

May 17, 2019

Cesar Sanchez  
P.O. Box 1313  
El Granada, CA 94018

Dear Mr. Sanchez:

SUBJECT: Coastside Design Review Continuance  
Isabella Road, El Granada  
APN 047-244-240; County File No. PLN 2017-00509

At its meeting of May 9, 2019, the San Mateo County Coastside Design Review Committee (CDRC) considered your design review application to allow construction of a new 2,662 sq. ft. two-story single-family residence (including a 477 sq. ft. attached two-car garage) on a 5,000 sq. ft. legal parcel (Recorded Lot Line Adjustment (LLA 81-14)). The project involves minor grading and no tree removal.

The CDRC was unable to make the findings for a design review recommendation of approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required. As such, requirements from the CDRC for further project redesign are as follows:

1. Coordinate Floor plans, Site plan, Elevations, and Building Sections with existing and proposed grade elevations on the civil drawings. Correctly show locations, heights, and dimensions of proposed retaining walls, coordinated with the civil drawings. Add floor elevations for garage, first floor and second floor, and top-of-plate elevations to section and elevation drawings, as well as lines to represent existing and proposed grade. Dimension to show maximum height on all elevation and section drawings. Civil and site plans should accurately show rear patio elevation, material, and relationship to retaining wall in both plan and section.
2. Revise the landscape plans to provide a more developed landscape plan that includes trees, shrubs, and ground cover.



3. Revise the design drawings to reflect the following:
  - a. For the room over the garage on the Front elevation, extend the width of the columns and the depth of the arched facade out from the building wall to 2-3 inches.
  - b. Revise plans to accurately show the Front elevation, especially the height of the garage in relation to the finished floor level, the transom space above the garage lights, and the level of the front porch and steps. Consider reducing eave height and remove transoms above garage door to achieve better proportions.
  - c. Provide a roofing plan, including roof slope and roof tile specification.
4. Provide a physical sample of the roofing tiles. Dark brown muted color is presented. Avoid use of roof tiles of a bright color such as terracotta.
5. In the materials list, specify that the concrete pavers for the driveway are permeable.
6. Provide a manufacturer's cut sheet and color specification for the garage door.

As such, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Camille Leung, Senior Planner, at 650/363-1826, if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link:  
<http://planning.smcgov.org/survey>.

Sincerely,



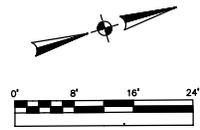
Dennis P. Aguirre  
Design Review Officer

CML:DPA:ann – DPADD0233\_WNN.DOCX

cc: Bruce Chan, Member Landscape Architect  
Katie Kostiuk, Member Architect  
Chris Johnson, El Granada Community Representative  
Ron Madson, Interested Members of the Public

Governing Codes:  
 Technical Building Codes  
 2019 California Building Code  
 (Volumes 1 and 2)  
 2019 California Residential Code  
 2019 California Green Building Standards  
 Code (CALGreen)  
 2019 California Electrical Code  
 2019 California Mechanical Code  
 2019 California Plumbing Code  
 2019 California Fire Code  
 2019 California Administrative Code  
 2019 California Energy Code

Designer: Tim Pond Tim Pond Design and Construction Phone (650) 576-7177 <a href="mailto:Timppond@gmail.com">Timppond@gmail.com</a>	
Drawn By TP	Scale 1/8" = 1'
Revisions	Date
Planning Resubmittal	2.11.20
Plot, Title Plan	A1.0



**Project Description:**  
 Project consists of two story single family residence.  
 Construction Type: V-B, wood frame on pier and gradebeam foundation with garage slab on grade and crawlspace under 1st floor living area.  
 Automatic Fire Sprinklers Required  
 Zoning: R1 S-17  
 Occupancy R-3 and U (garage)  
 Facade Articulation method for Planning compliance is impemented in design.

**Grading:**  
 Cut of 160 yards /Fill 0 yards See civil plans  
 Power and comm underground to house per SMC code requirements

**Fire Protection Notes**

- Interconnected hard-wired smoke detectors required with battery back-up which shall be installed per manufacturers instructions and NFPA 72, California Building Code and Coastside Fire District Ordinance 2016-01 in all conditioned or new sleeping rooms and at a point centrally located in the co corridor or area giving access to each separate sleeping area.
- Escape or rescue windows shall have a minimum clear openable area of 5.7 square feet or 5.0 square feet allowed at grade level windows. The minimum net clear opening height shall be 24" minimum and the net width no less than 20". Finished sill height shall be no more than 44" above the finished floor.
- As per CFD ordinance 01-2016, building identification shall be conspicuously posted and visible from the street. The numbers for permanent address signs shall be 4 inches in height and minimum 3/4" stroke. Such letters or numbers shall be internally illuminated and facing the direction of access.
- As per Coastside Fire District Ordinance 2016-01, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
- Hydrant shown on plan across the street property and separate letter containing flow confirmation of 1000 gpm at 20 PSI will be submitted to the district prior to permit issuance.
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- fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10' to adjacent trees when fully grown or at maturity. Remove that portion of any existing trees, which extends within 10 feet of th?? outlet of a chimney or stovepipe or is within 5' of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood. The Coastside Fire District Ordinance 2016-01, the 2016 California Fire Code 304.1.2
- The applicant must have an asphalt surface road for ingress and egress of fire apparatus. The City of Half Moon Bay Department of Public Works, San Mateo County Department of Public Works, the Coastside Fire District Ordinance 2016-01, and the California Fire Code shall set road standards. As per the 2016 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Coastside Fire District specifications. As per the 2016 CFC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20-foot road) and on-street parking is desired, an additional improved area shall be developed for that use.
- As per 2016 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2016 CFC, Appendix B the hydrant must produce minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details. residence
- Automatic Fire Sprinkler System: (Fire Sprinkler plans will require a separate permit). As per San Mateo County Building Standards and Coastside Fire District Ordinance Number 2016-01, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. Sprinkler coverage shall be provided throughout the residence to include all bedrooms, garages, and any area used for storage. Exception is a linen closet less than 24" in depth.

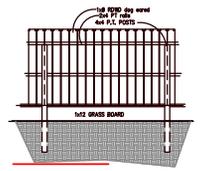
**Planning Data**

Lot Coverage		
First Floor	1540	sq.ft.
Covered entry porch	100	sq.ft.
Entry stairs over 18" high	36	sq.ft.
<b>Total</b>	<b>1676</b>	<b>sq.ft.</b>
Lot Size	100 ft 50 ft	5000 sq.ft.
Existing Lot Coverage	1676 / 5000	or 33.52 %

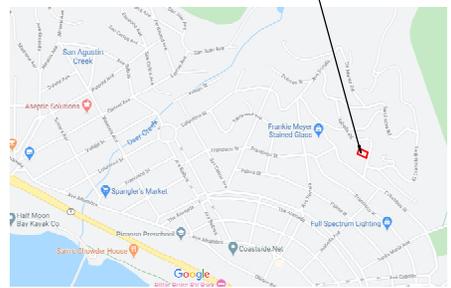
**Floor Area Ratio (FAR)**

Proposed Floor Area Ratio		
First floor area	1540	sq ft
second floor area floor addition	1010	sq ft
porch with overhang < 4'	100	sq ft
<b>Total</b>	<b>2650</b>	<b>sq ft</b>
<b>Proposed FAR</b>	<b>2650 / 5000</b>	<b>or 53 %</b>

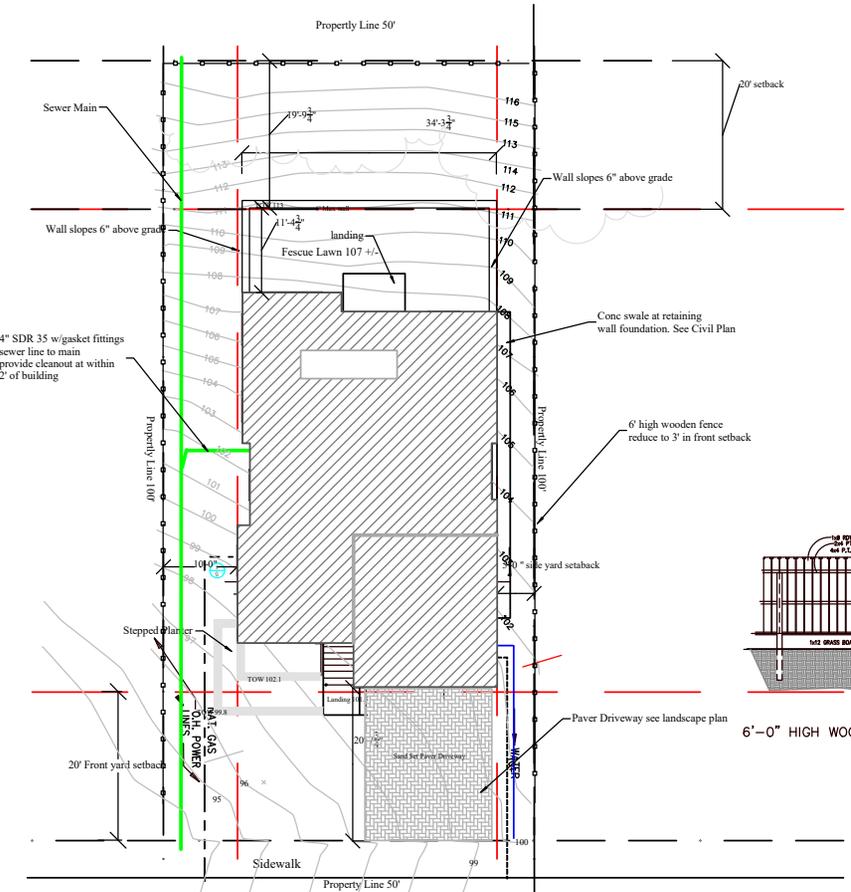
- A1.0 Plot Plan, Title, Index
- C-1 Drainage and Utility Plan
- C-2 Erosion Control Plan
- A1.2 Landscaping Plan
- BMP sheet
- Survey
- A2.1 Floor and Roof Plan
- A3.1 Elevations
- A3.2 Elevations
- A3.3 Sections



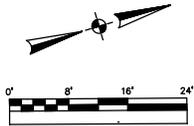
**6'-0" HIGH WOOD FENCE DETAIL**



**Project Location Map**



Isabella Ave.



## Landscape and irrigation Notes

1. No irrigation system will be provided on this project
2. Excavate plant holes to twice the diameter and twice the depth of plant container and amend soil with planters mix.
3. Plant wild or edible strawberries as infill groundcover
4. Edible plants are preferred to inedible
5. Hand trench around existing trees only and do not cut roots over 1" diameter

Landscape area < 2000 sq ft  
 There is NO irrigation planned on this project. All plants shall be edible or hand watered.  
 If not prohibited by local law, use stored fog and rain water and grey water from washer and kitchen sink to irrigate.

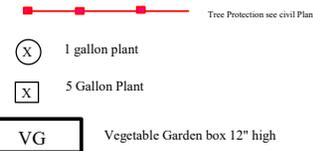
Compost: Project must incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test). Plant Water Use (Residential): Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water. Plant Use (Non-Residential): Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 100% of the plant area excluding edibles and areas using recycled water.  
 Mulch: A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers.  
 Turf: Total turf area shall not exceed 25% of the landscape area. Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width. Turf, if utilized in parkways is irrigated by sub-surface irrigation or other technology that prevents overgrazing or runoff. Turf is not allowed in non-residential projects.

Owner CESAR SANCHEZ P.O. BOX 1313 EL GRANADA, CA. 94018 (850) 823-1259 APN 047-244-240 Vacant Land on Isabella Ave. Unincorporated San Mateo County	
Designer: Tim Pond Tim Pond Design and Construction Phone (650) 576-7177 Timepond@gmail.com	
Drawn By TP	Scale 1/8" = 1'
Revisions	Date
Planning Resubmittal	2.11.20
Landscape Plan	A1.1

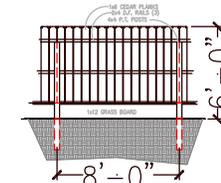
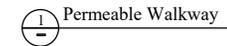
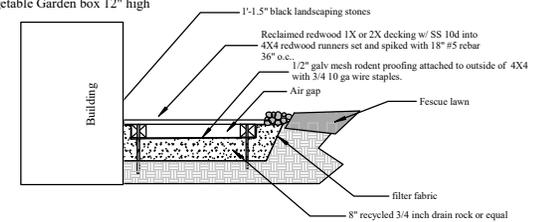
## List of Plants

- ① Achillea 'Terra Cotta' (yarrow)
- ② Achillea borealis (island pink yarrow)
- ③ Achillea millefolium (yarrow)
- ④ Granny Smith Apple or Pear Tree
- ⑤ Arctostaphylos uva-ursi ('Wood's Compae')
- ⑥ Baccharis pilularis (coyote bush)
- ⑦ Calamagrostis foliosa (Leafy Reed Grass)
- ⑧ Calandrinia spectabilis (rock purslane)
- ⑨ Aster chilensis 'Point Saint George' (dwarf California aster)
- ⑩ Artichoke
- ⑪ Pinus contorta (shore pine)
- ⑫ Prunus ilicifolia sp. lyonii (Catalina cherry)
- ⑬ Erigeron karvinskianus - Santa Barbara Daisy
- ⑭ Artichokes
- ⑮ Granny smith Apple tree

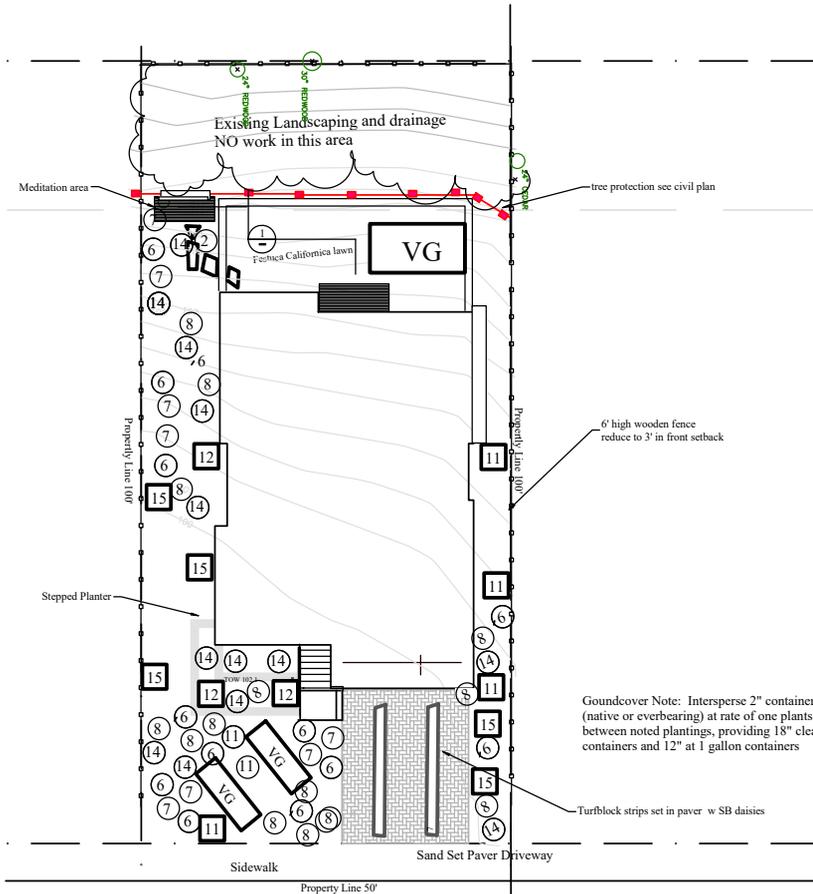
## Planting and Drainage Symbol Legend



Vegetable Garden box 12" high



6'-0" HIGH WOOD FENCE DETAIL



Groundcover Note: Intersperse 2" container strawberry plants (native or everbearing) at rate of one plants per 2 square feet between noted plantings, providing 18" clear radii at 5 gallon containers and 12" at 1 gallon containers

Turfblock strips set in paver w SB daisies



Turfblock: Turfstone by Calstone



Pavers: Belgian Stone by Calstone

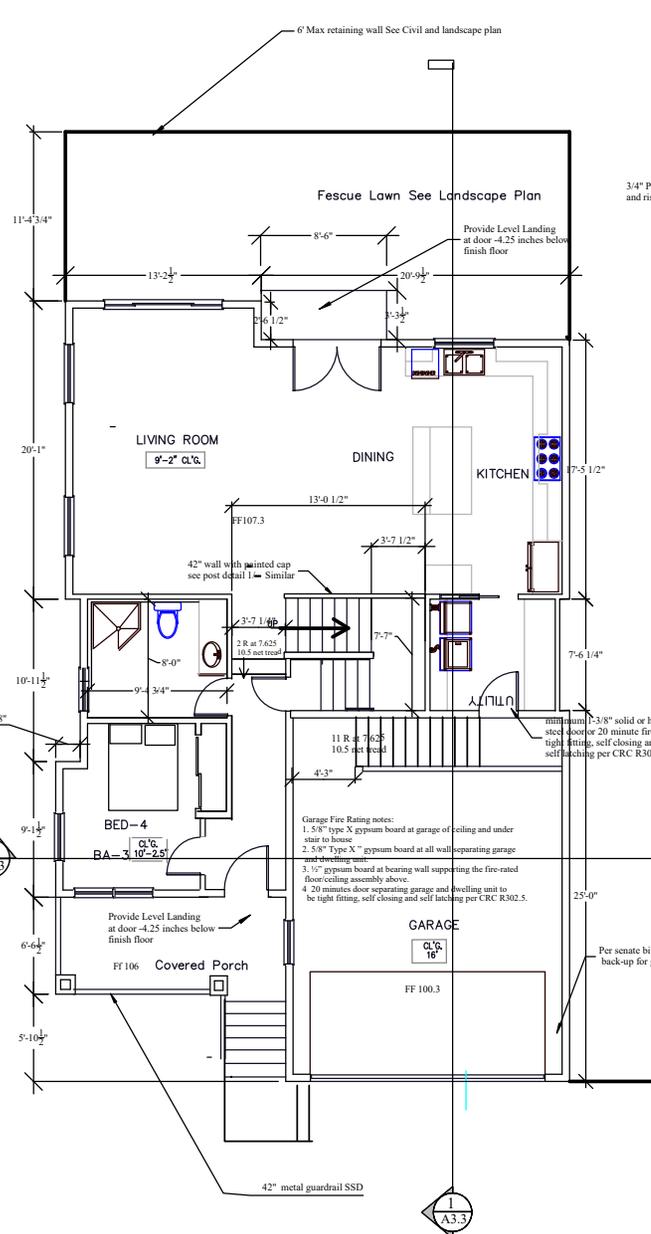
Project Address:  
472 Myrtle Street  
APN 064-092-530

Owner:  
Brian and Maria Holt  
472 Myrtle St.  
Half Moon Bay, CA 94019  
ph 650-465-0561  
email: brianwholt@gmail.com

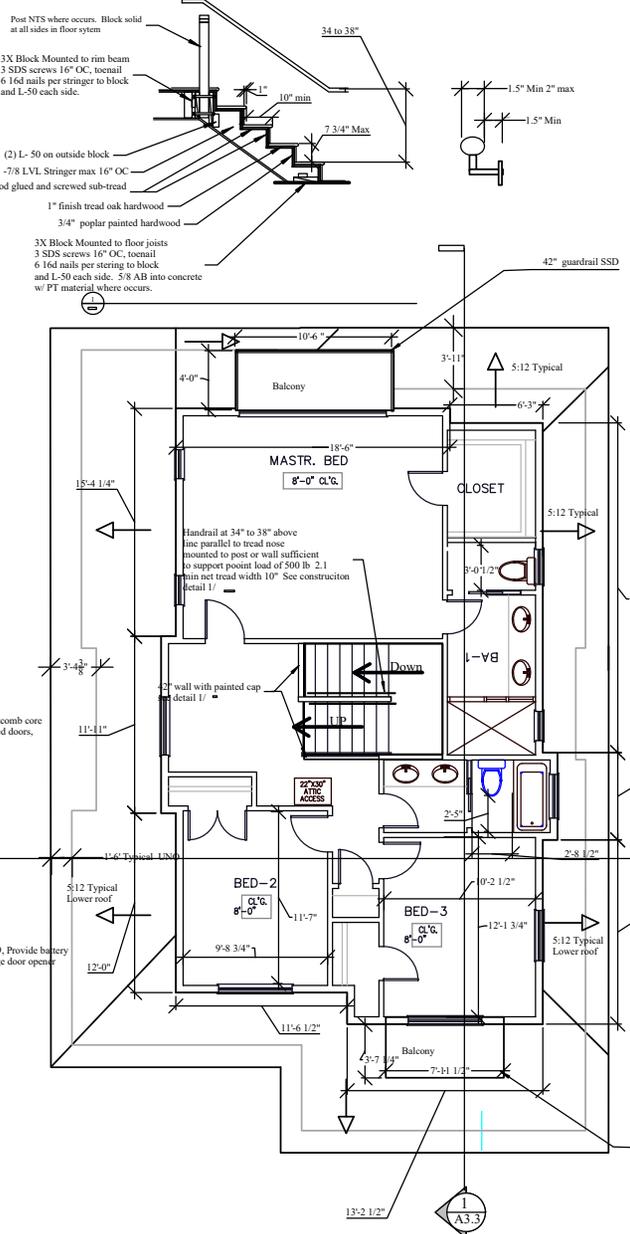
Designer: Tim Pond  
Tim Pond Design and Construction  
Phone (650) 576-7177 Timepond@gmail.com

Revisions	Date
Planning Submittal	12.1.19

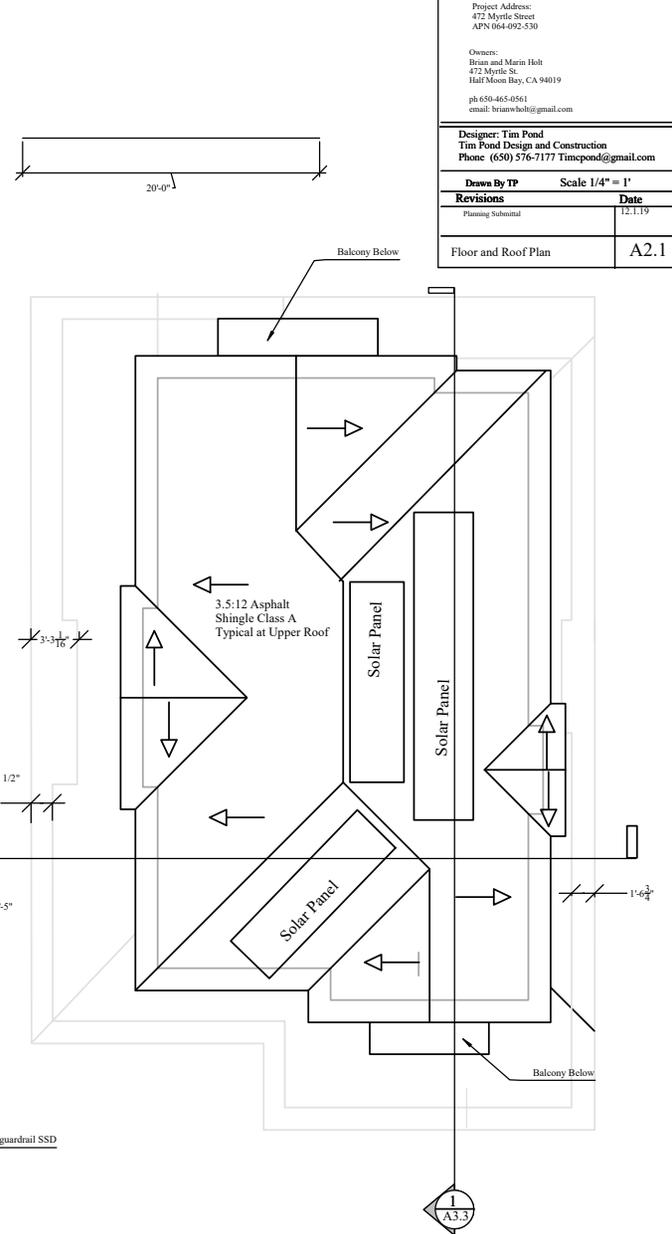
Floor and Roof Plan A2.1



1 A2.1 First Floor Plan



2 A2.1 Second Floor and Lower Roof Plan



3 A2.1 Upper Roof Plan

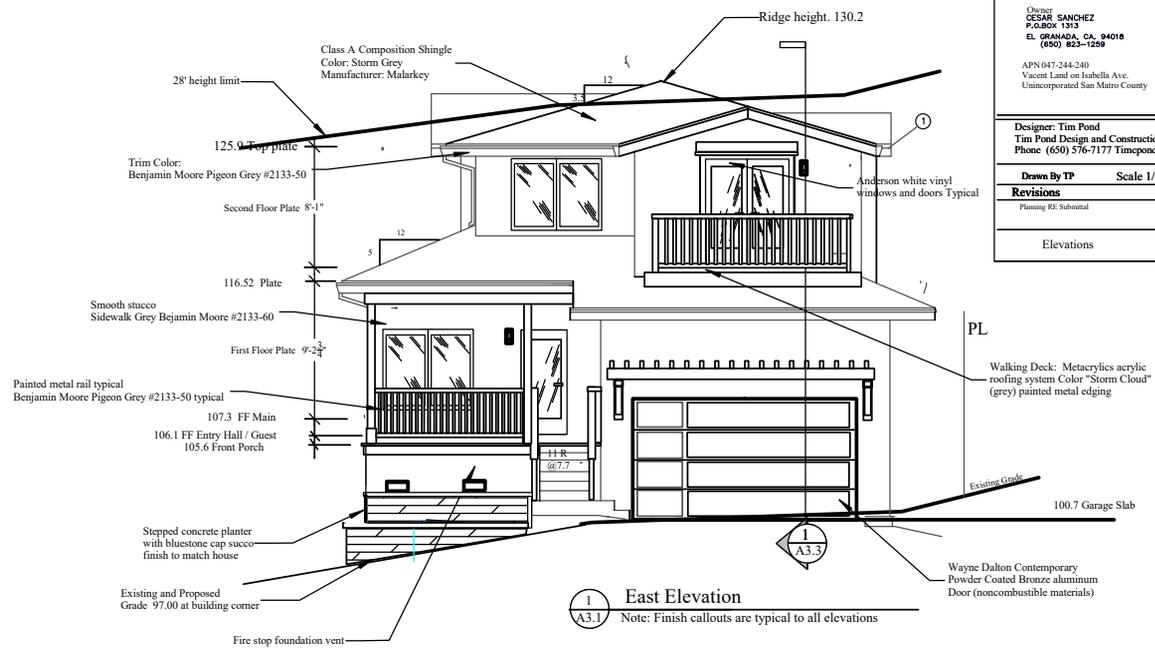
Owner:  
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**Tim Pond Design and Construction**  
 Phone (650) 576-7177 [Timpond@gmail.com](mailto:Timpond@gmail.com)

Revisions	Scale	Date
Planning RE: Submittal	1/4" = 1'	3.1.20

Elevations **A3.1**

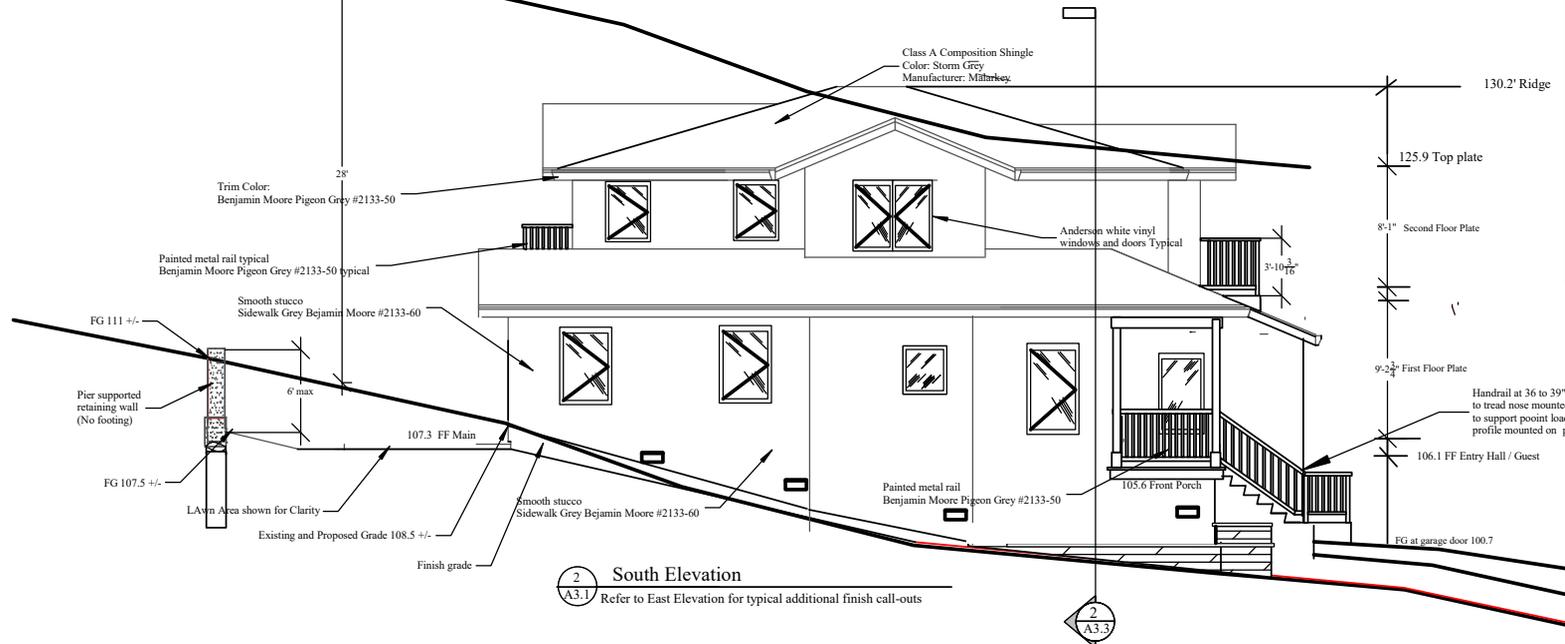


**1 East Elevation**  
 Note: Finish callouts are typical to all elevations

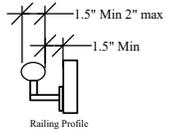
Foundation and Attic venting Calculations

Durablow MFB M2D crawl space ventilator 220 CFM behind WUI rated vent with four 62" free area vent on opposite exterior wall for cross ventilation. Crawlspace volume = 1400 CF.

Closed Cell Foam will insulate underside of roof deck. No ventilation is required



**2 South Elevation**  
 Refer to East Elevation for typical additional finish call-outs

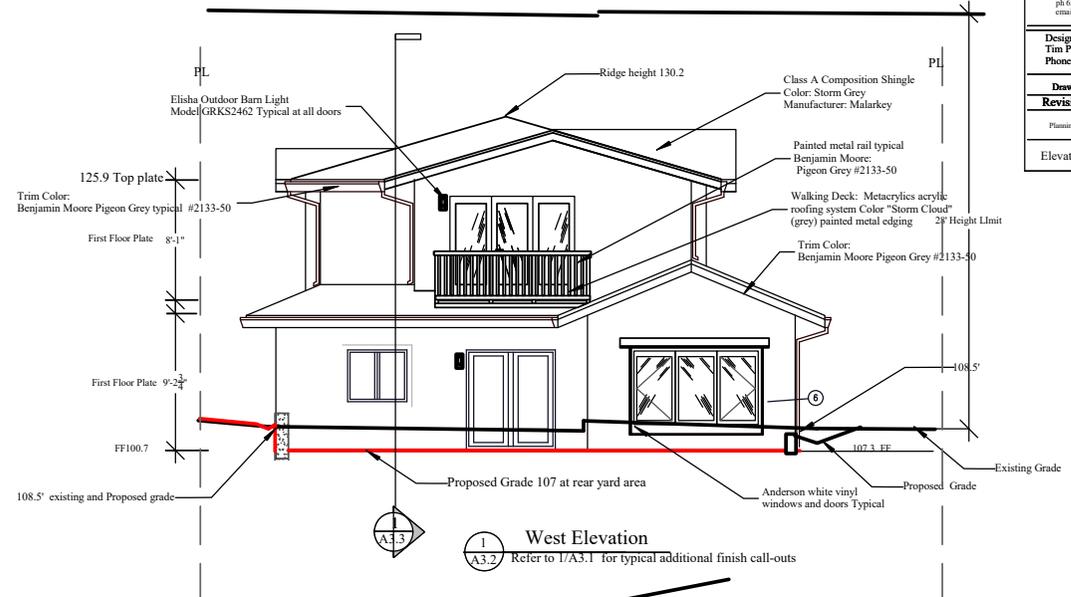


Project Address:  
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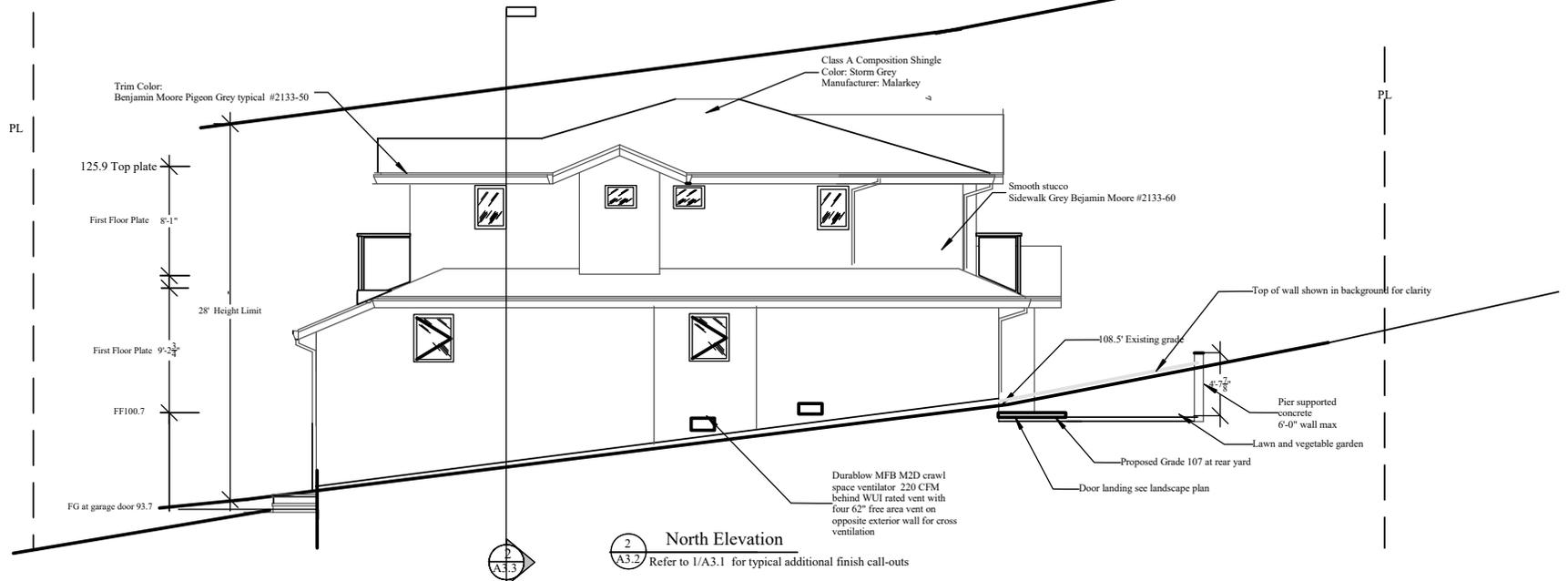
Owners:  
Brian and Marin Holt  
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Half Moon Bay, CA 94019  
ph 650-465-0561  
email: brianholt@gmail.com

Designer: Tim Pond  
Tim Pond Design and Construction  
Phone (650) 576-7177 [Timpond@gmail.com](mailto:Timpond@gmail.com)

Drawn By TP		Scale 1/4" = 1'
Revisions	Date	
Planning Resubmittal	2.19.20	
Elevations	A3.2	



1  
A3.2 West Elevation  
Refer to 1/A3.1 for typical additional finish call-outs

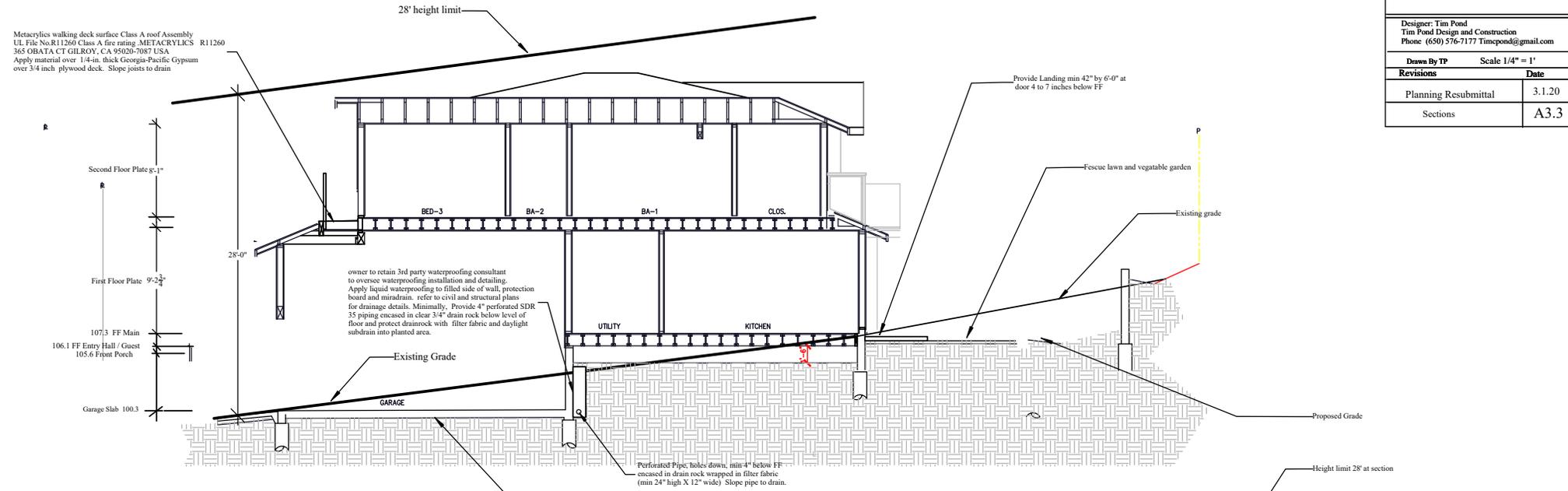


2  
A3.2 North Elevation  
Refer to 1/A3.1 for typical additional finish call-outs

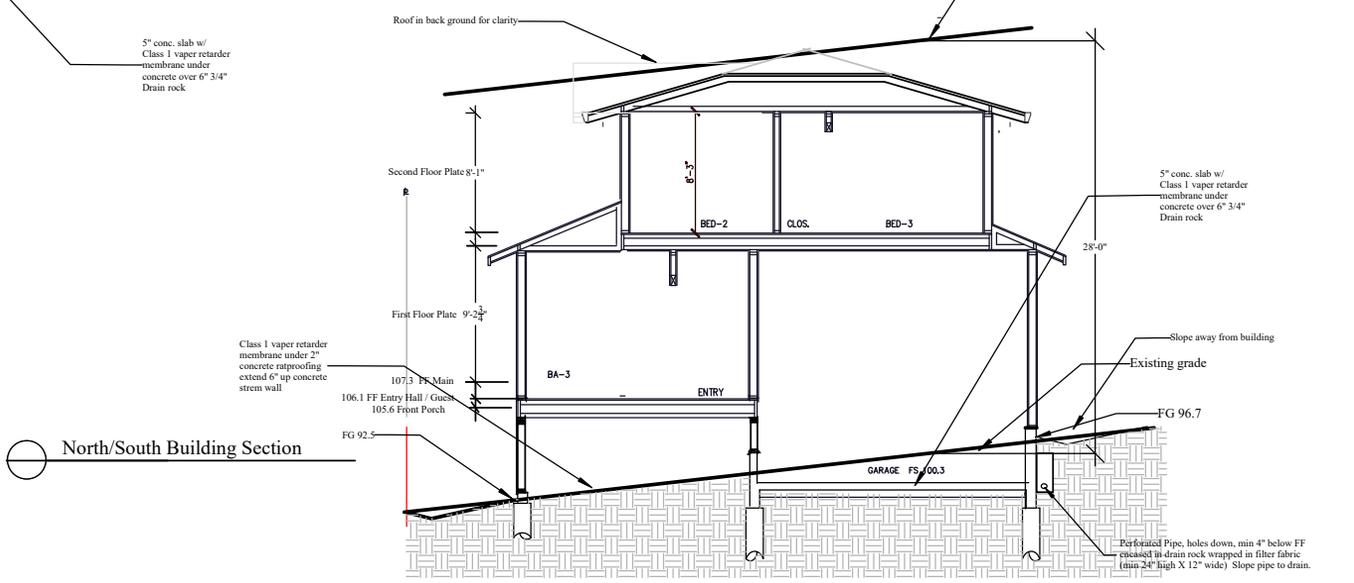
Designer: **Tim Pond**  
**Tim Pond Design and Construction**  
 Phone (650) 576-7177 [Timspond@gmail.com](mailto:Timspond@gmail.com)

Drawn By **TP** Scale **1/4" = 1'**

Revisions	Date
Planning Resubmittal	3.1.20
Sections	A3.3



**East/ West Elevation**



**North/South Building Section**

Metacrylics walking deck surface Class A roof Assembly  
 UL File No. R11260 Class A fire rating - METACRYLICS R11260  
 365 ORATA CT GILROY, CA 95020-7087 USA  
 Apply material over 1/4-in. thick Georgia-Pacific Gypsum  
 over 3/4 inch plywood deck. Slope joists to drain

Second Floor Plate 8'-1"  
 First Floor Plate 9'-2 1/2"  
 107.3 FF Main  
 106.1 FF Entry Hall / Guest  
 105.6 Frint Porch  
 Garage Slab 100.3

owner to retain 3rd party waterproofing consultant to oversee waterproofing installation and detailing. Apply liquid waterproofing to filled side of wall, protection board and miradrain. refer to civil and structural plans for drainage details. Minimally, Provide 4" perforated SDR 35 piping encased in clear 3/4" drain rock below level of floor and protect drainrock with filter fabric and daylight subdrain into planted area.

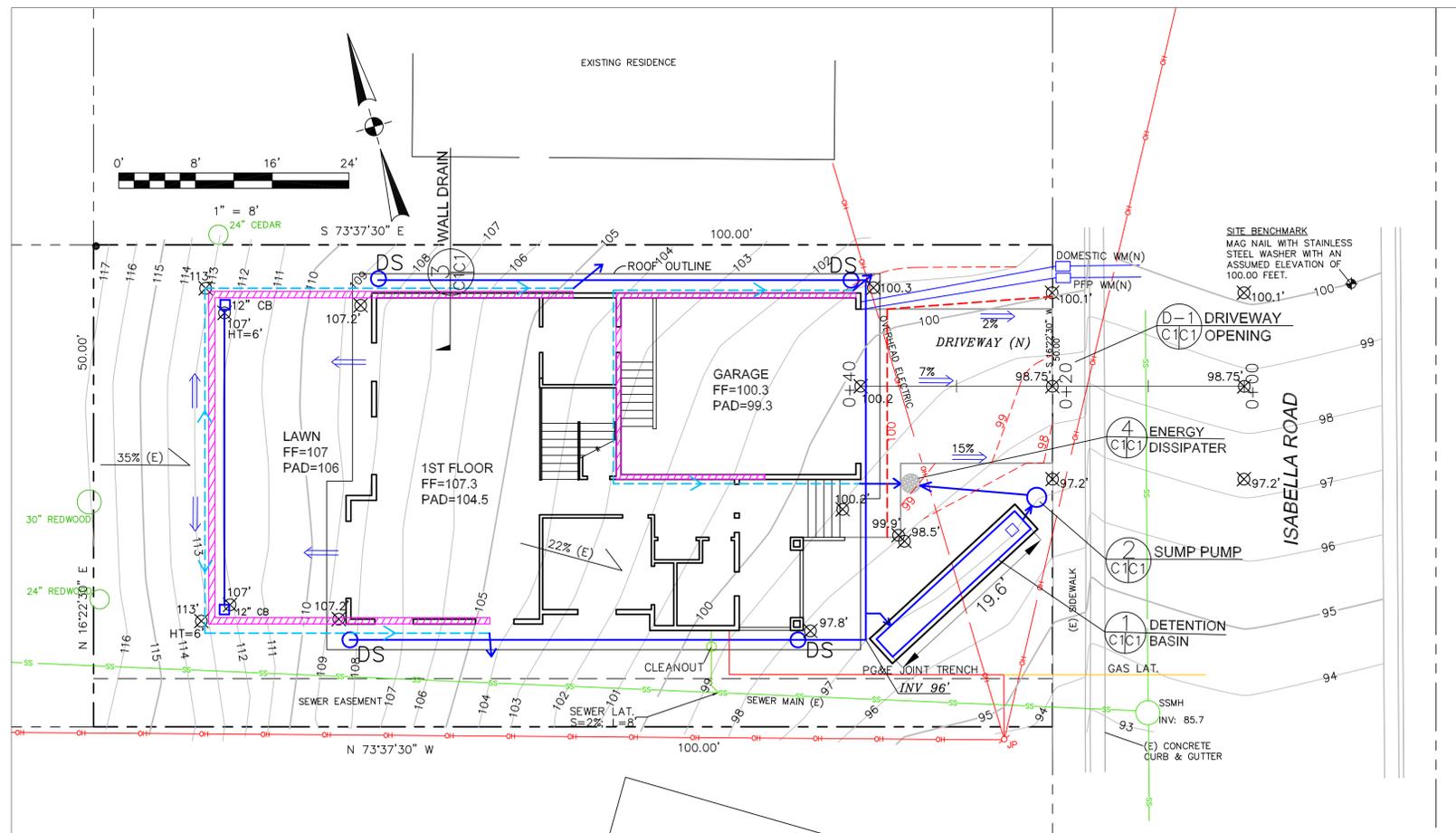
Perforated Pipe, holes down, min 4" below FF encased in drain rock wrapped in filter fabric (min 24" high X 12" wide) Slope pipe to drain.

5" conc. slab w/ Class 1 vapor retarder membrane under concrete over 6" 3/4" Drain rock

Class 1 vapor retarder membrane under 2" concrete waterproofing extend 6" up concrete stream wall

5" conc. slab w/ Class 1 vapor retarder membrane under concrete over 6" 3/4" Drain rock

Perforated Pipe, holes down, min 4" below FF encased in drain rock wrapped in filter fabric (min 24" high X 12" wide) Slope pipe to drain.



**LEGEND**

- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- PROPOSED CONTOUR
- X 154.96 SPOT ELEVATION (E)
- X 155.9' SPOT ELEVATION (N)
- SURFACE DRAINAGE FLOW
- DS DOWNSPOUT
- 12" CB 12" CATCH BASIN
- 3" DIAM. PVC DRAIN PIPE
- 3" PERFORATED PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE.
- PROPOSED RETAINING WALL

**GENERAL NOTES**

1. PLANS PREPARED AT REQUEST OF: CESAR SANCHEZ
2. ELEVATION DATUM: ASSUMED
3. CONTOUR INTERVAL IS 1 FOOT.
4. SITE SURVEYED BY BGT LAND SURVEYING; 1-20-17.
5. THIS IS NOT A BOUNDARY SURVEY.

**DRAINAGE NOTES**

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
2. ALL ROOF DRAIN LINES SHALL LEAD TO FLOW-THROUGH FILTER, AS SHOWN.
3. ALL DRAINAGE PIPES SHALL BE 3" MIN. DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE FLOW-THROUGH FILTER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

**GRADING NOTES**

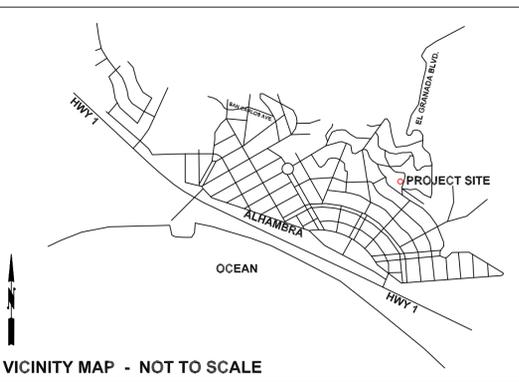
- CUT VOLUME : 160 CY  
 FILL VOLUME : 0 CY  
 TOTAL CUT/FILL = 160 CY
- ABOVE VOLUMES ARE APPROXIMATE
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- CUT SLOPES SHALL BE NO STEEPER THAN 2:1 (H:V).

**TRAFFIC CONTROL NOTES**

1. CONTRACTOR AND WORKERS SHALL PARK ALONG ISABELLA ROAD.
2. THE ROAD SHALL NOT BE BLOCKED.

**SEWER NOTES**

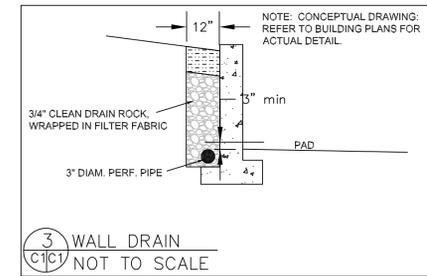
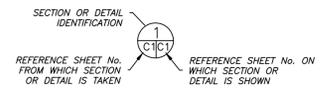
1. THERE IS AN EXISTING SEWER MAIN AND EASEMENT THROUGH THE PROPERTY, AS SHOWN. ITS LOCATION SHALL BE VERIFIED PER THE REQUIREMENTS OF THE GRANADA SANITARY DISTRICT.



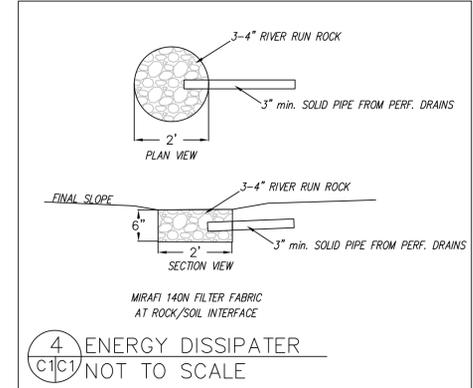
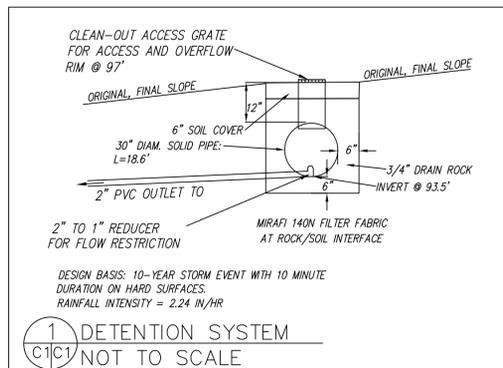
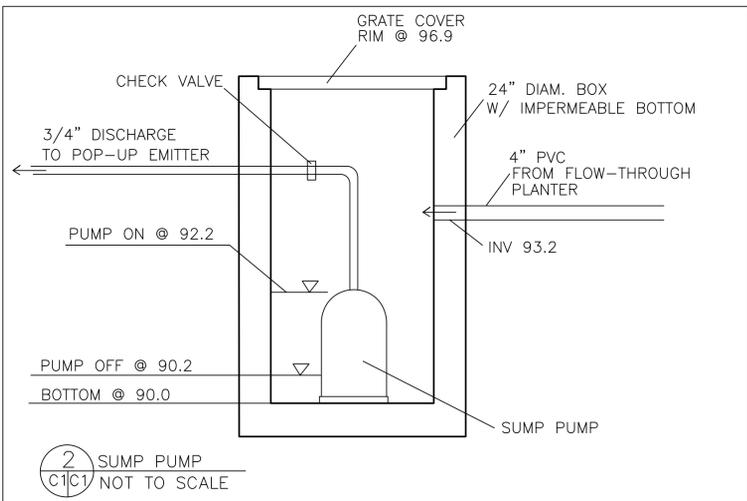
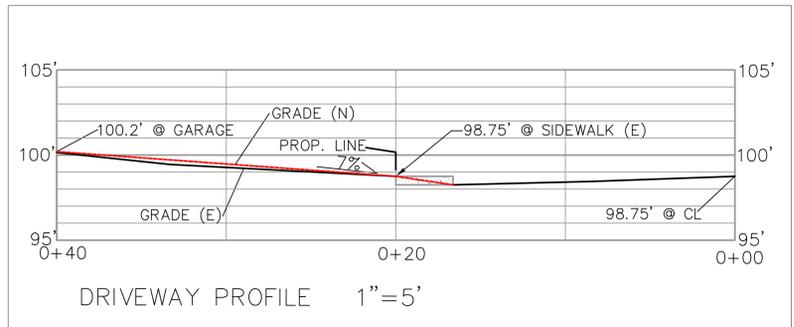
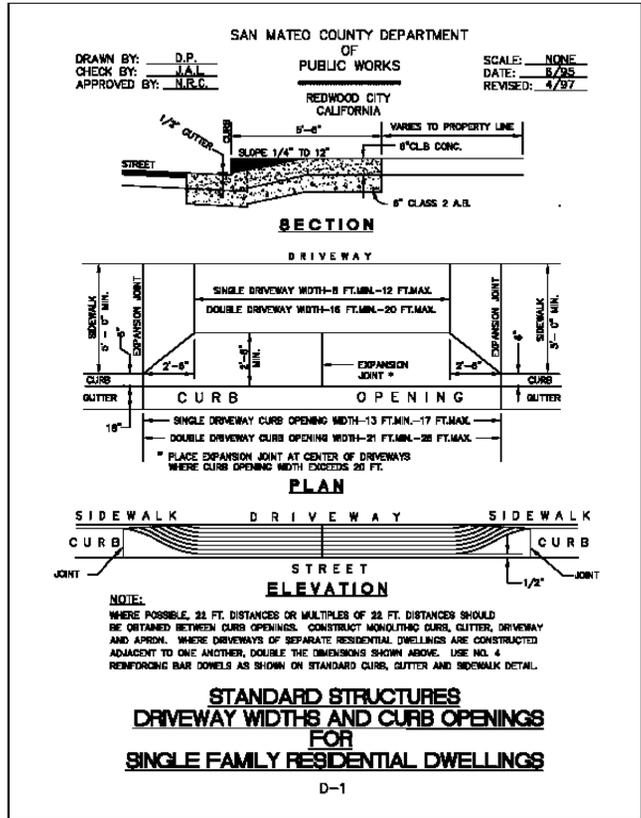
**CONSTRUCTION SCHEDULE**

- DAY 1: INSTALL FIBER ROLLS.
- DAY 2: COMMENCE WORK WITH SITE CLEARING.
- DAY 3: INSTALL ROCKED CONSTRUCTION ENTRANCE
- WEEK 2: FINISH ROUGH GRADING
- WEEK 3: BEGIN FOUNDATIONS
- WEEK 5: POUR CONCRETE FOR FOOTINGS
- WEEK 6: BEGIN FRAMING
- MONTH 3: FINISH SHELL
- MONTH 5: FINISH MOST OF INTERIOR
- MONTH 7: FINISH PROJECT

**SECTION AND DETAIL CONVENTION**



3 WALL DRAIN NOT TO SCALE



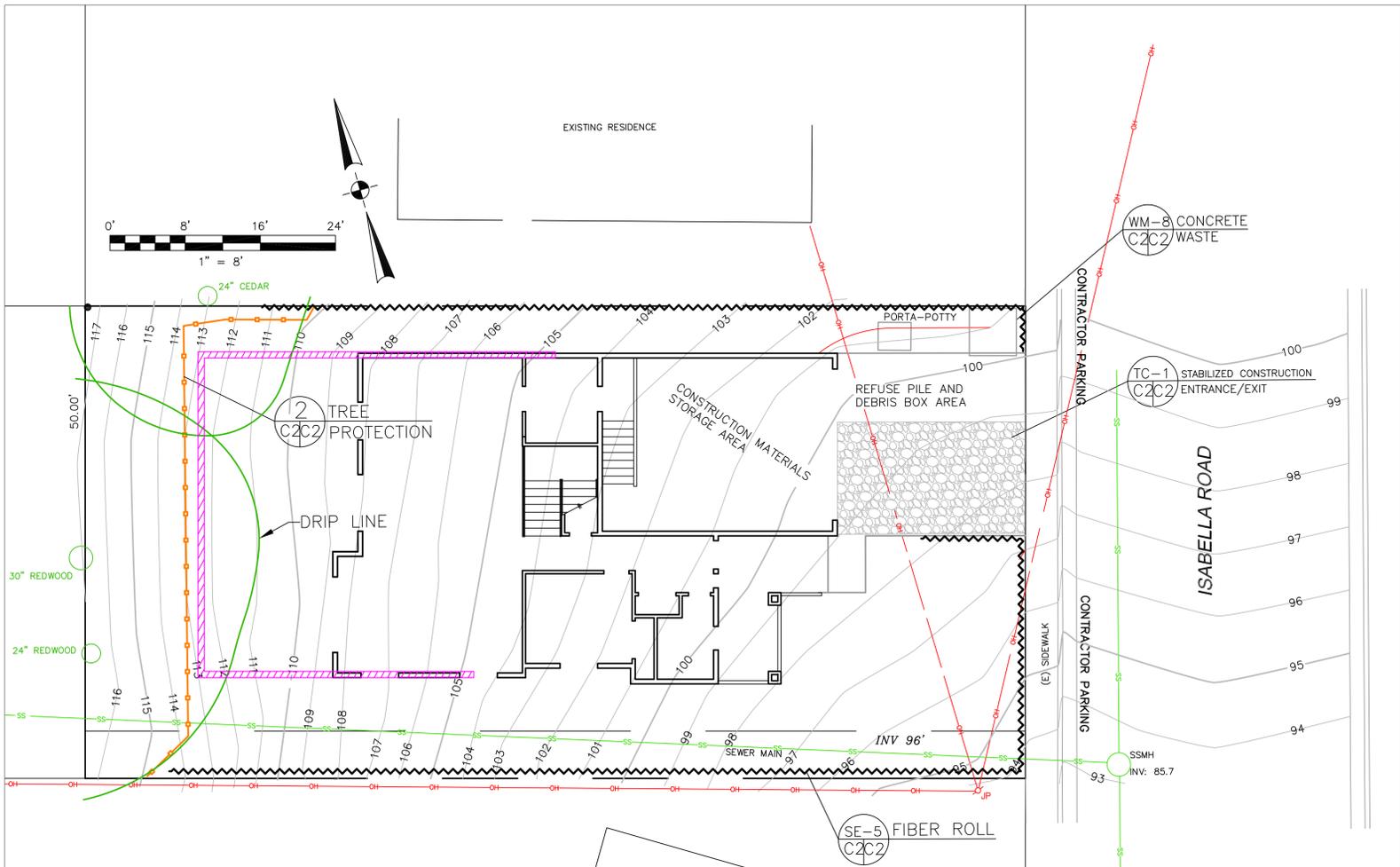
**GRADING AND DRAINAGE PLAN**

SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590 FAX 728-3593

DATE: 4-15-19  
 DRAWN BY: CMK  
 CHECKED BY: AZG  
 REV. DATE: \_\_\_\_\_  
 REV. DATE: \_\_\_\_\_  
 REV. DATE: \_\_\_\_\_

ISABELLA ROAD,  
 EL GRANADA  
 APN 047-244-240

SHEET  
 C-1



**EROSION CONTROL POINT OF CONTACT**

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

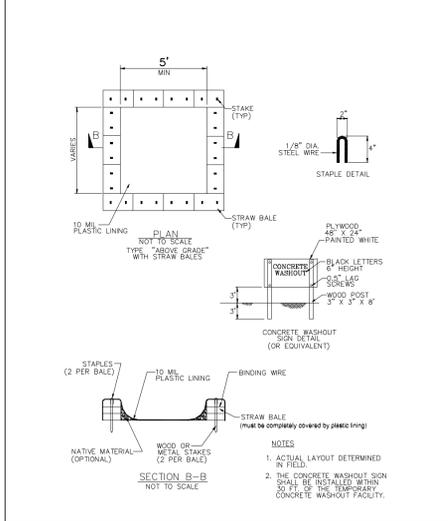
NAME: CESAR SANCHEZ  
 TITLE/QUALIFICATION: OWNER  
 PHONE: 650-823-1299  
 PHONE:  
 E-MAIL: CESARSANCHEZ@GMAIL.COM

- USE OF PLASTIC SHEETING BETWEEN OCTOBER 1st AND APRIL 30th IS NOT ACCEPTABLE UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
- THE TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING, OR GRUBBING IS STARTED.

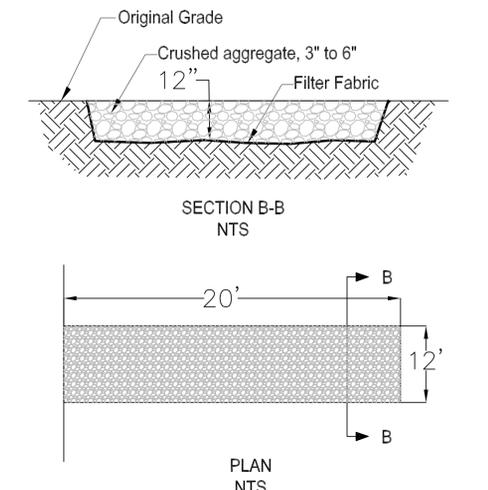
**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site

**CONCRETE WASTE MANAGEMENT WM-8**

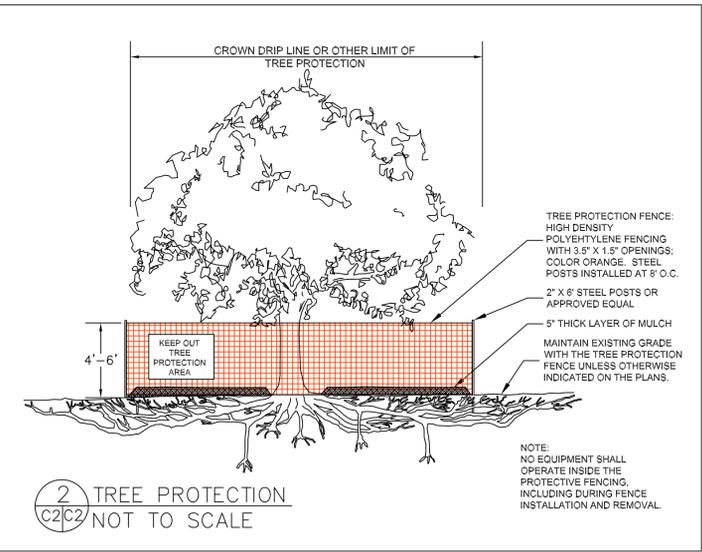


**STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1**



**TREE PROTECTION NOTES**

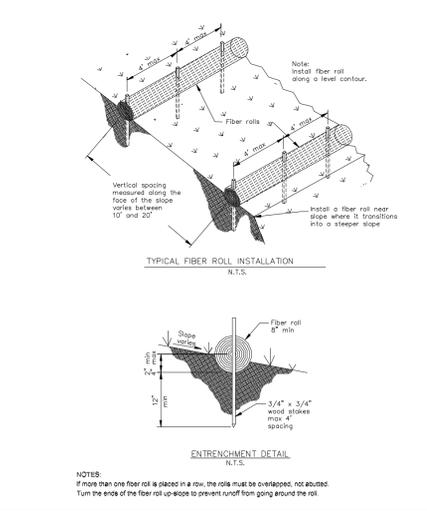
1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



**EROSION CONTROL NOTES**

- FIBER ROLL INSTALL AT LOCATIONS SHOWN. AFIX AS SHOWN IN DETAIL SE-5
- 1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
- 2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
- 3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
- 4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
- 5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
- 6. ROCKED CONSTRUCTION ENTRANCE SHALL BE 20 FEET LONG BY 12 FEET WIDE AND CONFORM TO THE FOLLOWING:
  - A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE.
  - B. PAD SHALL BE NOT LESS THAN 12" THICK.
  - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
  - D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
- 7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)

**FIBER ROLLS SE-5**

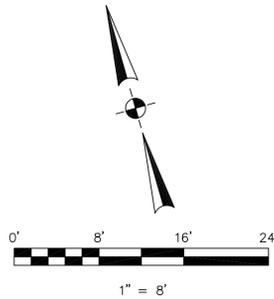


Sigma Prime Geosciences, Inc.  
 SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 FAX 728-3593

DATE: 4-15-19  
 DRAWN BY: CMK  
 CHECKED BY: AZG  
 REV. DATE:  
 REV. DATE:  
 REV. DATE:

EROSION CONTROL PLAN  
 ISABELLA ROAD,  
 EL GRANADA  
 APN 047-244-240

SHEET  
 C-2



**BASIS OF BEARINGS**

THE BEARING, NORTH 16°22'30" EAST, OF THE MONUMENTED CENTERLINE OF ISABELLA ROAD, AS SHOWN ON THAT CERTAIN RECORD OF SURVEY BY THE COUNTY OF SAN MATEO WHICH WAS FILED FOR RECORD IN VOLUME 6 OF LLS MAPS PAGES 85-90, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**BENCHMARK**

ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM. SITE BENCHMARK IS THE MAG NAIL WITH STAINLESS STEEL WASHER WITH AN ASSUMED ELEVATION OF 100.00 FEET.

**NOTES:**

BGT RELIED UPON A NORTH AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 1481202, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT. REPORT HAS INCORRECT LEGAL DESCRIPTION FOR THE SEWER EASEMENT AS SHOWN.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

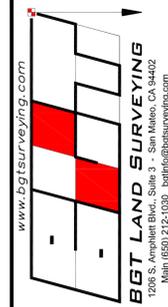
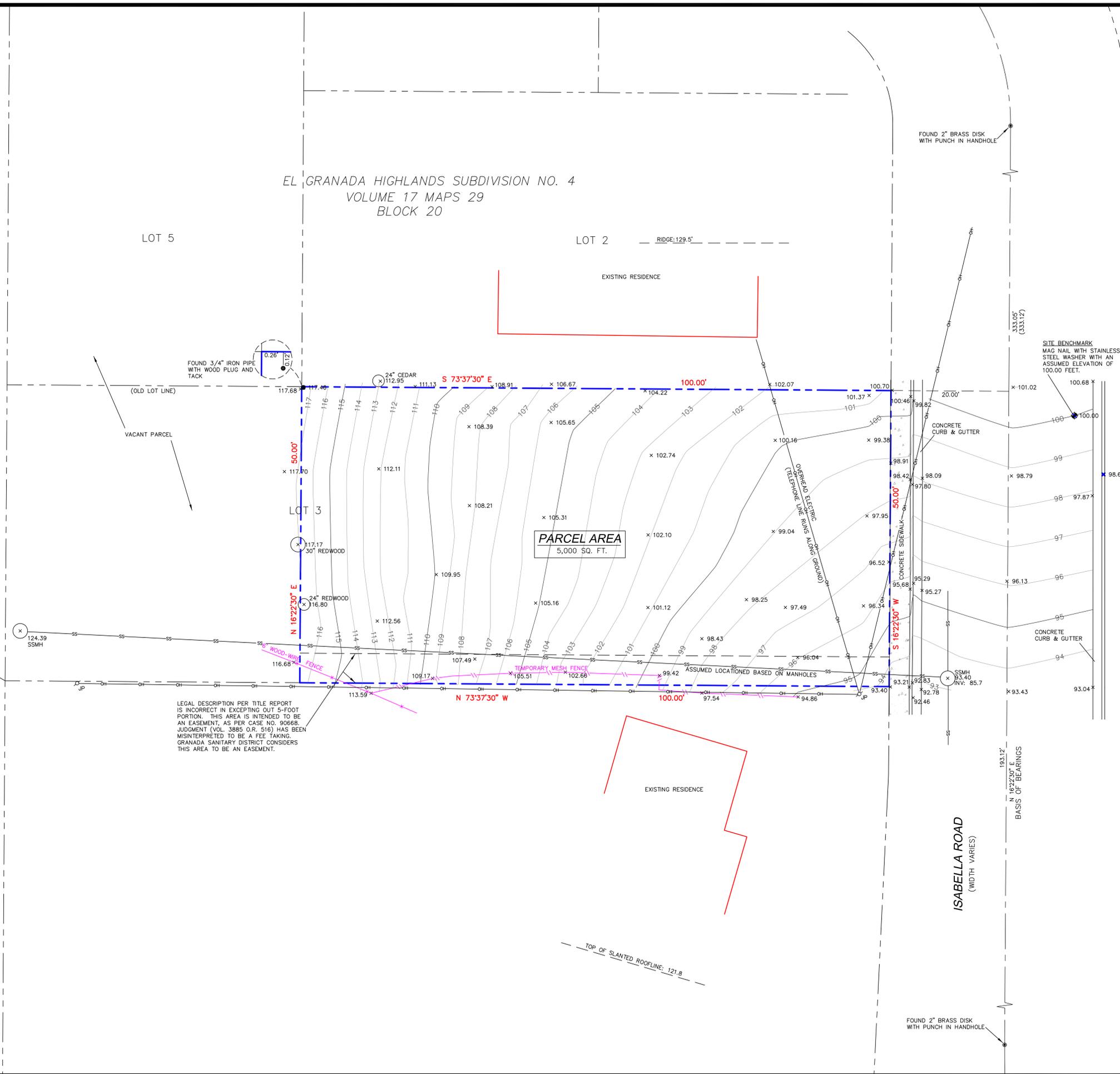
TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING  
www.bgtssurveying.com

DATE OF FIELD SURVEY: JANUARY 20, 2017  
JOB NUMBER: 17-014

**LEGEND**

- AC ASPHALT CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- C/L CENTERLINE
- CMP CORRUGATED METAL PIPE
- CI CAST IRON PIPE
- CO CLEAN OUT BOX
- CP SURVEY CONTROL POINT
- CPP CORRUGATED PLASTIC PIPE
- CTV CABLE TELEVISION LINE
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VAULT
- FF FINISHED FLOOR
- FL FLOWLINE
- FH FIRE HYDRANT
- GM GAS METER
- GRD GROUND
- GUY GUY ANCHOR
- GV GAS VALVE
- HCR HANDICAP RAMP
- HVE HIGH-VOLT ELECTRIC
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- KV KILOVOLT
- LAT LATERAL
- LS LIP OF GUTTER
- MH MH (TYPE UNKNOWN)
- MON-MON MONUMENT TO MONUMENT DISTANCE
- PBV PACBELL/SBC VAULT
- PGE PG&E VAULT
- PIV POST INDICATOR VALVE
- PP POWER POLE
- SDMH STORM DRAIN MANHOLE
- SL STREET LIGHT
- SLB STREET LIGHT BOX
- SLV STREET LIGHT VAULT
- SSMH SANITARY SEWER MANHOLE
- SSV SANITARY SEWER VAULT
- TBC TOP BACK OF CURB
- TBM TEMPORARY BENCHMARK
- TS TRAFFIC SIGNAL
- TSB TRAFFIC SIGNAL BOX
- UNK UNKNOWN TYPE
- VCP VITRIFIED CLAY PIPE
- WBF WATER BACK FLOW VALVE
- WM WATER METER BOX
- WV WATER VALVE
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- T- TELEPHONE LINE
- W- WATER LINE



**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 PORTION OF LOT 3, BLOCK 20, EL GRANADA HIGHLANDS SUBDIVISION NO. 4 (VOLUME 17 MAPS 29)  
**VACANT, ISABELLA ROAD**  
 EL GRANADA, SAN MATEO COUNTY, CALIFORNIA

Assessor Parcel Number:  
 047-244-240  
 Prepared For:  
 CESAR SANCHEZ  
 Date: FEB. 2017  
 Scale: 1" = 8'  
 Contour Interval: 1'  
 Drawn by: LHL  
 Revisions:

**SU-1**  
 Job No. 17-014



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## Elisha Outdoor Barn Light

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**\$101.99**

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Fredela 'X' Shape Frame 3-Light Flush Mount by Mercer41  
**\$131.99**

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Panacea 1-Light Single Schoolhouse Pendant by Beachcrest Home  
**\$102.24**

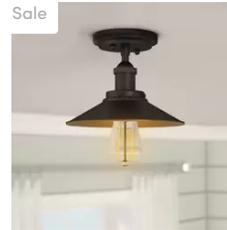
55



Elinna 3-Light Vanity Light by Beachcrest Home  
**\$182.99**

62

Sale



Morganton 1-Light Semi Flush Mount by Breakwater Bay  
**\$61.99**

69

Sale



Brummett 3-Light Vanity Light by Gracie Oaks  
**\$123.59**

178



See All 6



### Product Overview

#### At a Glance



Wet Location



Dimmable



Standard Voltage - Wired (120V)

### Description



Greet guests with a warm and welcoming glow before you even reach the front door with this bold barn light, a must-have for any modern farmhouse. Designed to live outdoors, this luminary is built strong with steel so it can resist damage from wind, rain, and sunlight. Its look is a contemporary take on a classic with an arm extending from a rectangular backplate to a single bowl-shaded light. Plus, it's available in two neutral finishes, so you can choose the one that best suits your space.

#### Product Details

- Power Source: Hardwired

- Dry, Damp or Wet Location Listed: Wet
- Fixture Material: Metal
- Shade Material: Metal
- Bulb Base: E26/Medium (Standard)
- Dimmable: Yes

Weights & Dimensions →

Specifications →

Shipping & Returns →

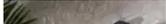
Questions & Answers 9 →

Reviews 120 →

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# Choose a Garage Door Style



## Customize

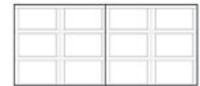
Select an option below

My Selections: Contemporary Aluminum [edit](#) Model 8800 Aluminum [edit](#)



### My Selections

#### Door Size



Double 16' x 7'

[edit](#)

#### Trim



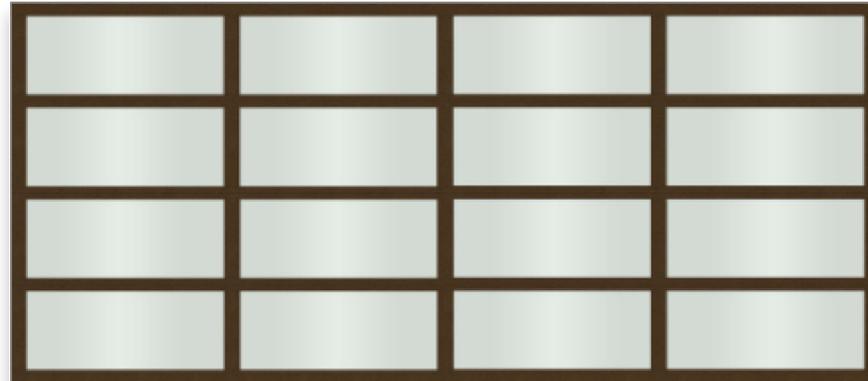
Bronze Powder Coat

[edit](#)

#### Glass



[Apply to Home Photo](#)



#### Door Size

#### Trim



Black Powder Coat



Bronze Powder Coat



Green Powder Coat



White Powder Coat



Clear Anodized



Black Anodized

#### Glass

