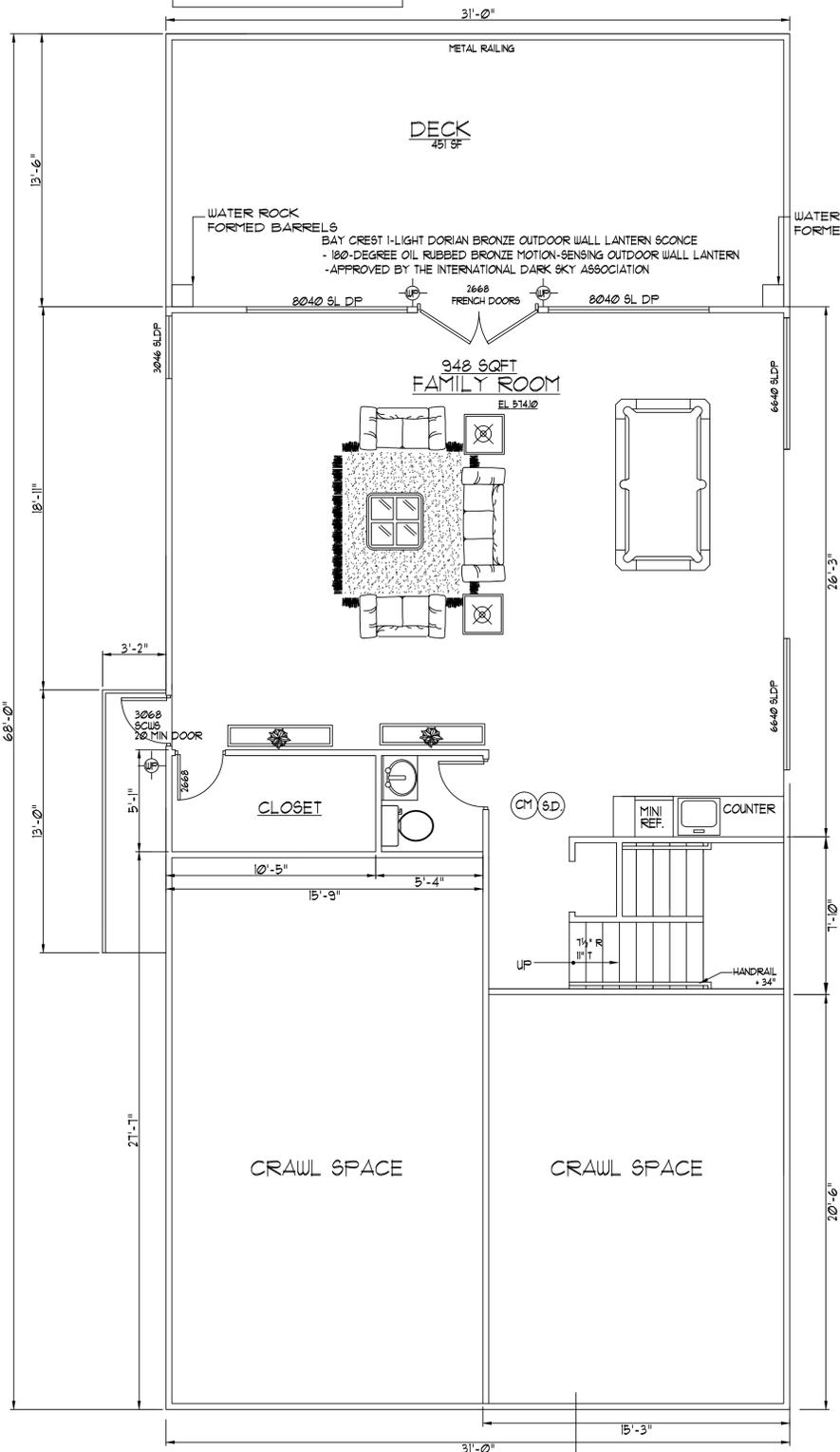
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Table with 2 columns: NO. and DATE. Includes a SCALE section.

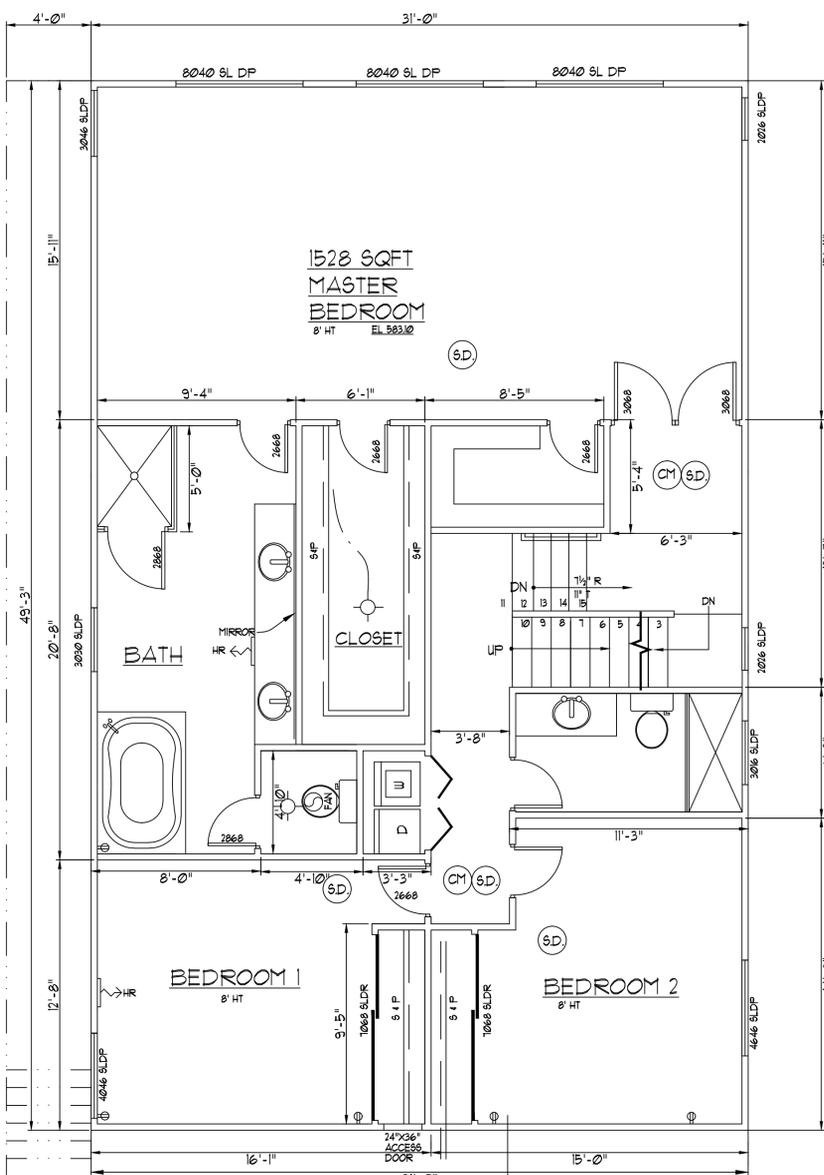
Table with 2 columns: SHEET NUMBER and FILE. Shows sheet number A1 and file name LOP1449.

ON-SITE DETENTION

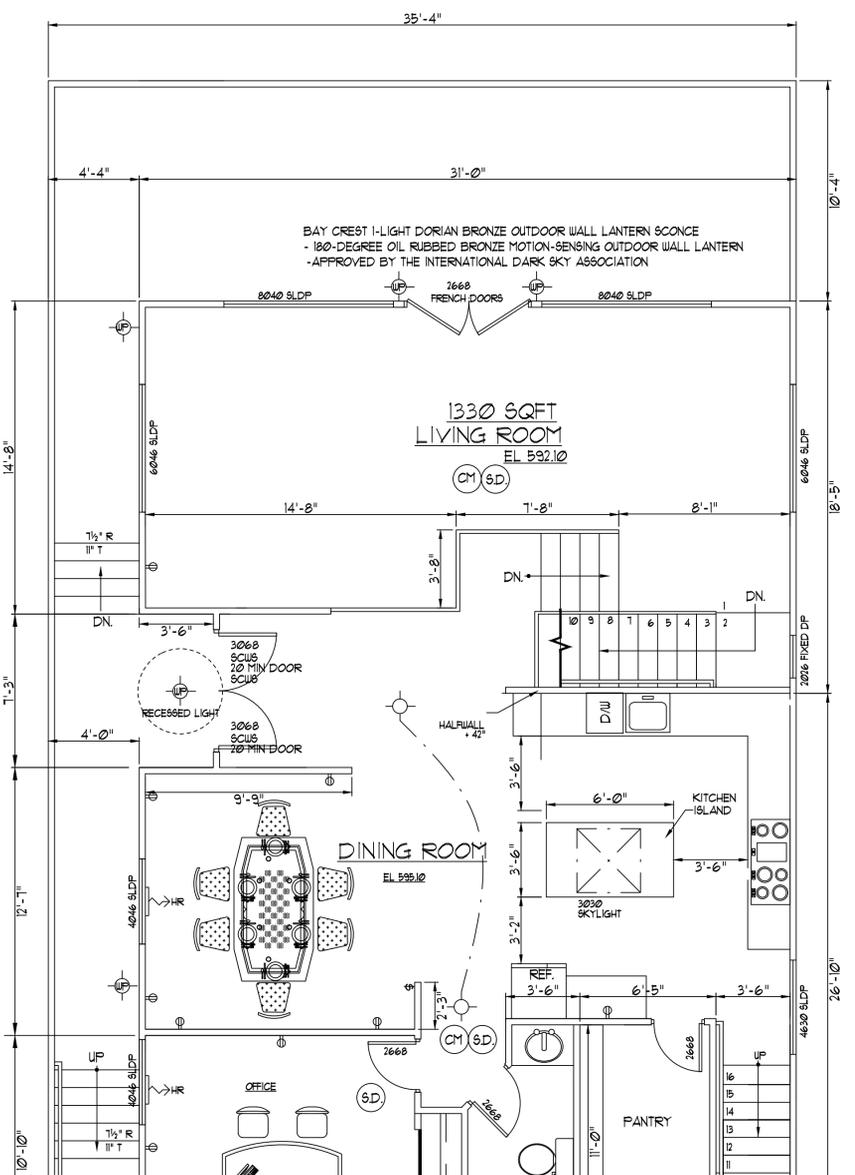
STORMTRAP UNDERGROUND STORMWATER DETENTION SYSTEMS MANAGE AND CONTROL THE VOLUME AND DISCHARGE TIMING OF STORMWATER RUNOFF. OUR DETENTION SOLUTIONS TEMPORARILY STORE RUNOFF IN LARGE UNDERGROUND PRECAST CONCRETE CHAMBERS BEFORE RELEASING IT AT A CONTROLLED RATE. THIS HELPS TO MITIGATE MANY OF THE HARMFUL EFFECTS OF HIGH VOLUMES OF STORMWATER RUNOFF, SUCH AS EROSION AND FLOODING.



FIRST FLOOR
SCALE: 1/4"=1'-0"



SECOND FLOOR
SCALE: 1/4"=1'-0"



THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"



RESIDENCE FOR LOPEZ RESIDENCE
119 HIGHLAND AVE., EL GRANADA, CA, 94018

DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT * PACIFICA, CA, 94044
(650) 359-0947 EMAIL cdros@dominguezassociates.com

REVISION	
NO.	DATE

SCALE AS SHOWN
SHEET NUMBER

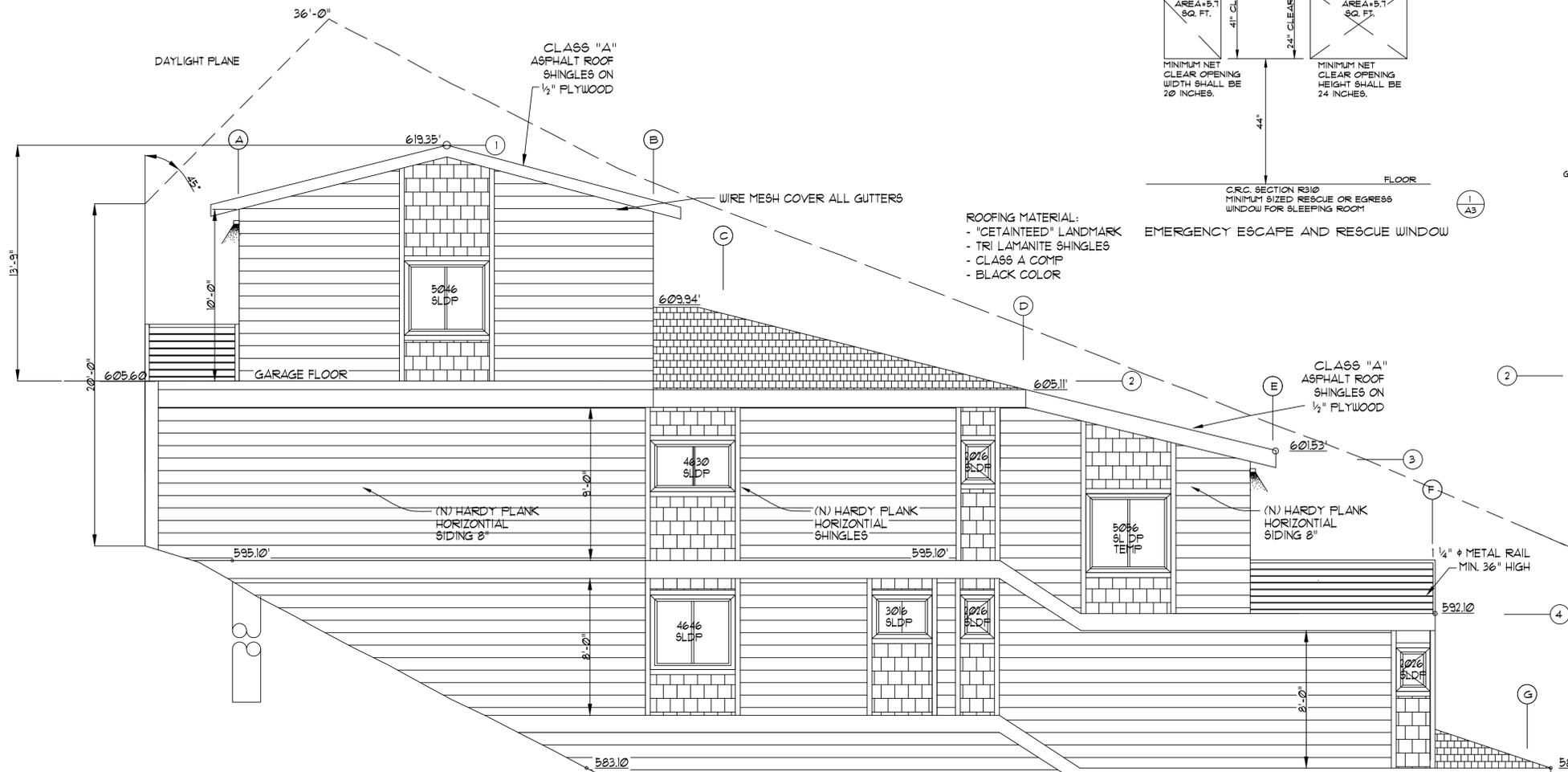
A2

OF SHEETS
DATE 8-24-18

FILE LOP1449

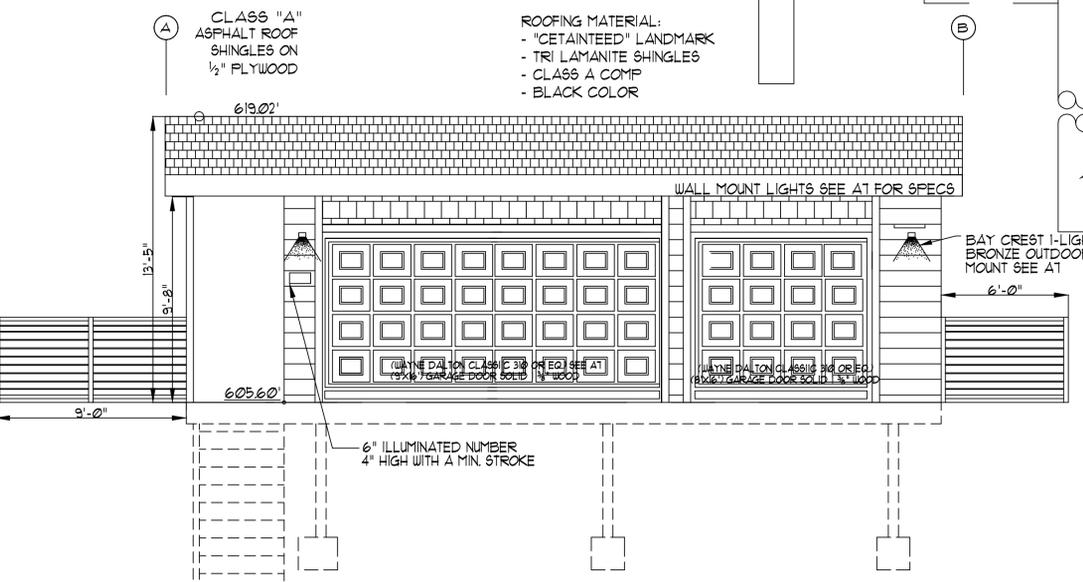
RAILING WILL BE DARK ENGINE DE6350 SEE A1
 HOUSE BODY COLOR WILL BE DUNN EDWARDS MEDALLION DECT29 SEE A1
 TRIM WILL BE ALLURING UMBER DECT30 PER SAMPLES SEE A1

MILGARD TUSCANY VINYL WHITE FOR ALL WINDOWS



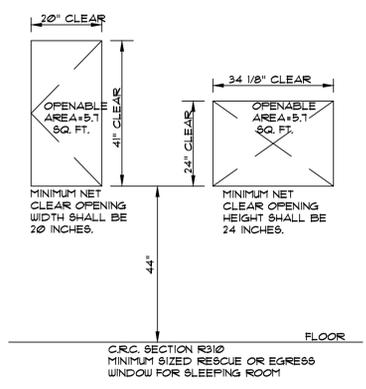
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 TRIM WILL BE ALLURING UMBER DECT30 PER SAMPLES SEE A1

MILGARD TUSCANY VINYL WHITE FOR ALL WINDOWS

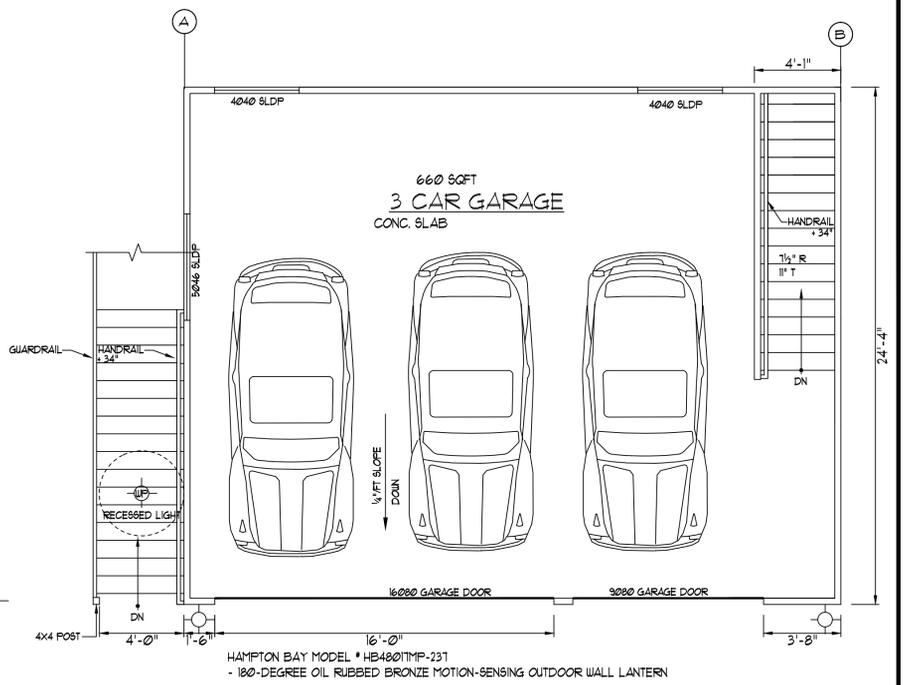


EAST ELEVATION
 SCALE: 1/4"=1'-0"

NORTH ELEVATION
 SCALE: 1/4"=1'-0" A-3-1



EMERGENCY ESCAPE AND RESCUE WINDOW



GARAGE FLOOR PLAN
 SCALE: 1/4"=1'-0"

ONE LAYER OF 5/8-INCH TYPE X GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE EXTERIOR OF THE ROOF DECK FOR ALL EAVES.

STORMTRAP UNDERGROUND STORMWATER DETENTION SYSTEMS MANAGE AND CONTROL THE VOLUME AND DISCHARGE TIMING OF STORMWATER RUNOFF. OUR DETENTION SOLUTIONS TEMPORARILY STORE RUNOFF IN LARGE UNDERGROUND PRECAST CONCRETE CHAMBERS BEFORE RELEASING IT AT A CONTROLLED RATE. THIS HELPS TO MITIGATE MANY OF THE HARMFUL EFFECTS OF HIGH VOLUMES OF STORMWATER RUNOFF, SUCH AS EROSION AND FLOODING.

ON-SITE DETENTION

REVISION NO.	DATE

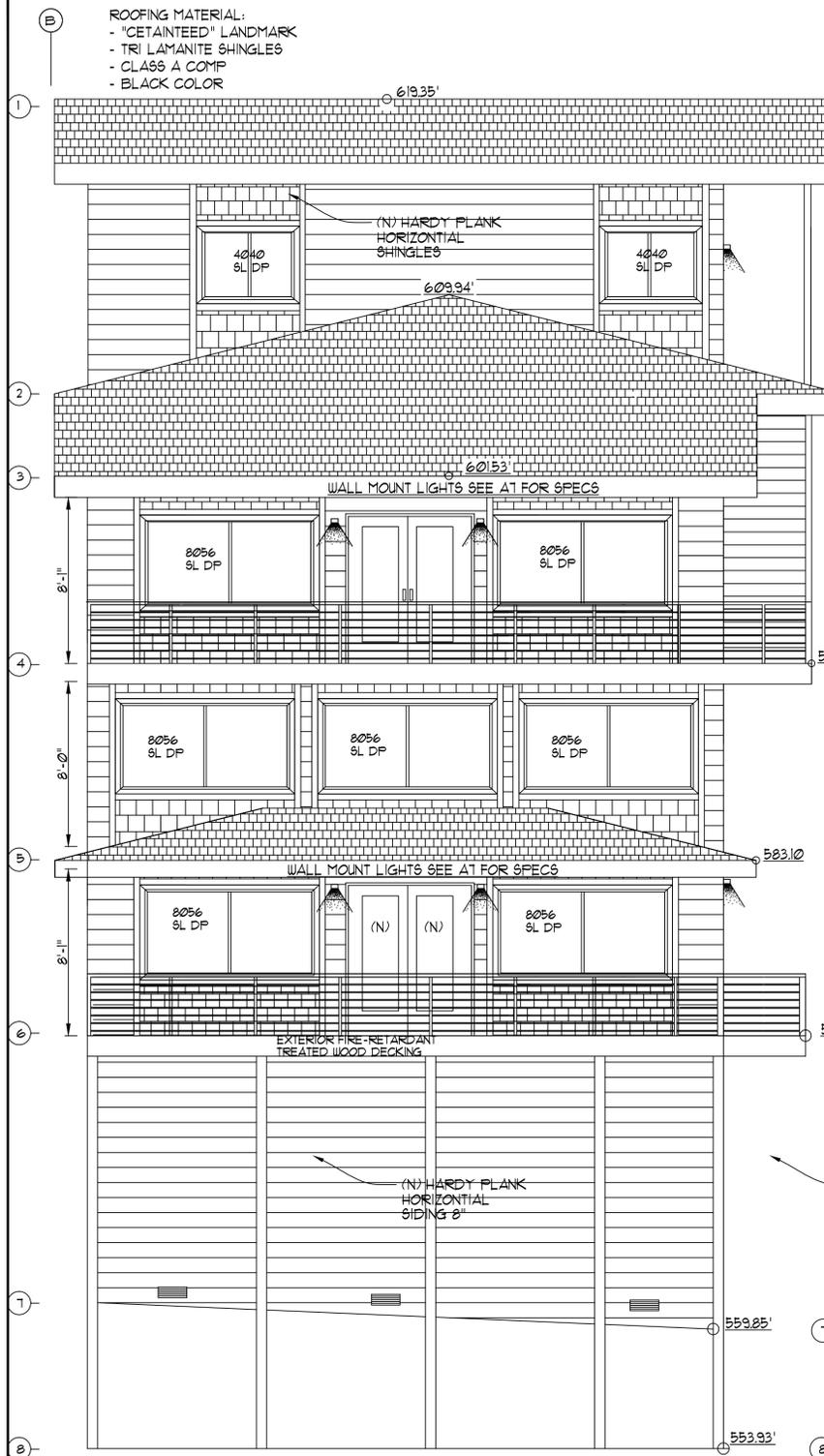


RESIDENCE FOR LOPEZ
 HIGHLAND AVE. EL GRANADA, CA. 94018

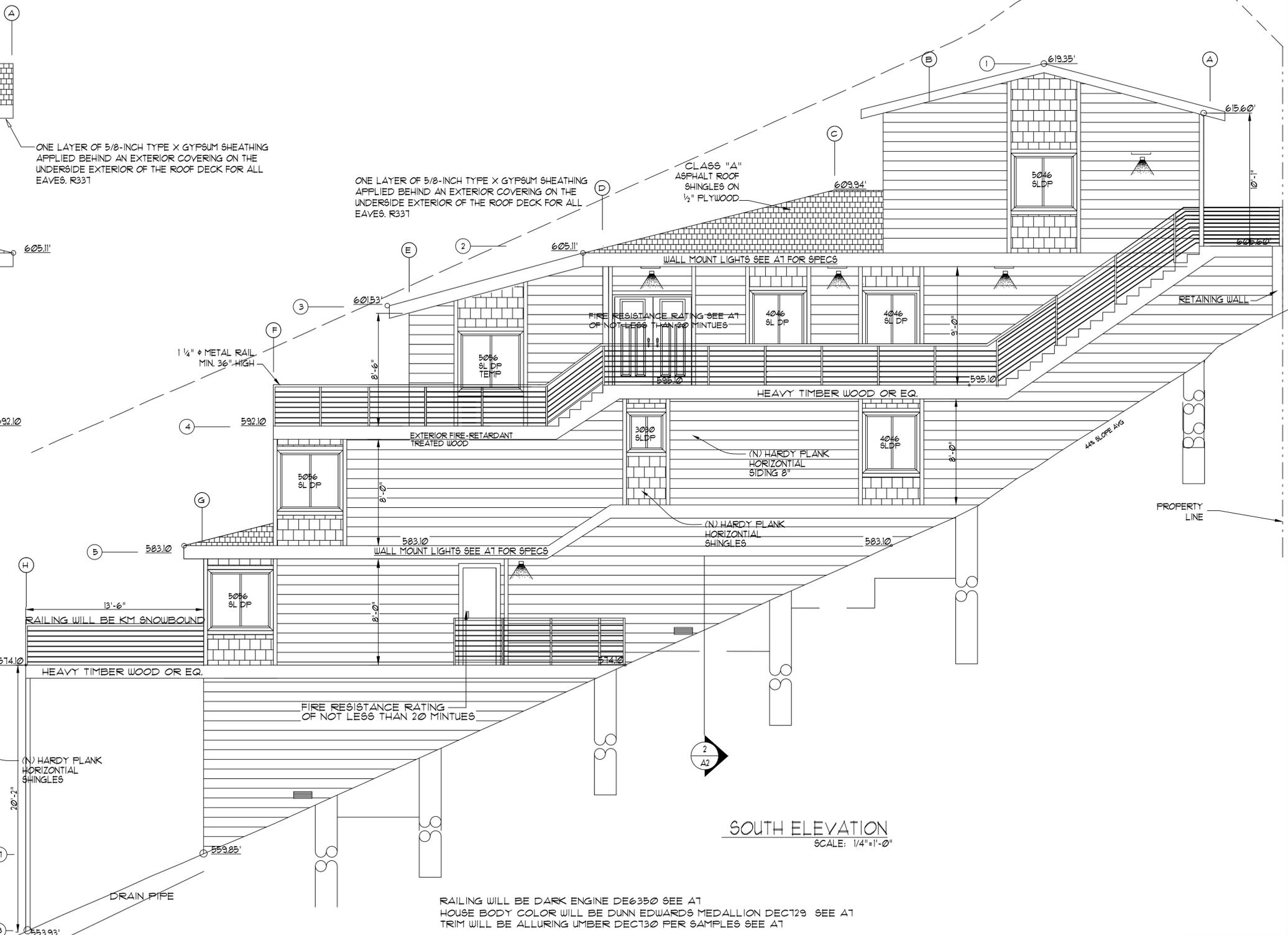
DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT • PACIFICA, CA. 94044
 (650) 359-0947 EMAIL carlos@dominguezassociates.com

SHEET NUMBER
A3
 OF SHEETS
 DATE 8-24-18
 FILE LOP1449

RAILING WILL BE DARK ENGINE DE6350 SEE AT
 HOUSE BODY COLOR WILL BE DUNN EDWARDS MEDALLION DECT29 SEE AT
 TRIM WILL BE ALLURING UMBER DECT30 PER SAMPLES SEE AT
 MILGARD TUSCANY VINYL WHITE FOR ALL WINDOWS

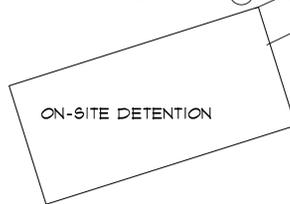


WEST ELEVATION
 A-3-2 SCALE: 1/4"=1'-0"

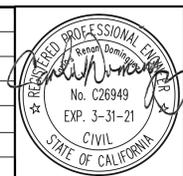


SOUTH ELEVATION
 SCALE: 1/4"=1'-0"

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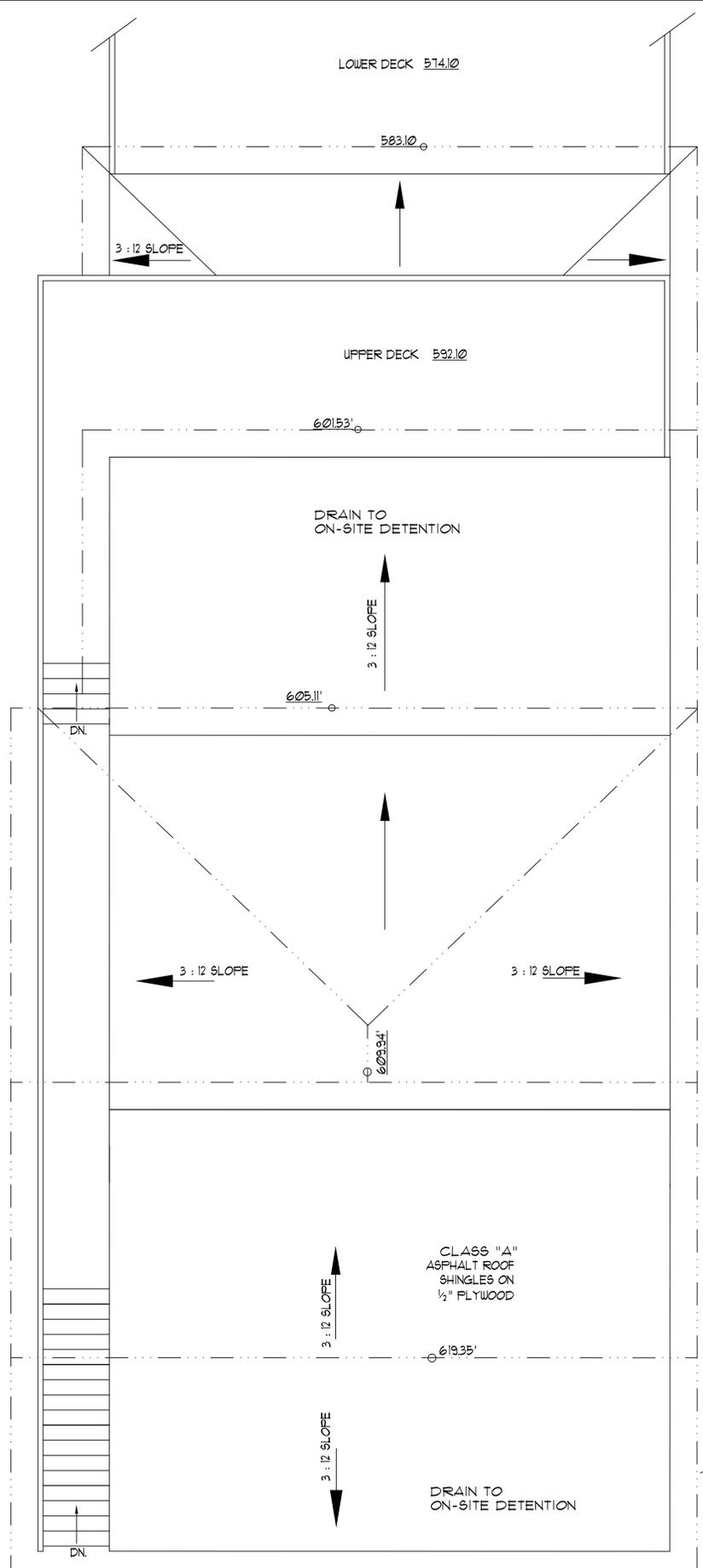
REVISION	
NO.	DATE



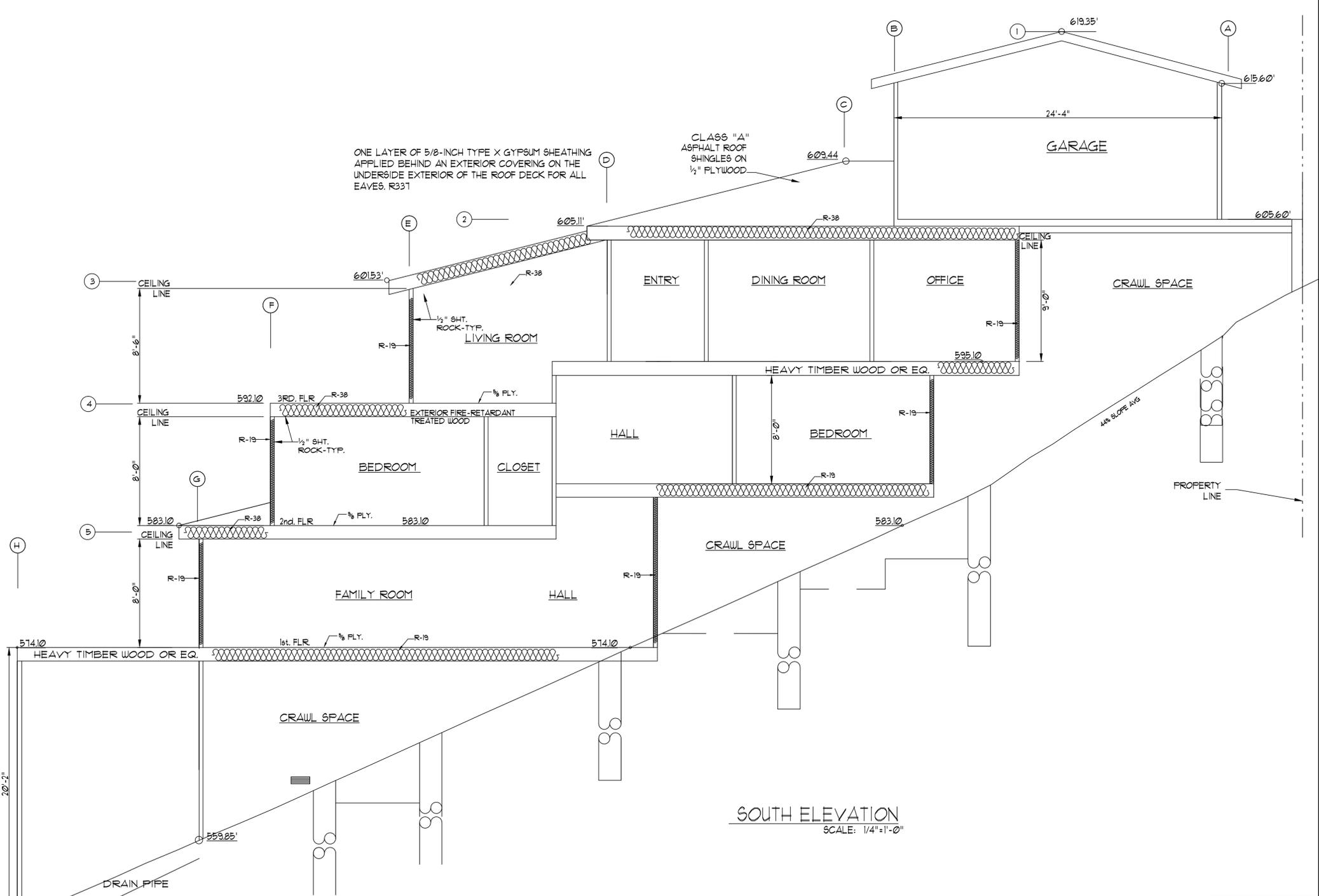
NEW RESIDENCE FOR LOPEZ
 HIGHLAND AVE. EL GRANADA, CA. 94018

DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT • PACIFICA, CA. 94044
 (650) 359-0947 EMAIL carlos@dominguezassociates.com

SCALE: 1/4"=1'
 SHEET NUMBER
A4
 OF SHEETS
 DATE 8-24-18
 FILE LOP1449



ROOF PLAN
SCALE: 1/4"=1'-0"



SOUTH ELEVATION
SCALE: 1/4"=1'-0"

REVISION	
NO.	DATE



NEW RESIDENCE FOR LOPEZ
HIGHLAND AVE. EL GRANADA, CA. 94018

DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT • PACIFICA, CA. 94044
(650) 359-0947 EMAIL carlos@dominguezassociates.com

SCALE: 1/4"=1'
SHEET NUMBER
A5
OF SHEETS
DATE 8-24-18
FILE LOP1449



Fire Marshal's Office
San Mateo County Fire



2010 CRC -R327 Development Worksheet

Project is located in State Responsibility Area (SRA): Yes No
If in SRA, is project in a Very High Fire Hazard Severity Zone (VHFHSZ): Yes No

Project is located in Local Responsibility Area (LRA): Yes No
If in LRA, is project in a Very High Fire Hazard Severity Zone (VHFHSZ): Yes No

Table with 4 columns: Applicable Code Section(s), OK, N/A, Approved Material (if applicable), Location On Plans. Includes Roofing section with Class B minimum and Class A in VHFHSZ.

1

Table with 4 columns: Applicable Code Section(s), OK, N/A, Approved Material (if applicable), Location On Plans. Includes Eave Vents and Exterior Coverings sections.

2

Table with 4 columns: Applicable Code Section(s), OK, N/A, Approved Material (if applicable), Location On Plans. Includes Doors and Decking sections.

4

Table with 4 columns: Applicable Code Section(s), OK, N/A, Approved Material (if applicable), Location On Plans. Includes Exterior Coverings (continued) and Exterior Glazing sections.

3

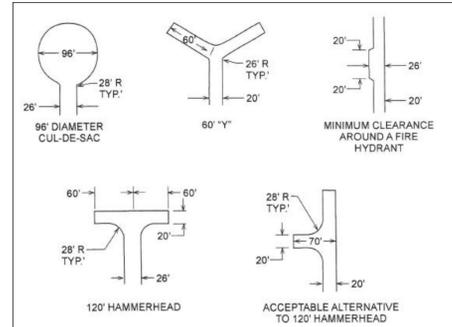
Bridges: When a bridge is used as a part of emergency access, it shall be constructed and maintained in accordance with AASHTO HB-17.

- 1. Weight: Every private bridge hereafter constructed or re-constructed due to damage, deterioration, or obsolescence shall be designed to support an imposed load of fire apparatus weighing at least 75,000 lbs.
2. Height: A minimum clear vertical clearance of 13 1/2 feet as measured from the driving surface of the bridge shall be provided.

Gates: Gates shall be a minimum of 2 feet wider than the roadway they serve. Overhead gate structures shall have a minimum of 15 1/2 feet of vertical clearance.

Contact Coastside Fire District for Knox Box application.

a maximum longitudinal slope no greater than eight percent (8%). The longitudinal slope is defined as the slope corresponding to the long axis of a vehicle as it travels into, out of, and through a turnaround.



Road Grade: 1. Road grades shall not exceed 15% without the approval of the Fire Marshal. (See surface requirements above.)
2. Road grades shall not exceed 20%.
3. Grades 15% to 20% shall be limited to 150 ft. in length.

Parking: Parking on emergency access roads shall be as follows:
a. 20-26 foot road width - no parking on either side of the roadway.
b. 26-35 foot road width - parking is allowed on only one side of roadway.

Smoke alarm/detector are to be hardwired, interconnected, or with battery back-up. Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 5.0 sq. ft. allowed at grade.

New attached garage to meet occupancy separation requirements. Provide note/detail. CRC R302.3. New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building.

Roof Covering: As per Coastside Fire District Ordinance 2016-01, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "A" or higher as defined in the current edition of the California Building Code.

Vegetation Management: The Coastside Fire District Ordinance 2016-01, the 2013 California Fire Code and Public Resources Code 4291. A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line.

A fuel break or defensible space is required around the perimeter of all structures, existing and new, to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line.

Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 to 10 feet above the ground.

Fire Access Roads: The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The San Mateo County Department of Public

Works, the Coastside Fire District Ordinance 2016-01, and the California Fire Code shall set road standards. As per the 2013 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Coastside Fire District specifications.

Fire Hydrant: As per 2016 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 250 feet of the proposed single-family dwelling unit measured by way of drivable access.

Automatic Fire Sprinkler System: As per San Mateo County Building Standards and Coastside Fire District Ordinance Number 2015-01, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage.

Exterior bell and interior horn/strobe: are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.

Add note to the title page that the building will be protected by an automatic fire sprinkler system.

FIRE NOTES

ROOFS AND ROOF EDGES CBC 106A / CRC R331B

A NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. ALL OTHER AREAS IN SANTA CRUZ COUNTY REQUIRE A CLASS 'A' MINIMUM ROOFING ASSEMBLY.

WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS BE FIRESTOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF NO. 12 GAF SHEET INSTALLED OVER THE COMBUSTIBLE DECKING.

EXTERIOR WALLS/SIDING CBC 101A3 / CRC R331T3

NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF I-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED.

NOTE: IGNITION-RESISTANT MATERIALS ARE THOSE TESTED BY A FACILITY RECOGNIZED BY THE SFM OR ICC-EVALUATION SERVICE TO HAVE A FLAME-SPREAD RATING NOT OVER 25, AND COMPLY WITH ACCELERATED WEATHERING TESTS.

EAVES AND PORCH CEILINGS CBC 101A4, A6 / CRC 331T4, R331T6

THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING.

SOLID WOOD RAFTER TAILS ON THE EXPOSED UNDERSIDE OF ROOF EAVES HAVING A MINIMUM 2" NOMINAL DIMENSION MAY BE UNPROTECTED.

VENTS, CBC 106A / CRC R331B

ATTIC VENTS AND UNDERFLOOR VENT OPENINGS MUST RESIST THE INTRUSION OF FLAME AND EMBERS OR SHALL BE A MINIMUM OF 1/8" AND MAXIMUM 1/8" CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT.

WINDOWS AND EXTERIOR DOORS CBC 108A / CRC R331B

WINDOWS MUST BE INSULATED GLASS WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

EXTERIOR DECKING AND STAIRS CBC 109A / CRC R331B

WALKING SURFACES OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION.

UNDERFLOOR AND APPENDAGES CBC 101A8 / CRC R331T8

EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING.

Coastside Fire Protection District Fire Prevention Bureau Standard Detail & Specification Manual. Section: Developer Information, Title: Alternate Means or Methods, Number: DI-008. Includes project information and justification for alternate means.

Scanned by CamScanner



NEW RESIDENCE FOR LUPE LOPEZ
119 HIGHLAND AVE., EL GRANADA, CA. 94018
DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT PACIFICA, CA. 94044

Table with 2 columns: NO., DATE. Includes SCALE SHEET NUMBER A6 OF SHEETS 8-24-18 FILE LOP1449

thegreatoutdoors
by MINORA LAMBERT

Item # **72211-615B** UPC Code: **747396078519**
Product Family Name: **Bay Crest** Finish: **Dorian Bronze™**
Category: **WALL MOUNT** Category Type:
Certification: **3057374**
Notes:



Image File Name: 72211-615B.jpg

MEASUREMENTS

Width: 9	Length: 8.25	Height: 9.5	Extension: 9.5
Adjustable: No	Min Overall Height: No	Max Overall Height: No	Slope: No
Wire Length: 7"	Chain Length: No	Safety Cable Included: No	Net Weight: 0.99
Canopy Width: 4.5	Canopy Height: 1.0	Canopy Length: 0.05	Center to Bottom: 7.75

LAMPING

No. of Bulbs: 1	Light Type: A-19, MED
Max Bulb Wattage: 60	Socket: E26, MED
Dimmable: Yes	Bulb/LED Included: No
Bulb/LED Included: No	Color Temp. CR: N
	Initial Lumen: N
	Delivered Lumens: N

SHADE / GLASS

Description: Dark Sky	Material: ETL Intertek
Part No.:	Quantity:
Width:	Height:
	Length:

SHIPPING

Carton Width: 10.5	Carton Height: 9.0	Carton Length: 11.0
Carton Weight: 2.156	Carton Cubic Feet: 0.602	Small Package Shipable: Yes
Master Pack Width: 11.5	Master Pack Height: 19.25	Master Pack Length: 32.25
Master Pack Weight: 14.674	Master Cubic Feet: 4.132	Master Pack: 6

Dark Sky Wet Location ETL Intertek

WARNING: Handling this product can expose you to chemicals including lead, which is known to the State of California to cause cancer and birth defects or other reproductive harm. Wash hands with soap and water after installing, handling, clearing or otherwise touching this product. For more information go to: www.P65Warnings.ca.gov.

For additional information, please contact Customer Care, 1-800-221-7977. Product depicted on this spec sheet is protected by United States Federal and/or State laws including US Patent, Trademark and/or Copyright and unfair competition laws. Unauthorized reproduction or use carries severe legal penalties.

Rev. 08.05.2020 04:54 PM

THERMA-TRU DOORS

Smooth-Star®

2 Panel Craftsman - 20-Minute | Style No. SF600

3 Available Sizes
28" x 66" 2'10" x 66" 3'0" x 66"



THERMA-TRU VIBRANT PAINT OPTIONS

Chestnut

Looking for more information on finishing options? Check out our finishing page and learn how you can use finish to make your house a home with Thermo-Tru.

FRONT ENTRY DOOR

Wayne Dalton GARAGE DOORS

MODELS
Classic 310/311
RAISED-PANEL WOOD
Central and East Region Availability



classic. luxurious. strong.

Accent your home with the beauty and richness of a Classic raised panel wood door. Our tradition of incomparable craftsmanship, blended with modern technology, provides the finest wood doors available.

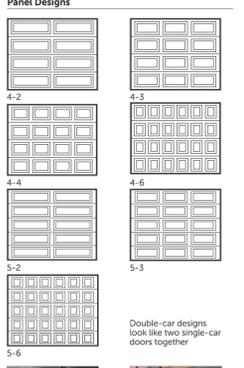
DOOR CONSTRUCTION

Workmanship and quality beyond comparison

- Each section is constructed of 1-3/8" thick solid wood rails and stiles. The Model 310 features DecaTrim™, optional hemlock or cedar panels. Model 311 features rails, stiles, hemlock or optional cedar panels, stiles and rails.
- Raised panels are 3/4" thick solid wood and locked into place. A variety of carved designs for raised panels are optional.
- Mortise and tenon joints, waterproof glued and steel pinned, provide lasting strength.
- Shiplap style connections between sections create a weathertight fit and assist smooth operation along with rust-resistant, hot-dipped galvanized steel tracks and hardware.

Specifications

Panel Designs



Windows



Limited Warranty

The manufacturer warrants its wood doors will be free from defects in material and workmanship for a period of ONE YEAR from time of delivery. A copy of this limited warranty is available from your Dealer.

Wayne Dalton GARAGE DOORS
2501 S. State Hwy. 121 Bus. Ste. 200
Lewisville, TX 75057
wayne-dalton.com

© 2018 Wayne Dalton, a Division of Overhead Door Corporation. Consistent with our policy of continuing product improvement, we reserve the right to change product specifications without notice or obligation. Item 133223 04/02/18 JAR

CertainTeed Technical Data Sheet

Landmark® Landmark® Premium, Landmark® Pro Shingles, Landmark® Pro/Architect 80 (NW Region Only) Shingles

PRODUCT INFORMATION
Landmark shingles reflect the same high manufacturing standards and superior warranty protection as the rest of CertainTeed's line of roofing products. Landmark Premium (and Algae Resistant-AR), Landmark PRO (and AR) and Landmark (and AR) are built with the industry's toughest fiber glass mat base, and their strict dimensional tolerance assures consistency. Complex granule color blends and subtle shadow lines produce a distinctive color selection. Landmark is produced with the unique NailTrak® raling feature. Please see the installation instruction section below for important information regarding NailTrak.

In the Northwest Region Landmark PRO (AR) is double-branded as Landmark PRO/Architect 80 (AR). Landmark algae-resistant (AR) shingles are algae-resistant and help protect against dark or black discoloration, sometimes called staining or streaking, caused by blue-green algae. AR shingles are not available in all regions.

Colors: Please refer to the product brochure or CertainTeed website for the colors available in your region.

Limitations: Use on roofs with slopes greater than 2" per foot. Low-slope applications (2:12 to < 4:12) require additional underlayment. In areas where icing along eaves can cause the back-up of water, apply CertainTeed WinterGuard® Waterproofing Shingle Underlayment, or its equivalent, according to application instructions provided with the product and on the shingle package.

Product Composition: Landmark Series shingles are composed of a fiber glass mat base. Ceramic-coated mineral granules are lightly embedded in carefully refined, water-resistant asphalt. Two pieces of the shingle are firmly laminated together in a special, tough asphaltic cement. All Landmark shingles have self-sealing adhesive strips.

Applicable Standards

ASTM D3181 Type I	ICC-ES ESR-1389 and ESR-3537
ASTM D3462	CSA Standard A123.5 (Regional)
ASTM E108 Class A Fire Resistance	Miami-Dade Product Control Approved
ASTM D3161 Class F Wind Resistance	Florida Product Approval # FL1444
ASTM D7158 Class H Wind Resistance	Meets TDI Windstorm Requirements
UL 790 Class A Fire Resistance	

Technical Data:

Weight/Square (approx.)	Landmark (and AR)	Landmark PRO® (and AR)	Landmark Premium (and AR)
Dimensions (overall)	2'9" to 2'8 1/2" **	2'10" to 2'8 1/2" **	3'0" to 2'8 1/2" **
Shingles/Square (approx.)	13 1/4" x 38 3/4"	13 1/4" x 38 3/4"	13 1/4" x 38 3/4"
Weather Exposure	66	66	66
	5 5/8"	5 5/8"	5 5/8"

*Includes Landmark PRO AR/Architect 80
**Dependent on manufacturing location

Technical Data Sheet Landmark® Series Shingles Page 2 of 2

INSTALLATION
Detailed installation instructions are supplied on each bundle of Landmark shingles and must be followed. Separate application sheets may also be obtained from CertainTeed.

Hips and Ridges: For capping hip and ridge apply CertainTeed Shadow Ridge®, Cedar Crest® or Mountain Ridge® shingles of a like color.

MAINTENANCE
These shingles do not require maintenance when installed according to manufacturer's application instructions. However, to protect the investment, any roof should be routinely inspected at least once a year. Older roofs should be looked at more frequently.

WARRANTY
Landmark Premium (and AR), Landmark PRO/Architect 80 AR, Landmark PRO (and AR), and Landmark (and AR) shingles carry a lifetime limited, transferable warranty to the consumer against manufacturing defects when applied to stated CertainTeed application instructions for this product. In addition, Landmark Premium (and AR), Landmark PRO (and AR), Landmark PRO/Architect 80 AR, and Landmark (and AR) carry 10-years of SunStar™ Protection. Landmark AR shingles carry a 10-year algae resistance warranty. Landmark Premium AR, Landmark PRO AR, and Landmark PRO/Architect 80 AR shingles carry a 15-year algae resistance warranty. For specific warranty details and limitations, refer to the warranty leaflet (available from the local supplier, roofing contractor or on-line at www.certainteed.com).

FOR MORE INFORMATION
Sales Support Group: 800-233-8990
Web site: www.certainteed.com
See us at our on-line specification writing tool, Certaspec®, at www.certainteed.com/certaspec.

CertainTeed
29 Moores Road
Malvern, PA 19355
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Dunn-Edwards PAINTS

HOME PRODUCTS COLOR & INSPIRATION HOW TO ABOUT US DIRECTORY

Color & Inspiration - Colors

MEDALLION DEC729 PAINT COLOR



Medallion
DEC729 RL#643
Orange Yellows, Yellows, Green Yellows, Perfect Palette®
LRV 38
Munsell: HUE=1.54Y / VALUE=6.6 / CHROMA=3.9

MAIN COLOR

HOME PRODUCTS COLOR & INSPIRATION HOW TO ABOUT US DIRECTORY DESIG

Dunn-Edwards PAINTS

Color & Inspiration - Colors

ALLURING UMBER DEC730 PAINT COLOR



Alluring Umber
DEC730 RL#648
Orange Yellows, Yellows, Green Yellows, Architectural Styles, Perfect Palette®
LRV 20
Munsell: HUE=2.10Y / VALUE=5.0 / CHROMA=4.1

TRIM COLOR

HOME PRODUCTS COLOR & INSPIRATION HOW TO ABOUT US DIRECTORY

Dunn-Edwards PAINTS

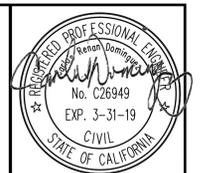
Color & Inspiration - Colors

DARK ENGINE DE6350 PAINT COLOR



Dark Engine
DE6350 RL#589
Cool Neutrals, Architectural Styles, Exteriors, 2019, Perfect Palette®
LRV 5
Munsell: HUE=5.38PB / VALUE=2.6 / CHROMA=0.3

RAILING COLOR



REVISION

NO.	DATE

NEW RESIDENCE FOR LUPE LOPEZ
119 HIGHLAND AVE., EL GRANADA, CA. 94018

DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT
PACIFICA, CA. 94044
(650) 359-0947 EMAIL corros@dominguezassociates.com

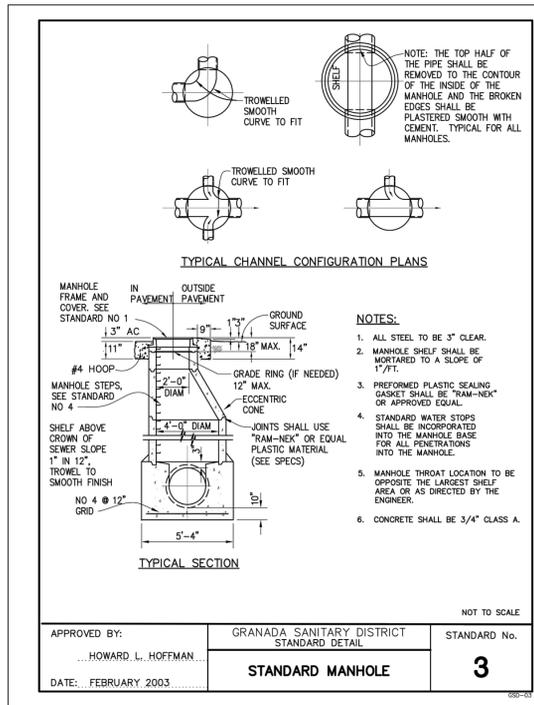
SCALE SHEET NUMBER

A7

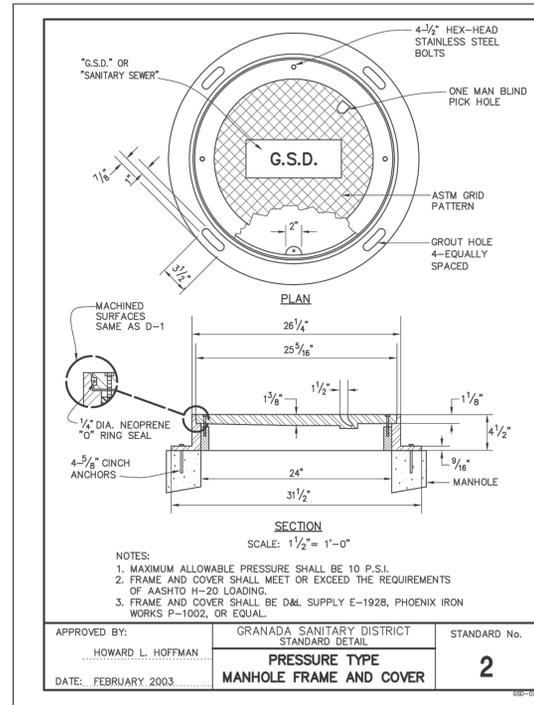
OF SHEETS
DATE 5-4-17
FILE LOP1449

SEWER NOTES:

- YOUR ATTENTION IS DIRECTED TO THE TECHNICAL SPECIFICATIONS AND STANDARD DETAILS OF THE GRANADA SANITARY DISTRICT BEING APPLICABLE TO THIS PROJECT.
- ALL TRENCH BEDDING AND STRUCTURAL BACKFILL MATERIAL SHALL BE AS SPECIFIED ON THE STANDARD DETAIL SHEET NO. 13.
- HOPE PIPE SHALL BE BEDDED IN SAND CONFORMING TO CALTRANS SPECIFICATION JULY 1992 SECTION 19 PARAGRAPH 19-3.02(B) SAND BEDDING.
- TESTING AND CLEANING OF THE CONSTRUCTED PIPELINE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE GRANADA SANITARY.
- THE CONTRACTOR IS EXPECTED TO COMPLETE CONSTRUCTION OF THE MAIN SEWER WITHIN A CONTINUOUS 10 CALENDAR DAY PERIOD. NO TRENCH SECTION SHALL BE LEFT UNCOVERED AT THE END OF EVERY WORKING DAY.
- THE CONTRACTOR SHALL SUBMIT RECORD DRAWINGS (AS-BUILT) TO DISTRICT UPON COMPLETION OF CONSTRUCTION.
- THE CONTRACTOR SHALL SUBMIT TO THE DISTRICT SUFFICIENT CONSTRUCTION PHOTOGRAPHS OF THE PROJECT'S CONSTRUCTION.
- THE CONTRACTOR SHALL NOT ALLOW THE SITE TO BE LITTERED WITH TRASH AND WASTE MATERIAL. UPON COMPLETION OF WORK, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION ACCEPTABLE TO THE DISTRICT.
- THE CONTRACTOR SHALL CONDUCT HIS OPERATION TO OFFER LEAST POSSIBLE OBSTRUCTION AND INCONVENIENCE TO THE PUBLIC. THE CONTRACTOR SHALL MAINTAIN ALL ACCESS TO AND FROM PUBLIC STREETS. MID SHALL TAKE ALL NECESSARY PRECAUTIONS TO MINIMIZE CONSTRUCTION DUST AND NOISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO ANY EXISTING UTILITIES. ALL REPAIRS SHALL BE DONE BY CONTRACTOR AT HIS EXPENSE.
- COSTS FOR TRENCH BACKFILL TESTING SHALL BE BORNE BY THE CONTRACTOR/DEVELOPER.
- COPIES OF CERTIFIED COMPACTION TESTS SHALL BE FORWARDED TO SAN MATEO COUNTY PUBLIC WORKS AND DISTRICT ENGINEER, PRIOR TO FINAL APPROVAL OF THE PROJECT BY THE COUNTY.
- CONTRACTOR/OWNER TO RETAIN SURVEYOR/ENGINEER TO PLACE CONSTRUCTION STAKES REQUIRED FOR THE WORK, PRIOR TO COMMENCEMENT OF WORK MID FOR REVIEW BY THE PUBLIC.



DETAIL 1
C2

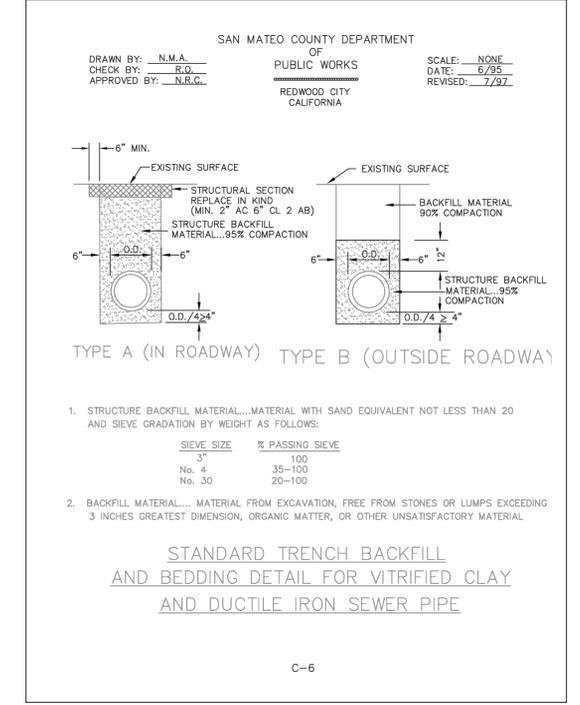


DETAIL 5
C2

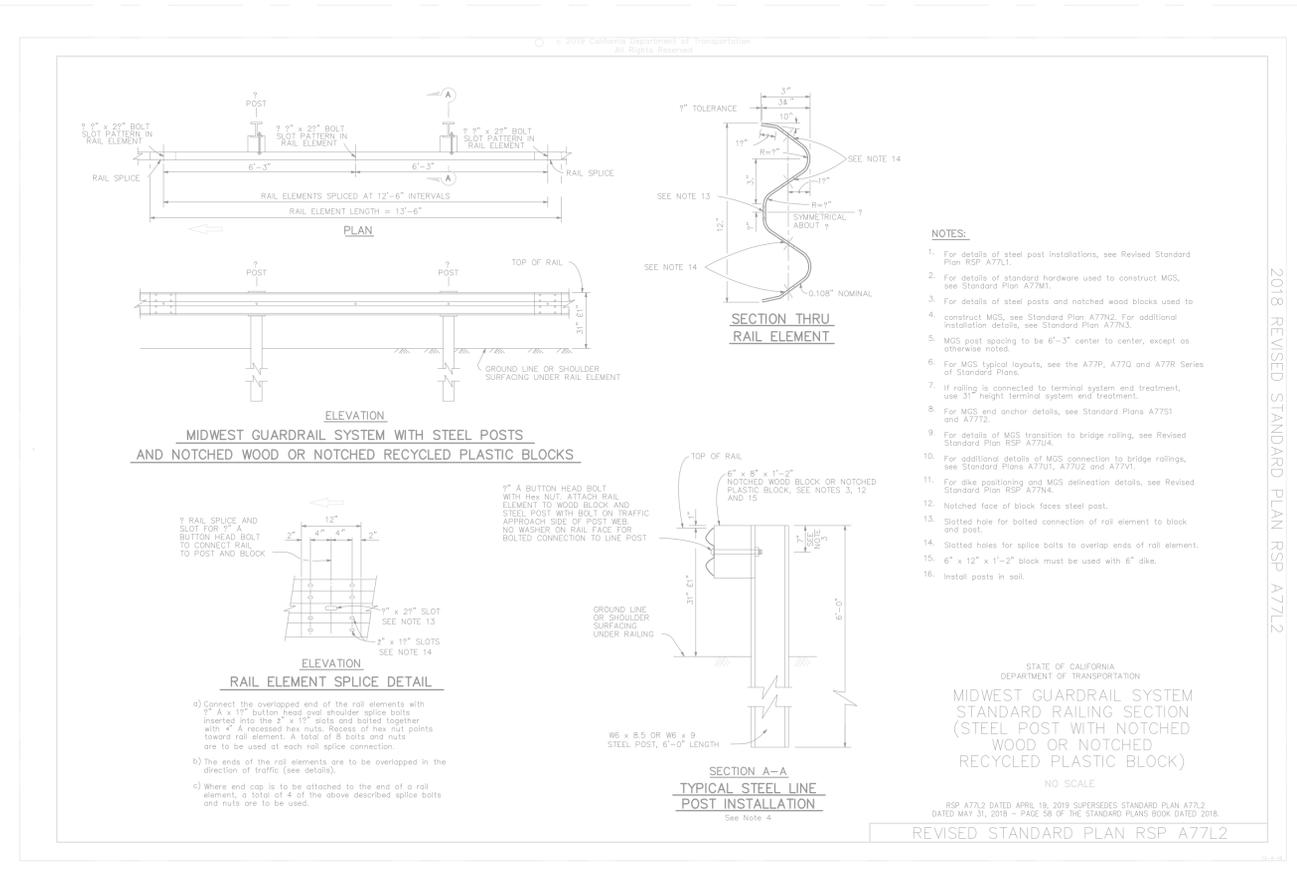
MANHOLE FRAME AND COVER

SEE GRANADA SANITARY DISTRICT STANDARD DETAIL #2 MANHOLE FRAME AND COVER

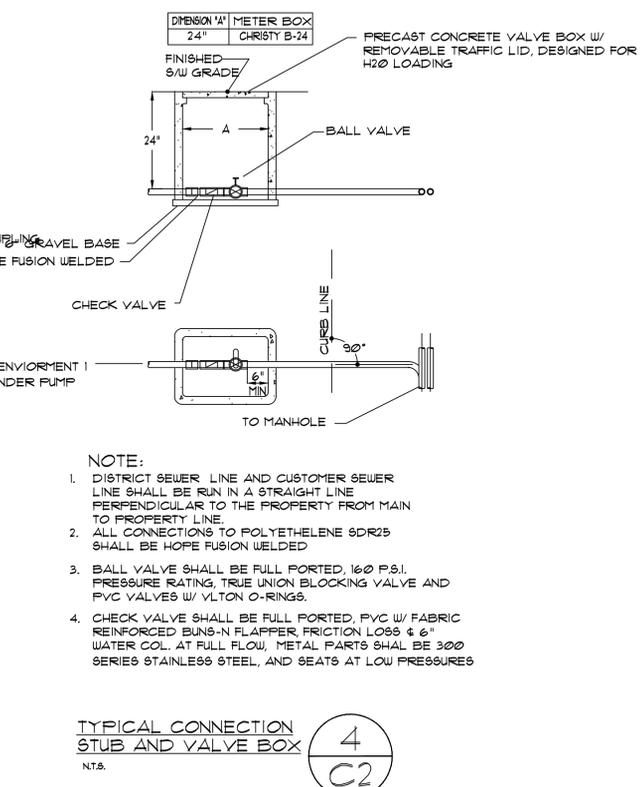
- NOTE:**
- BASE SHALL BE CLASS "B" (5 BAG) CONCRETE PLACED AGAINST UNDISTURBED EARTH.
 - CONDUIT SHALL BE LAID THROUGH MANHOLE WHENEVER POSSIBLE.
 - CONCRETE CHANNELS SHALL BE BRUSH FINISHED.
 - PRECAST BARREL AND ECCENTRIC CONE SHALL CONFORM TO ASTM SPECIFICATION C-478 EXCEPT THAT TYPE II CEMENT SHALL BE USED.
 - MORTAR JOINTS SHALL USE "RAM-NEK" OR EQUAL PLASTIC MATERIAL (SEE SPECS)
 - MANHOLE FRAME MAY BE ADJUSTED EITHER BEFORE OR AFTER PAVING, BUT THE FINAL GRADE OF THE FRAME MUST MATCH THAT OF THE PAVING WITHIN 1/8".
 - WHERE FRAME IS SET AFTER PAVING, EXPOSED CONCRETE SURFACES SHALL BE COLORED WITH SS 1 PAVING OIL BEFORE THE CONCRETE HAS SET.
 - COLLAR SHALL BE CLASS "B" (5 BAG) CONCRETE.
 - NO CONCRETE SHALL BE PLACED PRIOR TO FORM INSPECTION BY THE AGENCY ENGINEER.



DETAIL 2
C2



DETAIL 3
ONLY ON WEST SIDE STREET
C2



DETAIL 4
C2

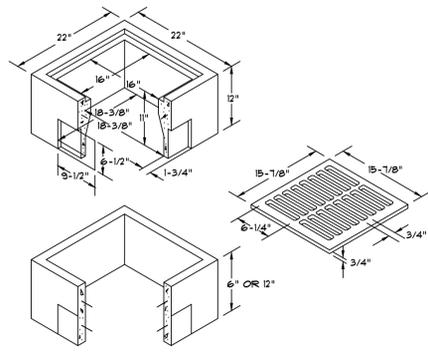
NEW RESIDENCE FOR LUPE LOPEZ
119 HIGHLAND AVE. EL GRANADA, CA. 94018
DOMINGUEZ ASSOCIATES 40 HUMBOLDT COURT
PACIFICA, CA. 94044
(650) 359-0947 FAX (650) 355-2445

REVISION

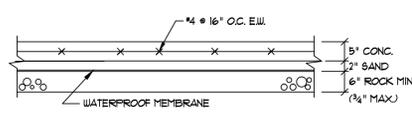
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OF SHEETS
DATE 8-24-18
FILE LOP1449



V64 DRAIN BOX (1) C3



TYPICAL GROUND SLAB (2) C3

EROSION CONTROL NOTES



FIBER ROLL INSTALL AT LOCATIONS SHOWN. AFFIX AS SHOWN IN DETAIL 2/C4

FOR CONSTRUCTION DURING DRY SEASON, ALL EXPOSED SURFACES SHALL BE WETTED PERIODICALLY TO PREVENT SIGNIFICANT DUST.

BETWEEN OCT 15 AND APRIL 15 ALL EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. SUCH PROTECTION SHALL CONSIST OF COIR LOGS, AS SHOWN.

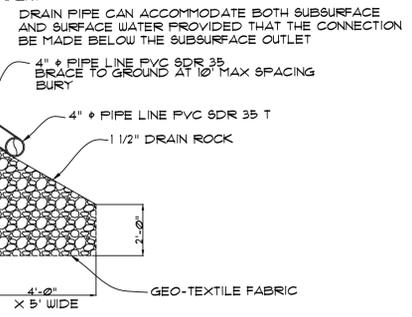
ALL STOCKPILED SOIL SHALL BE COVERED DURING PERIODS OF RAIN.

BEFORE COMPLETION OF PROJECT ALL EXPOSED OR DISTURBED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION, USING JUTE NETTING AND/OR SEED.

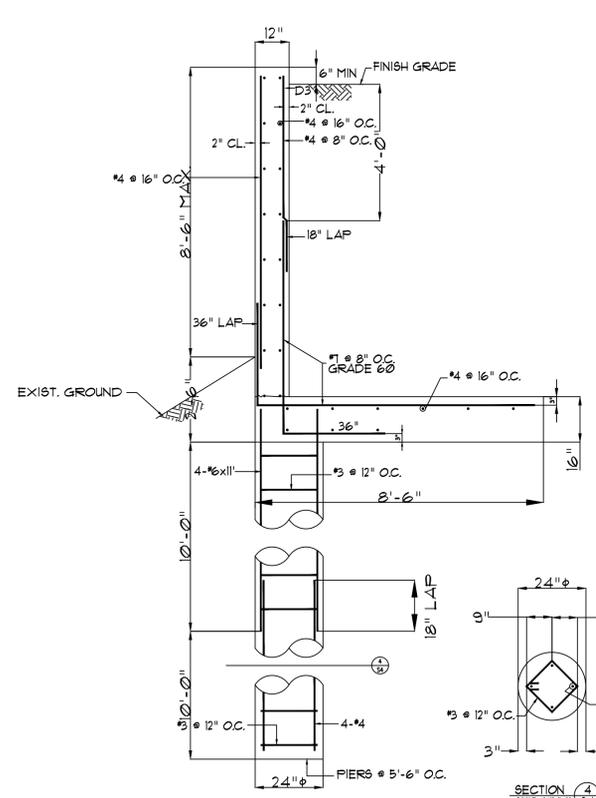
LEGEND

- SHEET FLOW
- WATER FLOW
- PIPE LINE
- MINOR 1' CONTOURS
- MAJOR 5' CONTOURS
- SANITARY SEWER LINE
- PROPERTY LINE
- BUILDING
- D.S. DOWNSPOUT
- 100 GALLON RAIN BARREL

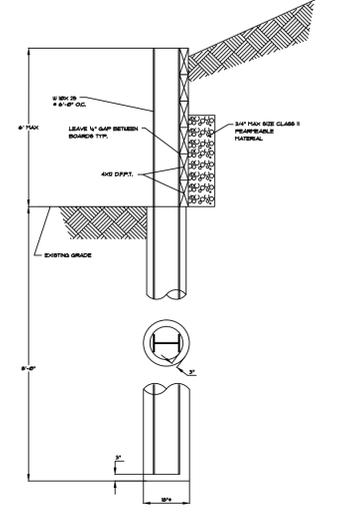
1. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO
2. THE PERMEABLE PAVING IS UTILIZED FOR NOT LESS THAN 20% OF THE TOTAL PARKING, WALKING, OR PATIO SURFACES PER THE CALGREEN SECTION A4.106.4
3. PERMEABLE PAVERS ARE 100%.
4. ALL UNPAVED AREAS SHALL BE GRADED TO SLOPE 1% OR MORE. ALL PAVED AREAS SHALL BE GRADED TO SLOPE AT 5% OR MORE. ALL GRADING AND DRAINAGE WORK SHALL CONFORM WITH THE CURRENT NPDES REQUIREMENTS, 9.B.M.C.12.16.02D



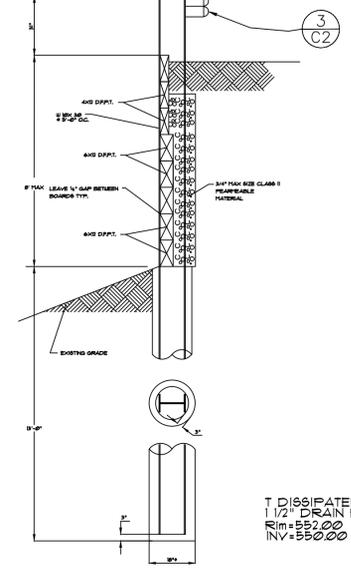
DISSIPATOR DETAIL (9) C3



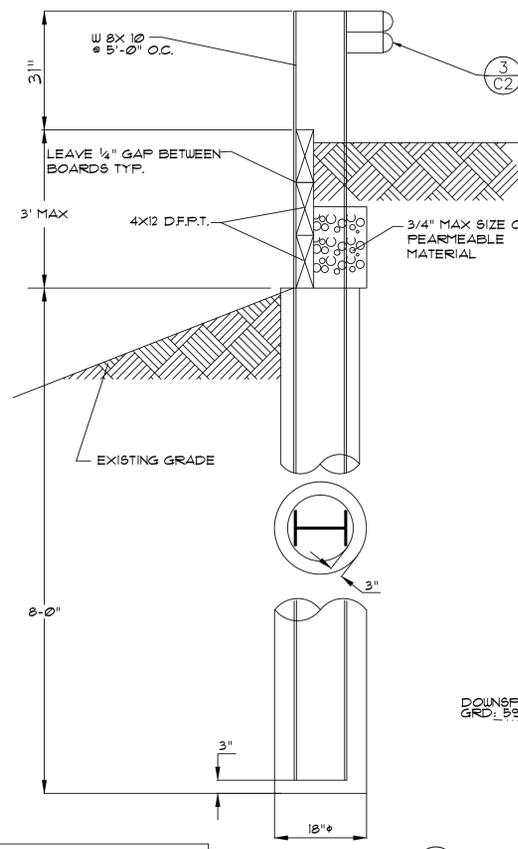
RETAINING WALL SECTION (4) C3



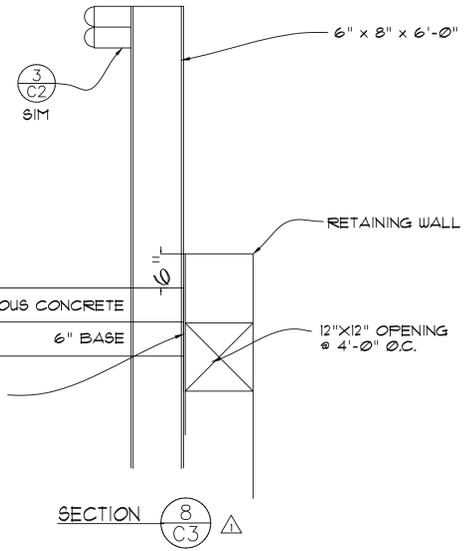
RETAINING WALL SECTION (5) C3



RETAINING WALL SECTION (6) C3

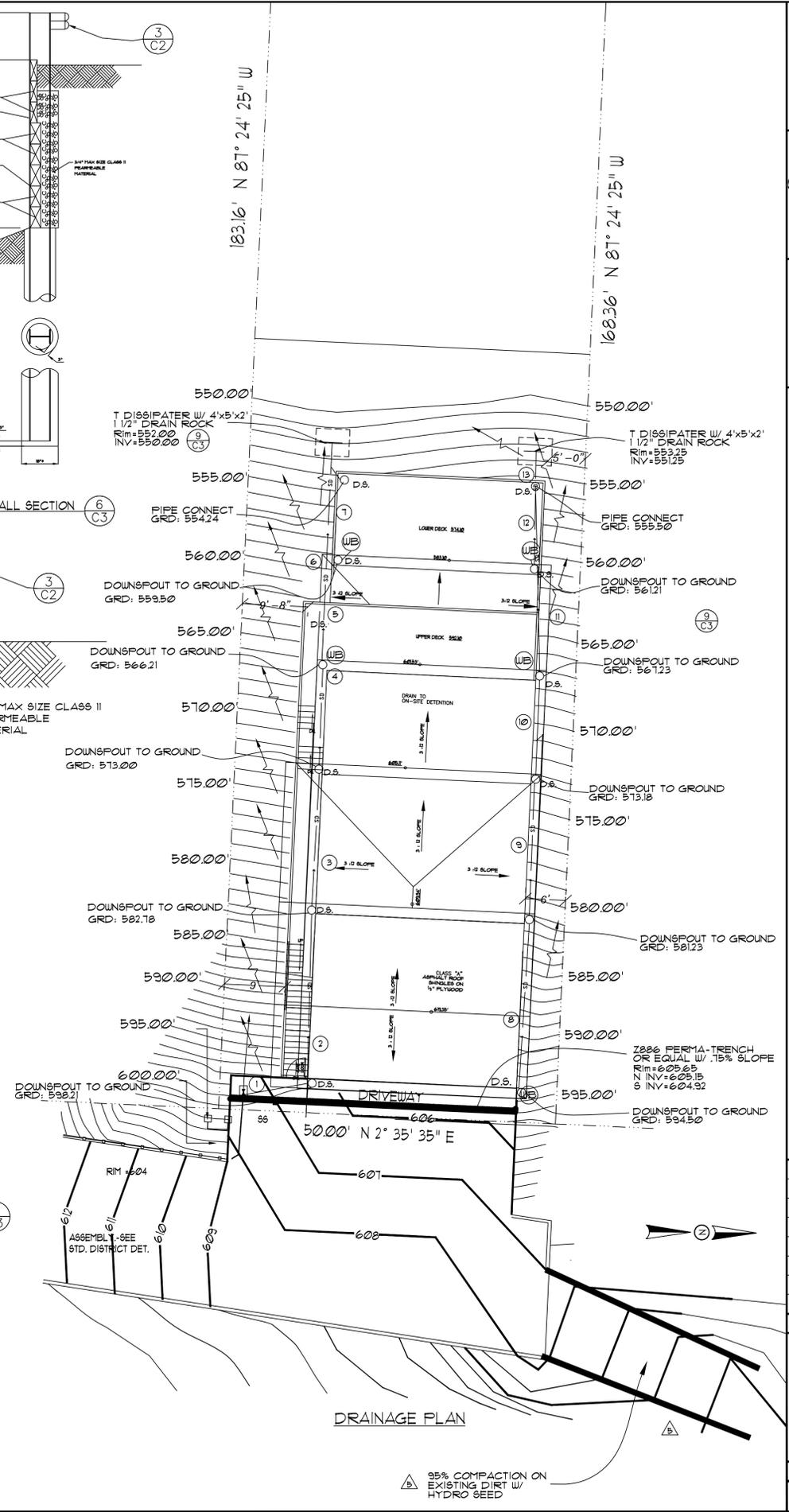


RETAINING WALL SECTION (7) C3

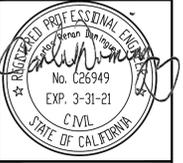


SECTION (8) C3

KEY	TYPE	LENGTH	SLOPE
(1)	4" φ PIPE LINE PVC SDR 35	25.0'	37%
(2)	4" φ PIPE LINE PVC SDR 35	25.50'	65%
(3)	4" φ PIPE LINE PVC SDR 35	20.75'	44%
(4)	4" φ PIPE LINE PVC SDR 35	15.75'	46%
(5)	4" φ PIPE LINE PVC SDR 35	8.50'	47%
(6)	4" φ PIPE LINE PVC SDR 35	3.25'	54%
(7)	4" φ PIPE LINE PVC SDR 35 T	16.75'	43%
(8)	4" φ PIPE LINE PVC SDR 35	24.50'	55%
(9)	4" φ PIPE LINE PVC SDR 35	20.75'	40%
(10)	4" φ PIPE LINE PVC SDR 35	15.25'	53%
(11)	4" φ PIPE LINE PVC SDR 35	15.75'	32%
(12)	4" φ PIPE LINE PVC SDR 35	12.25'	45%
(13)	4" φ PIPE LINE PVC SDR 35 T	5.00'	45%



DRAINAGE PLAN



NEW RESIDENCE FOR LUPE LOPEZ
119 HIGHLAND AVE. EL GRANADA, CA. 94018

DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT
PACIFICA, CA. 94044
(650) 359-0947 FAX (650) 355-2445

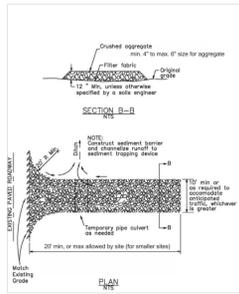
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Δ	6-19-20

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SHEET NUMBER

C3

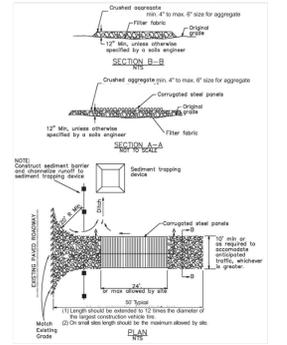
OF SHEETS
DATE 8-24-18
FILE LOP1449

Stabilized Construction Entrance/Exit TC-1



July 2012 California Stormwater BMP Handbook Construction www.cdwrp.org 5 of 7

Stabilized Construction Entrance/Exit TC-1

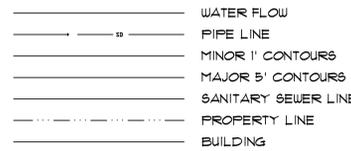


July 2012 California Stormwater BMP Handbook Construction www.cdwrp.org 6 of 7

EROSION CONTROL NOTES

- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO
- THE PERMEABLE PAVING IS UTILIZED FOR NOT LESS THAN 20% OF THE TOTAL PARKING, WALKING, OR PATIO SURFACES PER THE CALGREEN SECTION A4.106.4
- PERMEABLE PAVERS ARE 100%.
- ALL UNPAVED AREAS SHALL BE GRADED TO SLOPE 1% OR MORE. ALL PAVED AREAS SHALL BE GRADED TO SLOPE AT 5% OR MORE. ALL GRADING AND DRAINAGE WORK SHALL CONFORM WITH THE CURRENT NPDES REQUIREMENTS. 5.B.M.C.12.16.020
- PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
- MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDE AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
- AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
- LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
- AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
- TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
- PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS ARE REQUIRED ON WEEKENDS AND DURING RAIN EVENTS: NORTH, SOUTH, EAST, AND WEST OF PROPERTY. SEE PLANS FOR EXACT LOCATIONS
- PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS ARE REQUIRED ON WEEKENDS AND DURING RAIN EVENTS: NORTH, SOUTH, EAST, AND WEST OF PROPERTY. SEE PLANS FOR EXACT LOCATIONS
- THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC. SHALL NOT BE ENLARGED OR "RUN OVER."
- CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
- DUST CONTROL IS REQUIRED YEAR-ROUND.
- EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
- USE OF PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30 IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
- TREE PROTECTION SHALL BE IN PLACE BEFORE ANY DEMOLITION, GRADING, EXCAVATING OR GRUBBING IS STARTED.

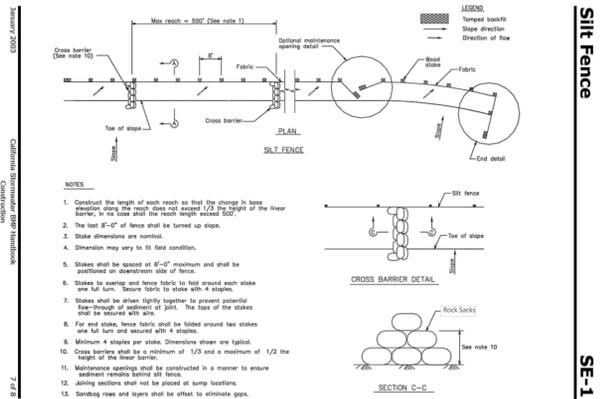
LEGEND



CONSTRUCTION SCHEDULE:

BEGIN	ESTIMATE COMPLETION
SEPT 2020	SEPT 2021

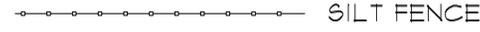
1 C4 STABILIZED CONSTRUCTION ENTRANCE



Silt Fence

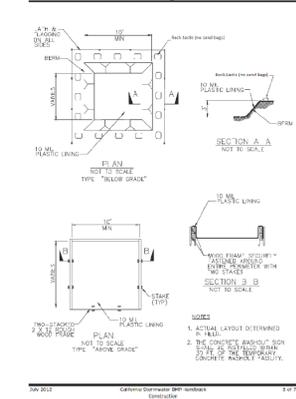
SE-1

2 C4 SILT FENCE DETAIL

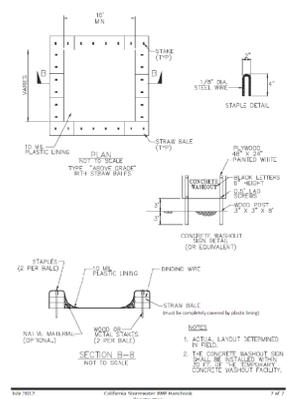


SILT FENCE

Concrete Waste Management WM-8

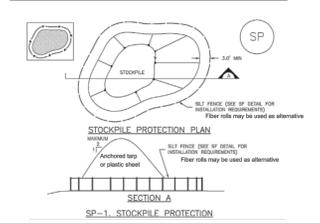


Concrete Waste Management WM-8

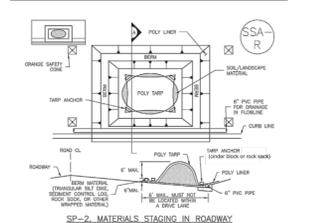


3 C4 CONCRETE WASTE MANAGEMENT

Stockpile Management (SP)



Stockpile Management (SP)

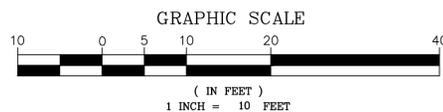
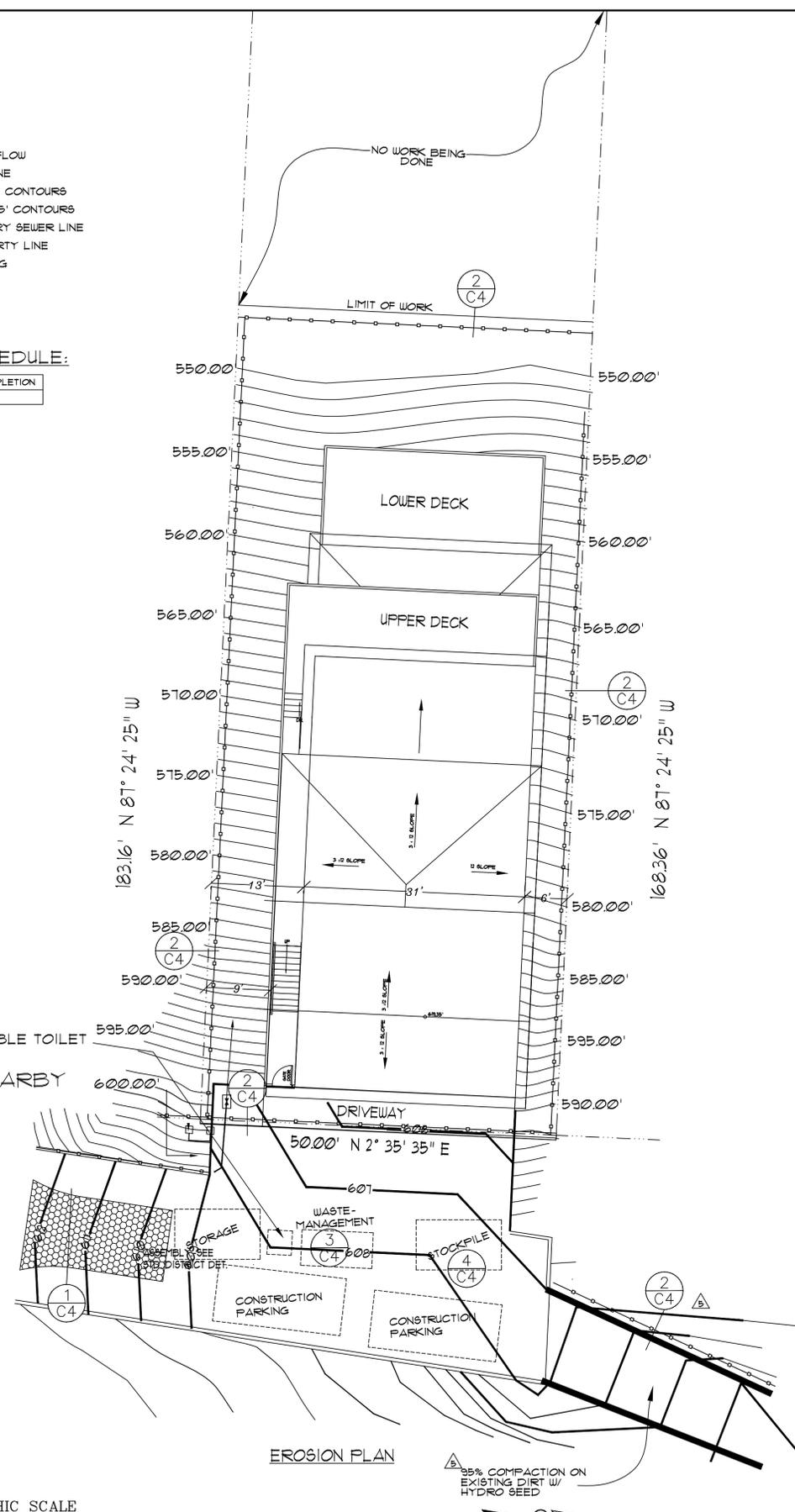


4 C4 STOCKPILE DETAIL

- NOTES:**
- NO STORM DRAIN INLETS NEARBY
 - DEBRIS WILL BE HAULED OFF-SITE IMMEDIATELY

NO STORM DRAIN INLETS NEARBY

PORTABLE TOILET

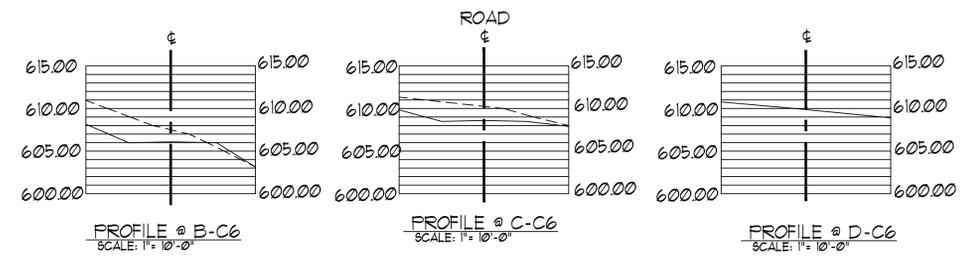
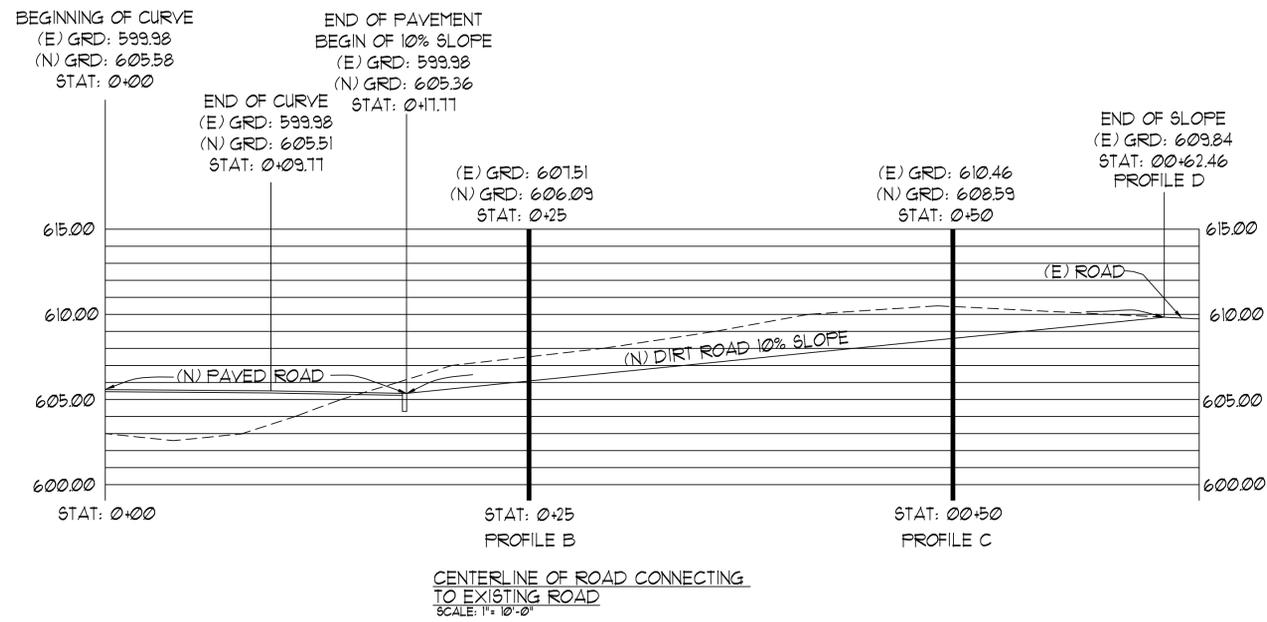


NEW RESIDENCE FOR LUPE LOPEZ
119 HIGHLAND AVE. EL GRANADA, CA. 94018

DOMINGUEZ ASSOCIATES
40 HUMBOLDT COURT
PACIFICA, CA. 94044
(650) 359-0947 FAX (650) 355-2445

REVISION	
NO.	DATE
1	6-19-20

SCALE AS SHOWN
SHEET NUMBER
C4
OF SHEETS
DATE 8-24-18
FILE LOP1449



NEW RESIDENCE FOR LUPE LOPEZ
 119 HIGHLAND AVE., EL GRANADA, CA. 94018

DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT PACIFICA, CA. 94044
 (650) 359-0947 EMAIL: carlos@dominguezassociates.com

REVISION	
NO.	DATE

SCALE AS SHOWN
 SHEET NUMBER

C6

OF SHEETS
 DATE 12-19-19

ROAD PROFILES

FILE LOP1449



CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
 Project Name: Residential Building
 Calculation Date/Time: 15.06, Tue, Apr 11, 2017
 Calculation Description: Title 24 Analysis
 Input File Name: ENERGYBuilding1.rbd16x
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GENERAL INFORMATION			
01	Project Name	Residential Building	
02	Calculation Description	Title 24 Analysis	
03	Project Location	119 HIGHLAND AVE	
04	City Code	05	Standards Version
06	CL GRANADA	07	Compliance Manager Version
08	Climate Zone	09	Software Version
10	Building Type	11	Front Orientation (deg/Cardinal)
12	Project Scope	13	Number of Dwelling Units
14	Total Cond. Floor Area (ft²)	15	Number of Zones
16	Slab Area (ft²)	17	Number of Stories
18	Addition Cond. Floor Area (ft²)	19	Natural Gas Available
20	Additional Slab Area (ft²)	21	Glazing Percentage (%)

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features shown below

ENERGY USE SUMMARY				
04	05	06	07	08
Energy Use (kWh/yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	10.54	12.22	-1.68	-15.9%
Space Cooling	0.72	0.00	0.72	--
IAQ Ventilation	0.50	0.90	0.00	0.0%
Water Heating	5.81	4.83	0.98	16.9%
Photovoltaic Offset		0.00		
Compliance Energy Total	17.87	17.95	0.02	0.1%

Registration Number: 217-P010118126A-000-000-00000-0000
 CA Building Energy Efficiency Standards - 2016 Residential Compliance
 Registration Date/Time: 2017-04-11 15:19:20
 Report Version - CF1R-03032017-695
 HERS Provider: CaCERTS Inc.
 Report Generated at: 2017-04-11 15:07:04

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
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ENERGY DESIGN RATING			
EDR of Standard Design	EDR of Proposed Design	EDR Value of Proposed PV	Final EDR of Proposed Design
40.3	40.2	0.0	40.2

Energy Design Rating (EDR) is an alternate way to express the energy performance of a building using a scoring system where 100 represents the energy performance of the Residential Energy Services (RESNET) reference home characterization of the 2006 International Energy Conservation Code (IECC). A score of zero represents the energy performance of a building that combines high levels of energy efficiency with renewable generation to "zero out" its TIV energy. Because EDR includes consideration of components not regulated by Title 24, Part 6 (such as domestic appliances and consumer electronics), it is not used to show compliance with Part 6 but may instead be used by local jurisdictions pursuing local ordinances under Title 24, Part 11 (CALGreen).

As a Standard Design building under the 2016 Building Energy Efficiency Standards is significantly more efficient than the baseline EDR building, the EDR of the Standard Design building is provided for information. Similarly, the EDR score of the Proposed Design is provided separately from the EDR value of installed PV so that the effects of efficiency and renewable energy can both be seen.

REQUIRED SPECIAL FEATURES	
<input type="checkbox"/>	Design meets Tier 1 requirement of 15% or greater code compliance margin (CALGreen A4.203.1.2.1) and QI verification prerequisite.
<input type="checkbox"/>	Design meets Tier 2 requirement of 30% or greater code compliance margin (CALGreen A4.203.1.2.2) and QI verification prerequisite.
<input type="checkbox"/>	Design meets Zero Net Energy (ZNE) Design Designation requirement for Single Family in climate zone C23 (Oakland) (CALGreen A4.203.1.2.3) including on-site photovoltaic (PV) renewable energy generation sufficient to achieve a Final Energy Design Rating (EDR) of zero or less. The PV System must be verified.

BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Residential Building	3408	1	3	3	0	2

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ZONE INFORMATION							
01	02	03	04	05	06	07	08
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft²)	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2	TIV (deg)
FIRST FLOOR	Conditioned	HVAC System1	827	9	DHW Sys 1	DHW Sys 2	
2ND FLOOR	Conditioned	HVAC System1	1528	9	DHW Sys 1	DHW Sys 2	
FLOOR 3	Conditioned	HVAC System1	1043	9	DHW Sys 1	DHW Sys 2	

OPAQUE SURFACES							
01	02	03	04	05	06	07	08
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft²)	Window & Door Area (ft²)	TIR (deg)
WEST WALL	FIRST FLOOR	R-19 Wall w/1 XPS	270	Front	243	84	90
SOUTH WALL	FIRST FLOOR	R-19 Wall w/1 XPS	180	Right	243	30	90
EAST WALL	FIRST FLOOR	R-13 Wall w/1 XPS	90	Back	279	0	90
NORTH WALL	FIRST FLOOR	R-19 Wall w/1 XPS	0	Left	243	32	90
Raised Floor	FIRST FLOOR	R-19 Floor Crawlspace			527		
NORTH WALL 2	2ND FLOOR	R-19 Wall w/1 XPS	0	Left	443	60	90
SOUTH WALL 2	2ND FLOOR	R-19 Wall w/1 XPS	180	Right	443	49	90
EAST Wall 2	2ND FLOOR	R-19 Wall w/1 XPS	90	Back	243	0	90
WEST Wall 2	2ND FLOOR	R-19 Wall w/1 XPS	270	Front	243	96	90
Raised Floor 2	2ND FLOOR	R-19 Floor Crawlspace			1528		
NORTH WALL 3	FLOOR 3	R-19 Wall w/1 XPS	0	Left	405	53	90
SOUTH WALL 3	FLOOR 3	R-19 Wall w/1 XPS	180	Right	405	66	90
west WALL 3	FLOOR 3	R-19 Wall w/1 XPS	0	Left	243	98	90
east WALL 3	FLOOR 3	R-19 Wall w/1 XPS	0	Left	243	0	90
Roof	FLOOR 3	R-30 Roof Attic			1403		

ATTIC							
01	02	03	04	05	06	07	08
Name	Construction	Type	Roof Rise	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof
Attic FLOOR 3	Attic Roof/FLOOR 3	Ventilated	3	0.1	0.85	No	No

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FENESTRATION / GLAZING									
01	02	03	04	05	06	07	08	09	10
Name	Type	Surface (Orientation-Azimuth)	Width (ft)	Height (ft)	Multiplier	Area (ft²)	U-Factor	SHGC	Exterior Shading
Window	Window	WEST WALL (Front-270)			1	84.0	0.29	0.31	Insect Screen (default)
Window 2	Window	SOUTH WALL (Right-180)			1	30.0	0.29	0.31	Insect Screen (default)
Window 3	Window	NORTH WALL (Left-0)			1	32.0	0.29	0.31	Insect Screen (default)
Window 4	Window	NORTH WALL 2 (Left-0)			1	60.0	0.29	0.31	Insect Screen (default)
Window 5	Window	SOUTH WALL 2 (Right-180)			1	49.0	0.29	0.31	Insect Screen (default)
Window 6	Window	WEST WALL 2 (Front-270)			1	56.0	0.29	0.31	Insect Screen (default)
Window 7	Window	NORTH WALL 3 (Left-0)			1	53.0	0.29	0.31	Insect Screen (default)
Window 8	Window	SOUTH WALL 3 (Right-180)			1	66.0	0.29	0.31	Insect Screen (default)
Window 9	Window	west WALL 3 (Left-0)			1	98.0	0.29	0.31	Insect Screen (default)

OPAQUE SURFACE CONSTRUCTIONS						
01	02	03	04	05	06	07
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Winter Design U-value	Assembly Layers
R-19 Wall w/1 XPS	Exterior Walls	Wood Framed Wall	2x6 @ 16 in. O.C.	R 19	0.050	<ul style="list-style-type: none"> Inside Finish: Gypsum Board Cavity / Frame: R-19 / 2x4 Sheathing / Insulation: RS Sheathing Exterior Finish: 3 Coat Stucco
R-13 Wall w/1 XPS	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	R 13	0.063	<ul style="list-style-type: none"> Inside Finish: Gypsum Board Cavity / Frame: R-13 / 2x4 Sheathing / Insulation: RS Sheathing Exterior Finish: 3 Coat Stucco
R-19 Floor Crawlspace	Floors Over Crawlspace	Wood Framed Floor	2x6 @ 16 in. O.C.	R 19	0.049	<ul style="list-style-type: none"> Floor Surface: Carpeted Floor Deck: Wood Slat/sheathing/blecking Cavity / Frame: R-19 / 2x4 Ceiling below Finish: Gypsum Board
R-19 Floor No Crawlspace	Interior Floors	Wood Framed Floor	2x6 @ 16 in. O.C.	R 19	0.048	<ul style="list-style-type: none"> Floor Surface: Carpeted Floor Deck: Wood Slat/sheathing/blecking Cavity / Frame: R-19 / 2x4 Ceiling below Finish: Gypsum Board
Attic Roof/FLOOR 3	Attic Roofs	Wood Framed Ceiling	2x4 Top Chord of Roof Truss @ 24 in. O.C.	none	0.644	<ul style="list-style-type: none"> Cavity / Frame: no insul / 2x4 Top Chrd Roof Deck: Wood Slat/sheathing/blecking Roofing: Light Roof (Asphalt Shingles)
R-30 Roof Attic	Callings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O.C.	R 30	0.032	<ul style="list-style-type: none"> Inside Finish: Gypsum Board Cavity / Frame: R-19 / 2x4 Over Ceiling: Joints: R-20.0 Insul.

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BUILDING ENVELOPE - HERS VERIFICATION			
01	02	03	04
Quality Insulation Installation (QI)	Quality Installation of Spray Foam Insulation	Building Envelope Air Leakage	CFM50
Not Required	Not Required	Not Required	--

WATER HEATING SYSTEMS					
01	02	03	04	05	06
Name	System Type	Distribution Type	Water Heater	Number of Heaters	Solar Fraction (%)
DHW Sys 1	DHW	Standard	DHW Heater 1 (1)	1	.0%
DHW Sys 2	DHW	Standard	DHW Heater 2 (1)	1	.0%

WATER HEATERS										
01	02	03	04	05	06	07	08	09	10	11
Name	Heater Element Type	Tank Type	Number of Units	Tank Volume (gal)	Energy Factor or Efficiency	Input Rating/PIST	Tank Insulation R-value (Int/Ext)	Standby Loss / Recovery Eff	NEEA Heat Pump Type	Tank Location or Ambient Condition
DHW Heater 1	Gas	Small Instantaneous	1	n/a	0.95 EF	120000 Bulb	n/a	n/a	n/a	n/a
DHW Heater 2	Gas	Small Instantaneous	1	n/a	0.95 EF	120000 Bulb	n/a	n/a	n/a	n/a

SPACE CONDITIONING SYSTEMS					
01	02	03	04	05	06
SC Sys Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name
HVAC System1	Other Heating and Cooling System	Heating Component 1	Cooling Component 1	HVAC Fan 1	Air Distribution System 1

HVAC - HEATING UNIT TYPES			
01	02	03	04
Name	System Type	Number of Units	Efficiency
Heating Component 1	Crnt/Furnace	1	98.5 AFUE

HVAC - COOLING UNIT TYPES							
01	02	03	04	05	06	07	08
Name	System Type	Number of Units	EER	SEER	Zonally Controlled	Compressor Type	HERS Verification
Cooling Component 1	NoCooling	1	--	--	--	--	--

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HVAC - DISTRIBUTION SYSTEMS						
01	02	03	04	05	06	07
Name	Type	Duct Leakage	Insulation R-value	Duct Location	Bypass Duct	HERS Verification
Air Distribution System 1	Duct/Attic	Sealed and tested	8	Attic	None	Air Distribution System 1-hers-dst

HVAC DISTRIBUTION - HERS VERIFICATION							
01	02	03	04	05	06	07	08
Name	Duct Leakage Verification	Duct Leakage Target (%)	Verified Location	Verified Duct Design	Buried Ducts	Deeply Buried Ducts	Low-leakage Air Handler
Air Distribution System 1-hers-dst	Required	5.0	Not Required	Not Required	Not Required	Not Required	--

HVAC - FAN SYSTEMS			
01	02	03	04
Name	Type	Fan Power (Watts/CFM)	HERS Verification
HVAC Fan 1	Single Speed PSC Furnace Fan	0.58	--

IAQ (Indoor Air Quality) FANS					
01	02	03	04	05	06
Dwelling Unit	IAQ CFM	IAQ Warts/CFM	IAQ Fan Type	IAQ Recovery Effectiveness(%)	HERS Verification
Sfam IAQVentPst	64	0.25	Default	0	Required

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DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
I, certify that this Certificate of Compliance documentation is accurate and complete.	
Documentation Author Name: MATT DOMINGUEZ	Documentation Author Signature:
Company: DOMINGUEZ ASSOCIATES	Signature Date: 2017-04-11 15:19:20
Address: 40 HUMBOLDT CT City/State/Zip: pacificca, CA 94044	CEA/HERS Certification Identification (if applicable): Phone: 650-359-0947

RESPONSIBLE PERSON'S DECLARATION STATEMENT	
I certify the following under penalty of perjury, under the laws of the State of California: 1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance. 2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of the 2016 Part 6 and Part 6 of the California Code of Regulations. 3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.	
Responsible Designer Name: MATT DOMINGUEZ	Responsible Designer Signature:
Company: DOMINGUEZ ASSOCIATES	Date Signed: 2017-04-11 15:19:20
Address: 40 HUMBOLDT CT City/State/Zip: pacificca, CA 94044	License: C26949 Phone: 650-359-0947

Digitally signed by CaCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration. Provider responsibility for the accuracy of the information.

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 Report Generated at: 2



RESIDENTIAL MEASURES SUMMARY

Table with columns: Project Name (Lupita Lopez), Building Type (Single Family), Date (4/11/2017), Project Address (119 HIGHLAND AVE EL GRANADA), and various energy efficiency measures.

FENESTRATION

Table with columns: Orientation, Area (ft²), U-Fac, SHGC, Overhang, Sidelights, Exterior Shades, Status.

HVAC SYSTEMS

Table with columns: Qty, Heating, Min. Eff, Cooling, Min. Eff, Thermostat, Status.

HVAC DISTRIBUTION

Table with columns: Location, Heating, Cooling, Duct Location, Duct R-Value, Status.

WATER HEATING

Table with columns: Qty, Type, Gallons, Min. Eff, Distribution, Status.



2016 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. Exceptions may apply.

Table of mandatory measures for low-rise residential buildings, including sections on Building Envelope Measures, Fenestration, HVAC Systems, and Water Heating.



2016 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. Exceptions may apply.

Table of mandatory measures for low-rise residential buildings, including sections on Building Envelope Measures, Fenestration, HVAC Systems, and Water Heating.



2016 Low-Rise Residential Mandatory Measures Summary

Table of mandatory measures for low-rise residential buildings, including sections on Duct System Sizing and Air Filter, Pool and Spa Systems and Equipment Measures, and Lighting Measures.



2016 Low-Rise Residential Mandatory Measures Summary

Table of mandatory measures for low-rise residential buildings, including sections on Interior Switches and Controls, Residential Outdoor Lighting, Residential Outdoor Lighting, and Solar Ready Buildings.

RESIDENCE FOR LOPEZ RESIDENCE 119 HIGHLAND AVE., EL GRANADA, CA. 94018

DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT

Table with columns: REVISION, NO., DATE.

SCALE SHEET NUMBER

E2 OF SHEETS

DATE 5-4-17

FILE LOP1449

Carl H. H. H.

REV.	DESCRIPTION AND DATE

ecolSTUDIO
 landscapearchitecture
 850 STANNARD AVE #4
 ALBANY, NY 12206
 (518) 538-8701
 eddie@ecolstudio.com
 www.ecolstudio.com
 FLA4406

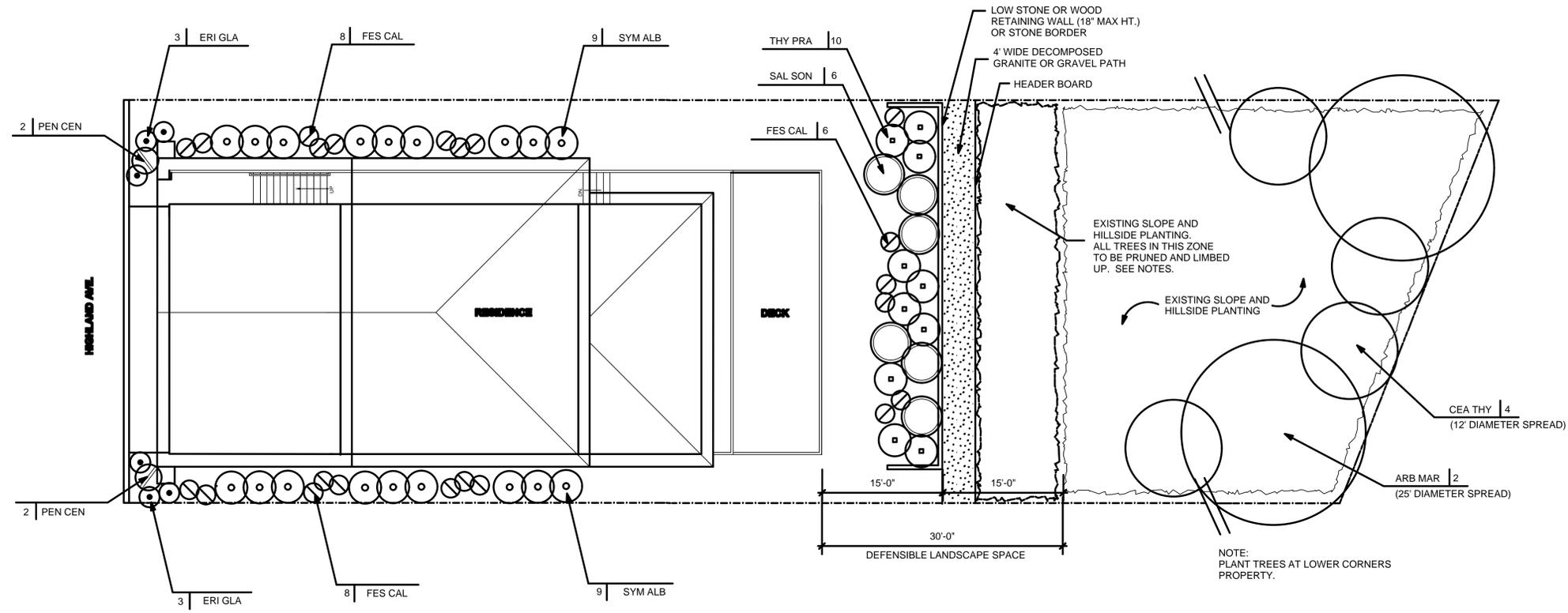
LOPEZ RESIDENCE
 119 HIGHLAND AVE.
 EL GRANADA, CA

PLANTING PLAN

FOR PLANNING REVIEW

DATE: 12/21/18
 SCALE: 1/8" = 1'-0"
 DRAWN:

L1



PLANT LIST

QTY.	CONTAINER	SPREAD	BOTANIC NAME	COMMON NAME	WUCOLS WATER FACTOR	SUNSET ZONE
TREES:						
2	24" B	25' DIA	ARBUTUS MARINA	STRAWBERRY TREE	LOW (2)	8,9, 14-24
4	24" B	12' DIA	CEANOTHUS THYRSIFLORUS 'SNOW FLURRY'	SNOW FLURRY CEANOTHUS	LOW (2)	5,7,8,9,14-17,19-42
SHRUBS AND PERENNIALS:						
6	1G		ERIGERON GLAUCUS	SEASIDE DAISY	LOW (2)	4-6,15-17, 22-24
4	1G		PENSTEMON CENTRANTHIFOLIUS	SCARLET BUGLER	LOW (2)	7-23
6	5G		SALVIA SONOMENSIS	CREeping SAGE	LOW (2)	7,9,14-24
18	1G		SYMPHORICARPUS ALBUS	COMMON SNOWBERRY	LOW (2)	1-11, 14-21
GRASSES AND GROUNDCOVERS:						
22	1G		FESTUCA CALIFORNICA	CALIFORNIA FESCUE	LOW (2)	4-9, 14-24
10	1G		THYMUS PRAECOX	MOTHER OF THYME	LOW (2)	1-24

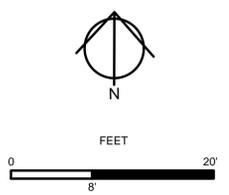
PLANT NOTES:

- LAYOUT IN ADVANCE ALL PLANT MATERIAL PER PLANTING PLAN. LANDSCAPE ARCHITECT TO APPROVE LOCATION OF PLANT MATERIAL PRIOR TO PLANTING. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT A MINIMUM OF ONE WEEK IN ADVANCE OF PLANTING DATES.
- AMENDMENT or APPROVED EQUAL:** "DIESTEL STRUCTURED COMPOST" 50/50 RATIO, 4 CUBIC FEET PER 1000 SF. SOURCE: LYNOSO GARDEN MATERIALS, SAN CARLOS (650)364-1730
- PLANTING HOLES FOR TREES AND SHRUBS TO BE TWICE ROOTBALL WIDTH AND EQUAL TO ROOTBALL DEPTH. ALL 15G AND LARGER PLANTS TO BE PLANTED ON NATIVE SOIL, EXCEPT WHERE PLANTING IN FILL.
- FOR TOP OF ROOTBALLS:** PLANT ALL 1 AND 5 GALLON CANS 1/2" ABOVE THE GROUND. PLANT ALL 15 GALLONS, 2" ABOVE THE GROUND. BRING MULCH AND SOIL AMENDMENT AROUND AND OVER EXPOSED ROOT BALL. KEEP MULCH AWAY FROM BASE OF TRUNKS AND STEMS.
- FERTILIZER: FERTILIZE WITH AGRIFORM TABLETS (20-10-5). USE ONE TABLET FOR ONE GALLON, THREE TABLETS FOR FIVE GALLON, FIVE TABLETS FOR 15 GALLON, EIGHT TABLETS FOR 24" BOX, TWELVE TABLETS FOR 36" BOX PLANTS. (GLACIAL ROCK DUST MAY BE SUBSTITUTED FOR FERTILIZER TABLETS. APPLY AT SUPPLIER RECOMMENDED RATES.)
- MULCH:** APPLY 1/4" FIR CHIP MULCH OVER ALL SHRUB AND GROUND COVER AREAS TO A DEPTH OF THREE INCHES. PULL BARK 2-3" AWAY FROM BASE OF ALL PLANTS.

A MINIMUM OF 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- LANDSCAPE CONTRACTOR WILL REPLACE ALL DEAD PLANTS AND PLANTS NOT IN VIGOROUS CONDITION AS DIRECTED BY LANDSCAPE ARCHITECT. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME KIND AND SIZE SPECIFIED AND PLANTED AS SPECIFIED ABOVE. ALL REPLACEMENT OF PLANTS SHALL BE DONE BEFORE FINAL ACCEPTANCE.
- PROVIDE PLANT GUARANTEE PROPOSAL WITH BID. (MINIMUM 6 MONTHS FOR PLANTS UP TO 15 GALLON, 1 YEAR FOR 24" BOX OR LARGER.
- VEGETATION MANAGEMENT:** MAINTAIN DEFENSIBLE VEGETATIVE FUEL BREAK MIN. 30' AROUND STRUCTURE. TREES WITHIN DEFENSIBLE SPACE TO BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6'-10' ABOVE GROUND. NEW TREES PLANTED IN DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10' TO ADJACENT TREES WHEN FULL GROWN OR AT MATURITY.

NOTES:

- SEE IRRIGATION PLAN FOR LANDSCAPE AREA SQUARE FOOTAGES.
- ALL WUCOLS PLANT FACTORS ARE UNDER 0.3
- NO TURF IS TO BE PLANTED IN THIS PLANTING PLAN**
- TURF SHALL NOT EXCEED 25% OF LANDSCAPE AREA IN RESIDENTIAL AREAS
- NO TURF PERMITTED IN NON-RESIDENTIAL AREAS
- TURF NOT PERMITTED ON SLOPES GREATER THAN 25%
- TURF IS PROHIBITED IN PARKWAYS LESS THAN 10 FEET WIDE



REV.	DESCRIPTION AND DATE

eclaSTUDIO
landscape architecture
850 STARBUCK AVE. #4
ALBANY, CA 94706
(510) 538-8701
ec@eclastudio.com
www.eclastudio.com
FLA 4408

LOPEZ RESIDENCE
119 HIGHLAND AVE.
EL GRANADA, CA

IRRIGATION PLAN

FOR PLANNING REVIEW

DATE: 12/21/18

SCALE: 1/8" = 1'-0"

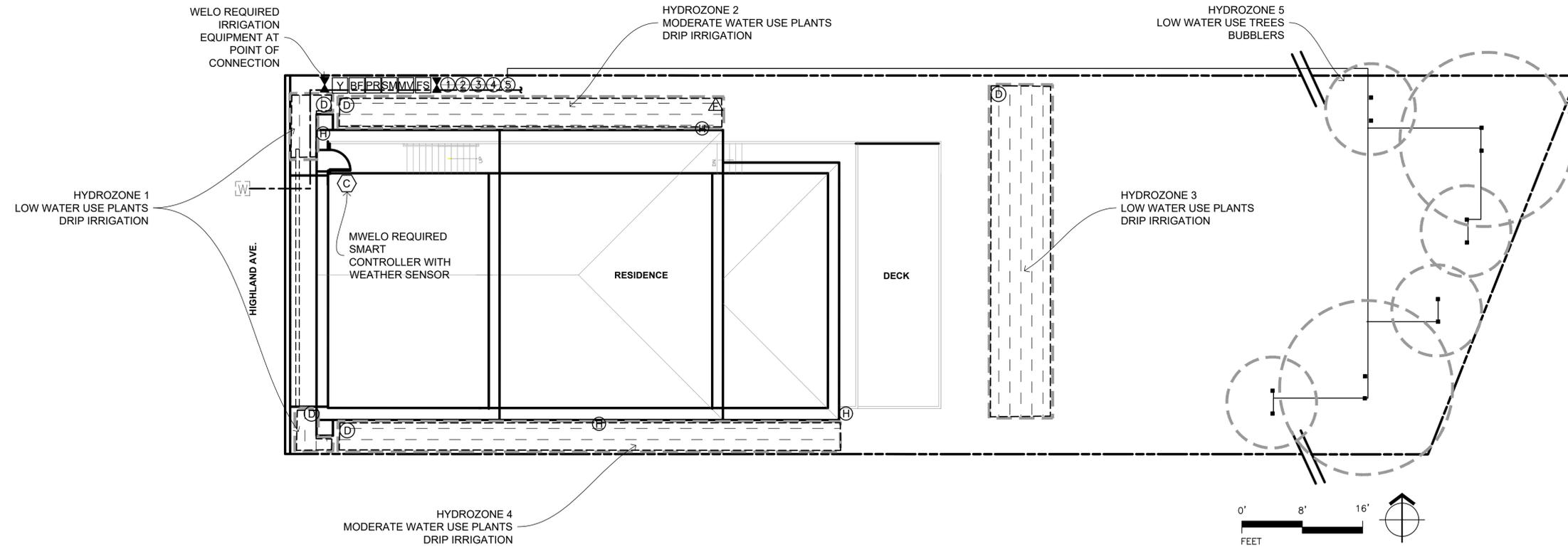
DRAWN:

L2

WATER EFFICIENT LANDSCAPE WORKSHEET									
Lopez Residence									
Reference Evapotranspiration (ET0)		33.70							
ETWU: ESTIMATED TOTAL WATER USE									
ETWU=ET0 X 0.62 X [(PF X HA) / IE] + SLA									
HYDROZONE	PLANTING DESCRIPTION	PLANT FACTOR	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (SF)	ETAF X AREA	ETWU (GAL/YR)	
Regular Landscape Areas									
1	SHRUBS	0.20	DRIP	0.81	0.25	60.00	14.81	309.54	
2	SHRUBS	0.20	DRIP	0.81	0.25	214.00	52.84	1,104.03	
3	SHRUBS	0.20	DRIP	0.81	0.25	370.00	91.36	1,908.83	
4	SHRUBS	0.20	DRIP	0.81	0.25	268.00	66.17	1,382.62	
5	TREES	0.20	BUBBLERS	0.81	0.25	1,434.00	354.07	7,398.02	
SUBTOTAL					0.25	2,346.00	NA	12,103.04	
Special Landscape Areas									
SUBTOTAL					1.00		0.00	0.00	
TOTALS						2,346.00			
ETWU TOTAL							ETWU	12,103.04	
MAWA: MAXIMUM ALLOWED WATER USE									
MAWA = (ET0)(0.62) [(ETAF X LA) + ((1-ETAF) X SLA)]									
ET0	CONVERSION FACTOR	ETAF	ETAF X LA = D	1-ETAF X SLA = E	D+E			MAWA (GAL/YR)	
33.7	0.62	0.55	1,290.30	0.00	1,290.30			26,959.53	
							ETWU COMPLIES WITH MAWA		
ETWU AVERAGE ETAF MUST BE: RESIDENTIAL: < .55, N: MAWA ETAF: RESIDENTIAL= 0.55, NON-RESIDENTIAL= 0.45									
PLANT FACTOR: VL=0-0.1, L=0.1-0.3, M=0.4-0.6, H=0.7-1.0									
IRRIGATION EFFICIENCY (IE): SPRAY=.75, DRIP=.81									
MAX LAWN AREA = 25%									

IRRIGATION LEGEND				
SYMBOL	COMPONENT	MANUFACTURER	MODEL	NOTES / SIZE / COLOR
W	WATER METER-EXISTING			VERIFY SIZE IN FIELD
MWEO REQUIRED WEATHER BASED CONTROLLER:				
C	CONTROLLER	HUNTER	I-CORE IC-600-PL 6-STATION WIRELESS SOLAR SYNC, WSS-SEN	
	WEATHER SENSOR	HUNTER		
MWEO REQUIRED EQUIPMENT AT THE POINT OF CONNECTION:				
Y	GATE VALVE	NIBCO	T-113	LEAD FREE LINE SIZE
Y	WYE STRAINER	WILKINS	SXL	1"
BF	BACKFLOW PREVENTER	FEBCO	LF825Y	1" LEAD FREE REDUCED PRESSURE ASSEMBLY
PR	PRESSURE REDUCER	WATTS	LFN	1"
SM	SUBMETER	BADGER		METER SIZE
MV	MASTER VALVE	HUNTER	ICV-101G	1"
FS	FLOW METER	CST	FSI-T10-001	1"
TREE BUBBLER SYSTEM TO INCLUDE:				
	REMOTE CONTROL VALVE	HUNTER	ICV-151G	1"
	BUBBLER	RAINBIRD	1402	GPM: 0.5
DRIP SYSTEM TO INCLUDE:				
DRIP IRRIGATION CONTROL VALVE ASSEMBLY TO INCLUDE:				
	REMOTE CONTROL VALVE	HUNTER	ICV-101G	1"
	FILTER & PRESSURE REGULATOR	HUNTER	PCZ DRIP CONTROL ZONE KIT	1"
D	TRANSITION TO DRIP ZONE			
A	DRIP FLUSHOUT			RE
H	HOSE BIBB			SEE PLUMBING DRAWINGS
=====	SLEEVE		SCH 40 WITH SCH 80 SOLVENT WELD FITTINGS	PIPE SIZE: 1.5X COMBINED SIZE OF ENCLOSED PIPES
---	MAINLINE			PIPE SIZE: 0-12 GPM: 1" PIPE
---	LATERAL PIPE			
---	INLINE EMITTER TUBING	NETAFIM	TECHLINE CV, 17MM	0.4 GPH EMITTERS EMITTER SPACING: 18 INCHES ROW SPACING: 18 INCHES
HYDROZONE				
SYMBOLS FOR COMPONENTS ARE LARGER THAN ACTUAL SIZE AND MAY BE SHOWN IN PAVED AREAS FOR GRAPHIC CLARITY. COORDINATE LOCATION OF EQUIPMENT WITH PLUMBER. ALL PIPE RUNS UNDER PAVING ARE IN SLEEVES, INSTALL SLEEVES PRIOR TO POURING CONCRETE.				

- IRRIGATION DESIGN INTENT**
- THE DRIP IRRIGATION SYSTEM IS DESIGNED TO REDUCE WATER USE TO THE LOWEST PRACTICAL AMOUNT TO PROVIDE HEALTHY PLANT GROWTH. IT IS DESIGNED TO PREVENT RUNOFF, LOW HEAD DRAINAGE AND OVERSPRAY. SEPARATE VALVES ARE USED TO IRRIGATE EACH HYDROZONE. THE SYSTEM INCORPORATES HIGH QUALITY, HEAVY DUTY, WATER CONSERVING EQUIPMENT. BACKFLOW PROTECTION IS PROVIDED AT THE POINT OF CONNECTION. A SMART CONTROLLER PROVIDES EVAPOTRANSPIRATION SENSOR DATA FOR SCHEDULING.
- CONTROLLER**
1. AUTOMATIC WEATHER-BASED IRRIGATION CONTROLLER SHALL BE INSTALLED ON THE IRRIGATION SYSTEM
 2. IRRIGATION CONTROLLER USES EVAPOTRANSPIRATION DATA AND UTILIZES A RAIN SENSOR.
 3. IRRIGATION CONTROLLER PROGRAMMING DATA WILL NOT BE LOST DUE TO AN INTERRUPTION IN THE PRIMARY POWER SOURCE.
- IRRIGATION NOTES**
1. CONTRACTOR TO HAVE C-27 LICENSE
 2. AREAS LESS THAN 10 FEET IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
 3. FOR NON-RESIDENTIAL PROJECTS WITH LANDSCAPE AREAS OF 1,000 SQ. FT. OR MORE, PRIVATE SUBMETER(S) TO MEASURE LANDSCAPE WATER USE SHALL BE INSTALLED.
 4. A PRIVATE LANDSCAPE SUBMETER IS INSTALLED AT NON-RESIDENTIAL LANDSCAPE AREAS OF 1,000 SQ. FT. OR MORE
 5. A PRESSURE REGULATOR IS INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE
 6. A MANUAL SHUTOFF VALVE SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION TO THE WATER SUPPLY
 7. FOR GRAPHIC CLARITY SYMBOLS ARE NOT TO SCALE AND PLACEMENT IS DIAGRAMMATIC
 8. ALL EQUIPMENT TO BE FIELD LOCATED BY OWNER
 9. CONTRACTOR TO FIELD VERIFY PSI AT POC
 10. CONTRACTOR TO FIELD VERIFY ALL EQUIPMENT
 11. CONTRACTOR TO ENSURE THAT THE SYSTEM IS FULLY FUNCTIONAL AND HYDRAULICALLY SOUND
 12. AT THE TIME OF FINAL INSPECTION THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE
 13. UNLESS CONTRAINDICATED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQ. FT. OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL



NOT FOR CONSTRUCTION