

PLN 2019-00158

Planning Permit Application Form

PLN:

BLD:

Applicant/Owner Information

Applicant: EDWARD C. LOVE

Mailing Address: 720 MILL ST, HALF MOON BAY, CA

Zip: 94019

Phone, W: 6507287615

H:

E-mail Address: EDWARDCLOVEARCH@GMAIL.COM

FAX:

Name of Owner (1): DAN & SANDRA GOLDSTEIN

Name of Owner (2):

Mailing Address: 2270 SIERRA VENTURA DRIVE
LOS ALTOS, CA

Mailing Address:

Zip: 94024

Zip:

Phone, W: 6503391464

Phone, W:

H:

H:

E-mail Address: RONA.G@GLOBAL.NET

E-mail Address:

Project Information

Project Location (address):

STESON ST. MOSS BEACH, CA, 94038

Assessor's Parcel Numbers: 037 — 084 — 260

Zoning: R-1/ S-17/ DR/ CD

Parcel/lot size: 5,100

SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

2379 SQ. FT SINGLE FAMILY RESIDENCE

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):

VACANT DOWNSLOPE LOT

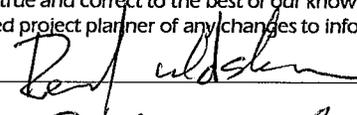
Describe Existing Structures and/or Development:

NONE

Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature:



Owner's signature:

Applicant's signature:



Application for an Architectural Review

Companion Page

Applicant's Name: **EDWARD C. LOVE**

Primary Permit #:

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for Architectural Review. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form and line-of-sight drawings or photos which demonstrate what can be seen from the scenic roadway.

2. Project Information

a. Existing structures (type, size; to be removed?):

NONE

b. Existing vegetation:

c. Number, type and size of trees to be removed:

NONE

d. Grading:

Cubic yards of cut: **85**

fill: **50**

Purpose:

EXCAVATION FOR FOUNDATION AND RETAI

e. Proposed landscaping:

SEE LANDSCAPING PLAN

f. Proposed storage tanks and screening:

NONE

3. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish	Check if Matches Existing
a. Exterior Walls	HARDIE REVEAL	SLATE GREY	<input type="checkbox"/>
b. Trim	N.A		<input type="checkbox"/>
c. Roof	PVC/ METAL-STANDING SEAM	WHITE/ GREY	<input type="checkbox"/>
d. Chimneys	N.A		<input type="checkbox"/>
e. Accessory Buildings	N.A		<input type="checkbox"/>
f. Decks/Stairs	TREX	WOOD/NATURAL	<input type="checkbox"/>
g. Retaining Walls	CONCRETE	GREY	<input type="checkbox"/>
h. Fences	EXISTING		<input type="checkbox"/>
i. Storage Tanks	N.A		<input type="checkbox"/>

Application for Design Review by the County Coastside Design Review Committee

County Government Center • 455 County Center • Redwood City CA 94063
Mail Drop PLN 122 • 650 • 363 • 4161 • FAX 650 • 363 • 4849

PLN2019-00158

Permit #: PLN _____

Other Permit #: _____

1. Basic Information

Applicant:

Name: EDWARD C. LOVE
Address: 720 MILL ST.
HALF MOON BAY, CA Zip: 94019
Phone,W: 6507287615 H:
Email: EDWARDCLOVEARCH@GMAIL.COM

Owner (if different from Applicant):

Name: DAN & SANDRA GOLDSTEIN
Address: 2270 SIERRA VENTURA DRIVE
LOS ALTOS, CA Zip:
Phone,W: 6503391464 H:
Email: RONA.G@GLOBAL.NET

Architect or Designer (if different from Applicant):

Name:
Address: Zip:
Phone,W: H: Email:

2. Project Site Information

Project location:

APN: 037-084-260
Address: STETSON ST.
MOSS BEACH, CA Zip: 94038
Zoning: R-1/ S-17/ DR/ CD
Parcel/lot size: 5100 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe):

3. Project Description

Project:

- New Single Family Residence: 2379 sq. ft
- Addition to Residence: _____ sq. ft
- Other: _____

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

2379 SQ. FT SINGLE FAMILY RESIDENCE

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish	Check if matches existing
		(If different from existing, attach sample)	
a. Exterior walls	HARDIE REVEAL	SLATE GREY	<input type="checkbox"/>
b. Trim	NONE		<input type="checkbox"/>
c. Windows	FIBERGLASS	BIEGE	<input type="checkbox"/>
d. Doors	ALUMINUM	BRUSHED	<input type="checkbox"/>
e. Roof	PVC/ METAL-STANDING SEAM	WHITE/ GREY	<input type="checkbox"/>
f. Chimneys	N.A		<input type="checkbox"/>
g. Decks & railings	TREX/ STAINLESS STEEL CABLE	NATURAL WOOD/ STEEL	<input type="checkbox"/>
h. Stairs	R.R. TIE STAIRS	NATURAL	<input type="checkbox"/>
i. Retaining walls	CONCRETE	GREY	<input type="checkbox"/>
j. Fences	EXISTING		<input type="checkbox"/>
k. Accessory buildings	N.A		<input type="checkbox"/>
l. Garage/Carport	HARDIE REVEAL	SLATE GREY	<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: *[Signature]* Applicant: *[Signature]*

Date: _____ Date: 4/16/19

Environmental Information Disclosure Form

Planning and Building Department

PLN PLN2019-00158
 BLD _____

Project Address: STETSON ST.
MOSS BEACH, CA 94038

Assessor's Parcel No.: 037 — 084 — 260

Zoning District: R-1/ S-17/ DR/ CD

Name of Owner: DAN & SANDRA GOLDSTEIN

Address: 2270 SIERRA VENTURA DRIVE
LOS ALTOS, CA 94022 Phone: 6503391464

Name of Applicant: EDWARD C. LOVE

Address: 720 MILL ST.

Phone: _____

Existing Site Conditions

Parcel size: 5100SQ. FT

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). 4 SMALL TREES AT WEST END OF SITE

4 SMALL TREES AT WEST END OF SITE

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>85</u> c.y. Fill: <u>50</u> c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

EXCAVATION FOR FOUNDATION AND RETAINING WALLS. FILL AT REAR PATIO

Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:  Date: 4/16/19
(Applicant may sign)

Goldstein Residence
APN 037-084-260

Stetson Ave
Moss Beach, CA

Design Narrative

The street-side elevation of the house is proposed with the garage at the property line, as allowed by Sec. 6411, with a plate height of 10' and a flat roof. This will allow current ocean views from the houses across Stetson and be somewhat compatible with the adjacent garages.

The Living Area is on the same level as the garage and entry bridge to facilitate anyone with disabilities. The house steps down the hillside with the bedrooms on the lower level. Existing grades have been respected, with the lower level tucked under the upper level, keeping retaining walls and slope disturbance to a minimum.

The Living Area and the deck is obviously oriented to the west and ocean views. The Lower Level opens out to a flagstone patio at grade.

The Owners have opted for a modern style, adding variety to the more traditional and contemporary houses in the immediate area. Flat roofs will ensure present ocean views from houses on the east side of Stetson.

SCOPE OF WORK:
CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE
WITH ATTACHED GARAGE

- NOTE:**
- TOTAL NON PERMABLE AREA OF (P) CONSTRUCTION EXCLUDING THE DWELLING = 358 SQUARE FEET.
 - ALL EXTERIOR LIGHTING TO BE RECESSED

	EXISTING		PROPOSED		TOTAL		ALLOWED	
	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%
LOT AREA	5100							
LOT COVERAGE	0	0.0	1779	34.9	1779	34.9	1785	35.0
FLOOR AREA	FIRST FLOOR	919	FIRST FLOOR	919				
	SECOND FLOOR GARAGE	991	SECOND FLOOR GARAGE	991				
		409		409				
Total	0	0.0	Total	2319	45.5	Total	2319	45.5
			Total			Total	2703	53.0

PLN: 2019-00158
BLD:

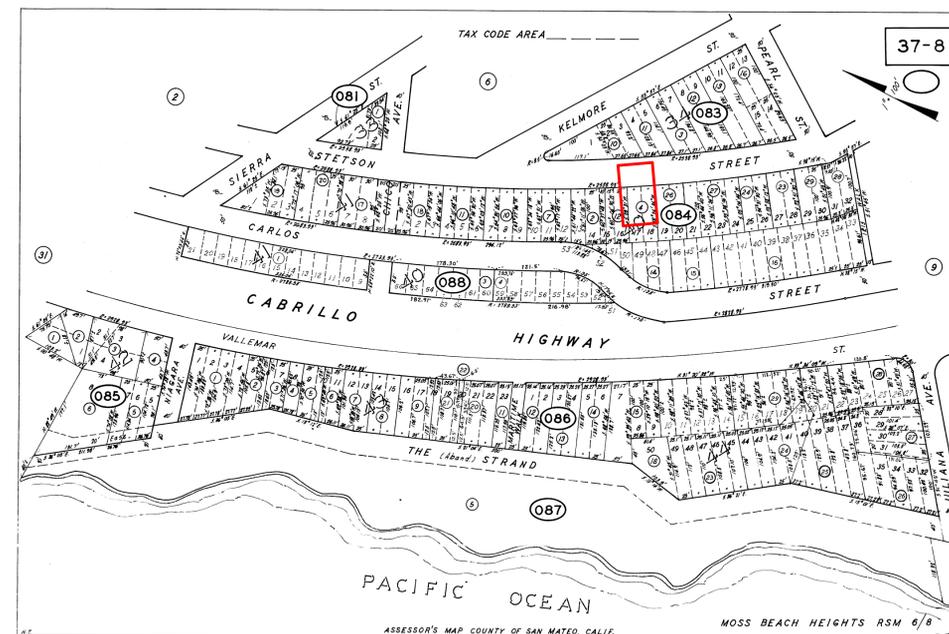
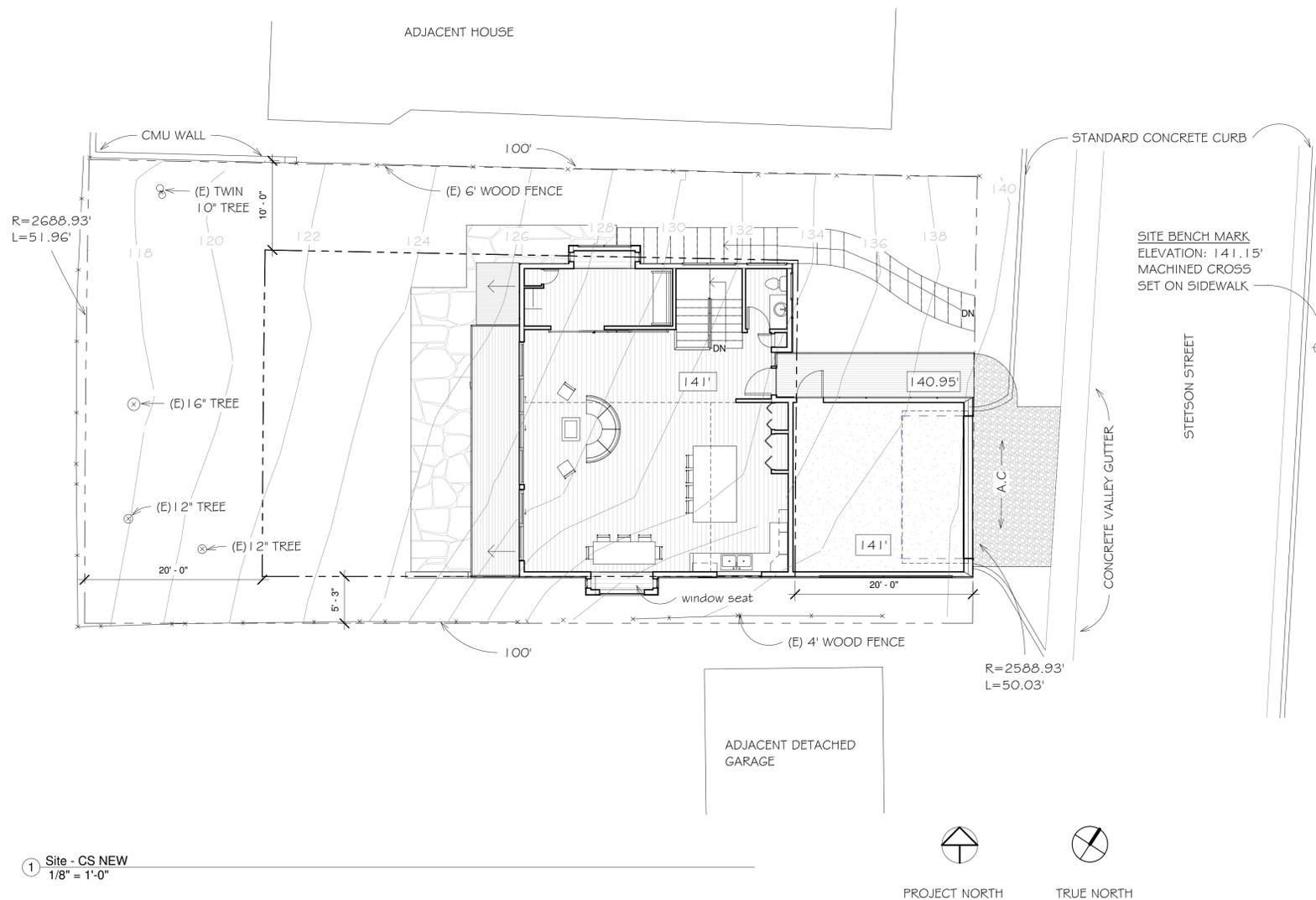
SITE DATA:

APN: 037-084-260
ZONING: R-1/S17/DR/CD
OCCUPANCY GROUP: R-3/U
TYPE OF CONSTRUCTION: V-B

APPLICABLE CODES:
SAN MATEO COUNTY

SAN MATEO COUNTY ZONING & BUILDING ORDINANCES
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
ANY APPLICABLE CITY CODES, ORDINANCES, OR AMENDMENTS TO THE CALIFORNIA BUILDING CODE

Sheet List	
Sheet Number	Sheet Name
CS	Cover Sheet
AN	General & Fire Notes
SU	Survey
SP	Site Plan
C1	Grading & Drainage
C2	Erosion Control
BMP	Best Management Practices
A101	Bedroom Level
A102	Living Room & Garage Level
A103	Roof Plan
A104	Floor Area Ratio
A201	Elevations - East & North
A202	Elevations - West & South
A301	Section Views
P5	Product Sheet
LP	Landscape Plan



REVISIONS



Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

New Residence for
Goldstein
Moss Beach, CA

Cover Sheet



DATE: 10/23/19
SCALE: 1/8" = 1'-0"
DRAWN: GMH
JOB: GOLDSTEIN
SHEET:

CS
OF SHEETS

S:\Client Projects 2018\Goldstein\rv\Goldstein.rvt

1 Site - CS NEW
1/8" = 1'-0"

GENERAL NOTES:

- A. Before submitting a proposal for this work, the bidder shall visit the site and learn the existing conditions. He shall examine the plans and specifications and base his bid on them. During construction, no changes from plans and specifications shall be made without written consent of the Architect and Owner. Structural changes must be approved by the Architect and Structural Engineer.
- B. The General Contractor (G.C.) shall obtain and pay for all permits (except those paid for by the Owner) and licenses and shall give all notices. The G.C. is required to comply with all current Codes, Ordinances, & Regulations related to this project. Any conflict between drawings, specifications and ordinances shall be immediately referred to the Architect in writing. The G.C. for this work shall be currently licensed by the State of California. The employees and Subcontractors used by the G.C. to construct and finish the work shown on the plans must all be skilled workmen under the directions of a competent foreman. The G.C. shall continuously maintain adequate protection of all work from damage and shall protect the Owner's property and adjacent property from injury, damage, or loss arising from this contract. Sales tax shall be paid by the G.C. and included in the bid.
- C. The G.C. shall, at all times, keep the premises and streets free of waste and rubbish caused by the work, and at completion, shall remove all rubbish, surplus materials and equipment and leave the work 'broom clean'. The G.C. shall verify the location of all existing underground utilities prior to excavation and shall maintain, keep in service, and protect against damage, all existing utilities and city services during construction. Any existing utilities to be abandoned shall be properly disconnected, plugged, or capped as required by code and/or sound construction practices. G.C. to provide an operation and maintenance manual will be provided to occupant or owner per Section 4.410.1.
- D. The Owner may order extra work or make changes by altering, adding to, or deducting from the work. The Contract sum shall be adjusted accordingly and adequate records shall be kept by the G.C. to substantiate any additional charges. All such work shall be executed under the conditions of the original Contract Documents.
- E. The Owner shall not be liable or responsible for any accident, loss, injury, or damages happening or accruing during the term of the performance of the work and in connection therewith, to persons and/or property. The G.C. shall have in full force and effect during the life of this Contract, full coverage Liability and Workmen's Compensation Insurance, which shall comply with California laws and will not be canceled or changed during the term of this Contract without notice being given to the Owner, and shall require all intermediate and Subcontractors to take out and maintain similar policies of insurance. All such policies shall be with insurance companies acceptable to the Owner. Unless expressly stated otherwise, the Owner will take out and carry a comprehensive insurance policy including fire, extended coverage, vandalism and malicious mischief protecting both his interest and that of the G.C.
- F. In addition to guarantees called for elsewhere in these specifications, the G.C. shall guarantee all work for a period of one (1) year after notice of completion is filed, against defective materials or faulty workmanship, that is discovered and reported within that period.
- G. In general the drawings will indicate dimensions, position, type of construction, specifications, qualities and methods. Any work indicated on the drawings, and not mentioned in the specifications, or vice versa, shall be furnished as though fully set forth in both. Work not particularly detailed, marked, or specified shall be the same as similar parts that are detailed, marked or specified. The larger the scale of the drawing, the more precedent, i.e.: 3 inches per foot scale governs 1/4 inch per foot scale. Written dimensions on these drawings shall have precedence over scaled dimensions. Written dimensions are approximate and must be verified by G.C. The G.C. shall verify, and be responsible for all existing conditions and dimensions prior to, and during, all phases of work.
- H. If any Subcontractor finds any lack of information, discrepancy, and/or omissions in these drawings, or if the Subcontractor is unclear as to the drawings' meaning and/or intent, the Subcontractor shall contact the G.C., who shall then contact the Architect at once for interpretation and/or clarification before proceeding with that portion of the work.
- I. The G.C. shall provide adequate concealed blocking and anchoring for all ceiling- and wall-mounted equipment, hardware, fixtures, and accessories.
- J. All products listed in these drawings by ICBO/NER number shall be installed per the report and manufacturer's written instructions. Product substitution for products listed shall also have an ICBO/NER-approved written evaluation report and be approved and listed by other nationally-recognized testing agencies.
- K. Exterior openable windows and doors shall be weatherstripped. All open joints, penetrations, and other openings in the building envelope shall be sealed, caulked, gasketed, and/or weatherstripped to limit, or eliminate, air leakage.
- L. See structural sheets for structural materials, dimensions and details.
- M. See attached Title 24 forms and/or calculation for project energy efficiency requirements.
- N. A capillary break shall be installed if a slab on grade foundation system is used. the use of a 4" thick bas of 1/2" or larger clean aggregate under a 6 mil vapor retarder with joint lapped not less than 6" will be provided per Section 4.505.2 and R506.2.3.
- O. Upon request, verification of compliance with the relevant Codes may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the Building Official which show substantial conformance.

FIRE PROTECTION PLAN:

1. Smoke Detectors which are hard wired: As per the California Building Code, State Fire Marshal regulations, and Coastside Fire District Ordinance 2016-01, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and recondition sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. Date of installation must be added to exterior of the smoke alarm and will be checked at final.
2. In all new additions smoke alarm/detector are to be hardwired, interconnected, or with battery back-up. Smoke alarms to be installed per manufactures instruction and NFPA 72.
3. Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor. (CFC 1030).
4. New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/2-inch stroke. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire District. This remote signage shall consist of a 6 inch by 18 inch green reflective metal sign with 3 inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE).
5. As per Coastside Fire District Ordinance 2016-01, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
6. Vegetation Management (LRA) - The Coastside Fire District Ordinance 2016-01, the 2016 California Fire Code 304.1.2 A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10' to adjacent trees when fully grown or at maturity. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5' of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.
7. Fire Access Roads - The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The City of Half Moon Bay Department of Public Works, San Mateo County Department of Public Works, the Coastside Fire District Ordinance 2016-01, and the California Fire Code shall set road standards. As per the 2016 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Coastside Fire District specifications. As per the 2016 CFC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20 foot road) and on-street parking is desired, an additional improved area shall be developed for that use.
8. As per 2016 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2016 CFC, Appendix B the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.
9. Automatic Fire Sprinkler System: (fire Sprinkler plans will require a separate permit). As per San Mateo county building standards and coastside fire district ordinance number 2016-01, the applicant is required to install an automatic fire sprinkler system throughout

REVISIONS



EDWARD C. LOVE, ARCHITECT

Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

New Residence for
Goldstein
Moss Beach, CA

General & Fire Notes



DATE: 10/23/19

SCALE: 1/4" = 1'-0"

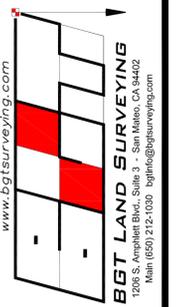
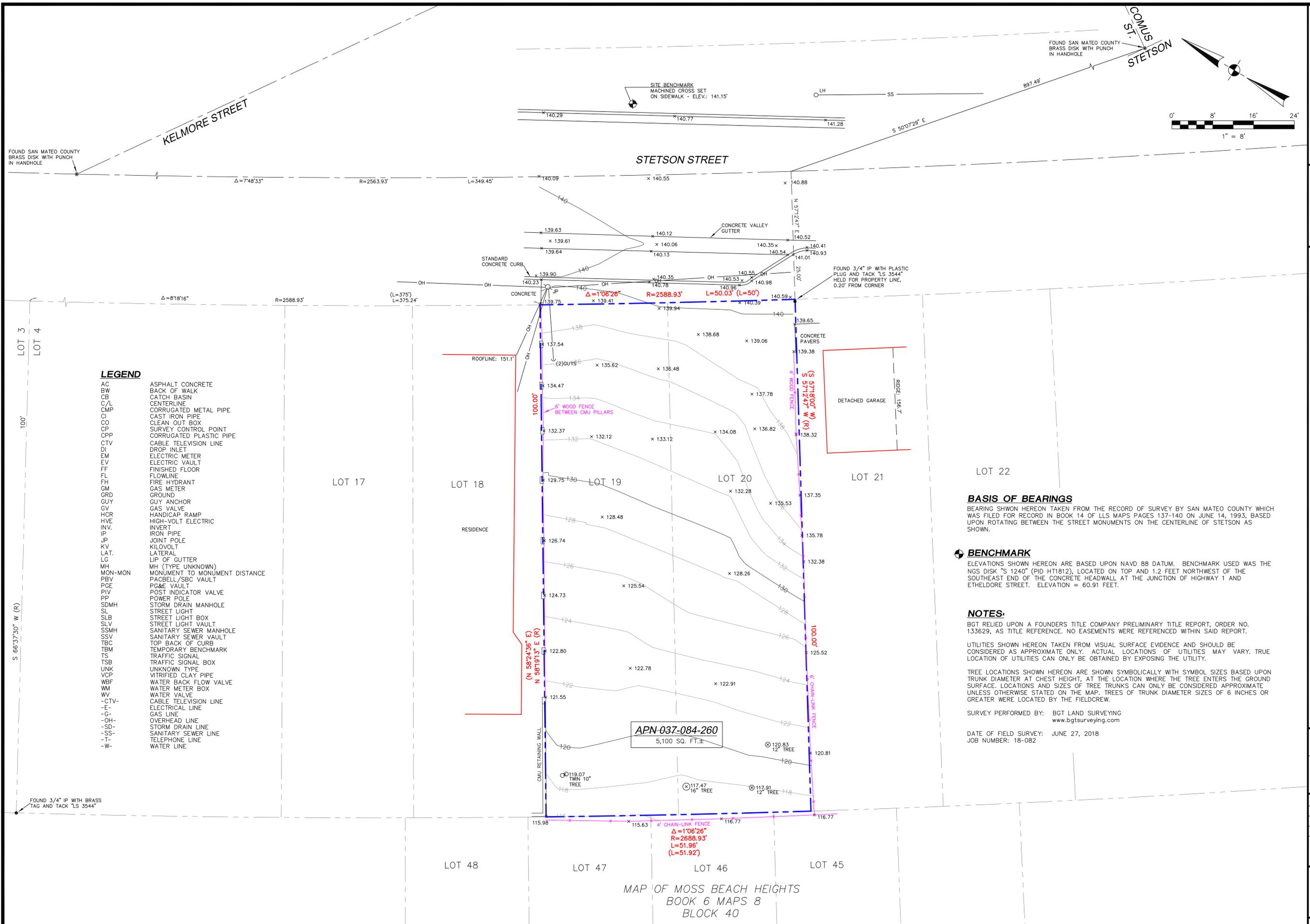
DRAWN: GMH

JOB: GOLDSTEIN

SHEET:

AN

OF SHEETS

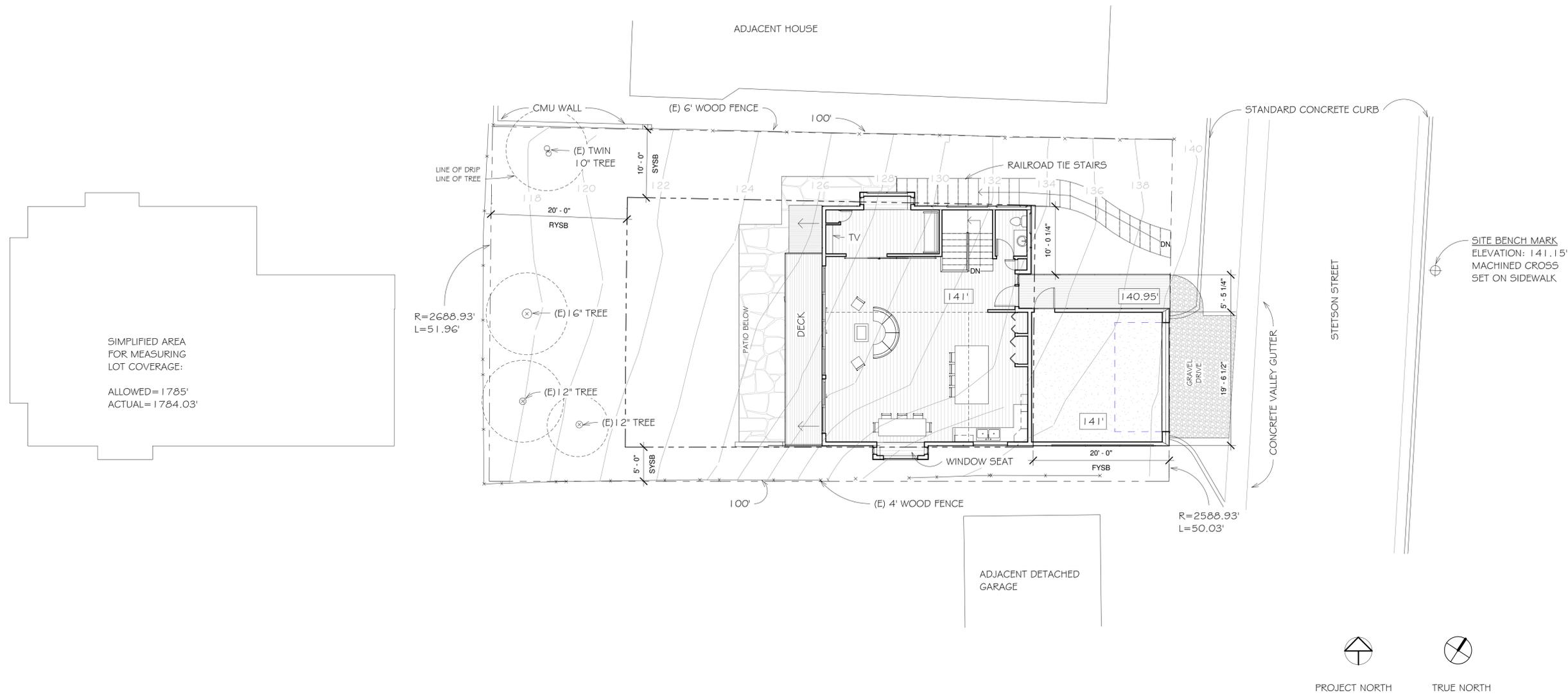


BOUNDARY AND TOPOGRAPHIC SURVEY
LOTS 19-20, BLOCK 40, "MAP OF MOSS BEACH HEIGHTS" (BOOK 6 MAPS 8)

VACANT, STETSON STREET
MOSS BEACH, SAN MATEO COUNTY, CALIFORNIA

Assessor Parcel Number:	037-084-260
Prepared For:	SANDRA GOLDSTEIN 2270 Sierra Ventura Dr. Los Altos, CA 94038
Date:	JULY, 2018
Scale:	1" = 8'
Contour Interval:	2'
Drawn by:	LHL
Revisions:	
Job No.	18-082

SU-1

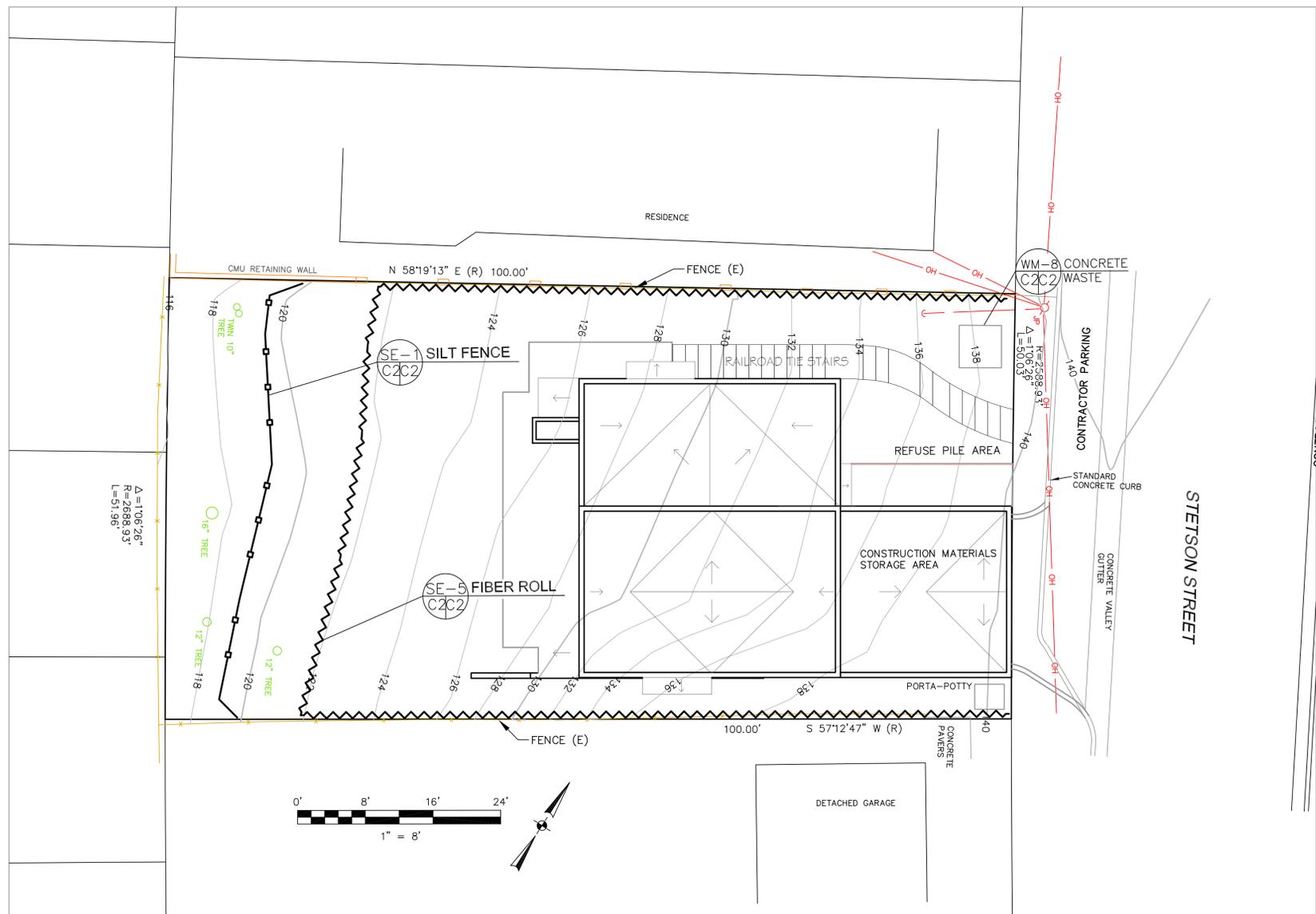


SIMPLIFIED AREA
FOR MEASURING
LOT COVERAGE:
ALLOWED=1785'
ACTUAL=1784.03'

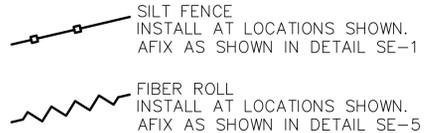
1 Site - SP
1/8" = 1'-0"

NOTE:
SITE PLAN BASED ON
SURVEY BY BGT
DATED JULY 2018

REVISIONS	
 EDWARD C. LOVE, ARCHITECT	
Edward C. Love Architect 720 MILL STREET HALF MOON BAY, CA 94019 (650) 728-7615 edwardclovearch@gmail.com	
New Residence for Goldstein Moss Beach, CA	
Site Plan	
	
DATE:	10/23/19
SCALE:	1/8" = 1'-0"
DRAWN:	GMH
JOB:	GOLDSTEIN
SHEET:	SP
OF	SHEETS



EROSION CONTROL NOTES



1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
6. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)

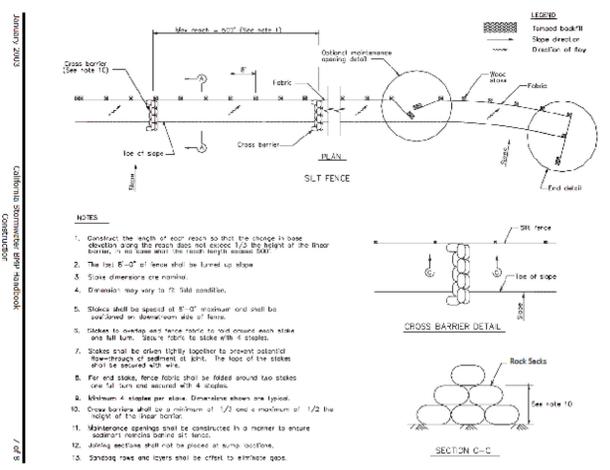
GENERAL EROSION AND SEDIMENT CONTROL NOTES

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- The tree protection shall be in place before any grading, excavating or grubbing is started.

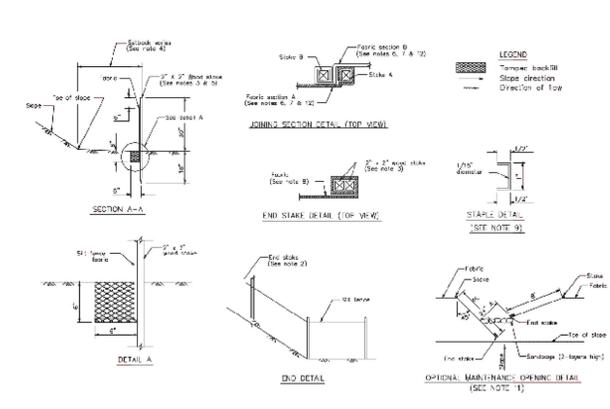
EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

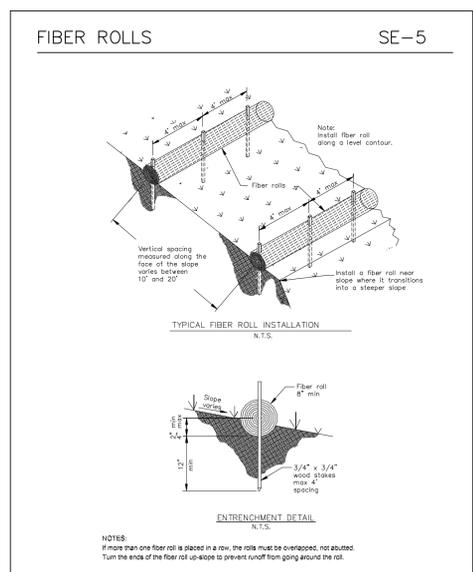
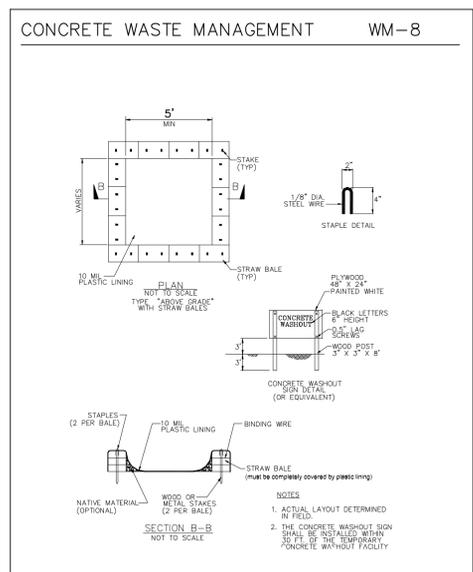
NAME: RONA GOLDSTEIN
 TITLE/QUALIFICATION: OWNER
 PHONE: 650-339-1464
 PHONE: _____
 E-MAIL: RONAG@SBCGLOBAL.NET



SE-1 Silt Fence



SE-1 Silt Fence



January 2013
 CALIFORNIA REGISTERED PROFESSIONAL ENGINEER
 No. 62264
 EXPIRES 9-30-21
 CIVIL
 STATE OF CALIFORNIA

DATE: 2-22-19	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE: 8-8-19	REV. DATE: 9-20-19	REV. DATE:
Sigma Prime Geosciences, Inc.		SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-5890 FAX 728-3893			
EROSION AND SEDIMENT CONTROL PLAN					
GOLDSTEIN PROPERTY STETSON STREET MOSS BEACH, CALIFORNIA APN: 037-084-260					



SAN MATEO COUNTYWIDE

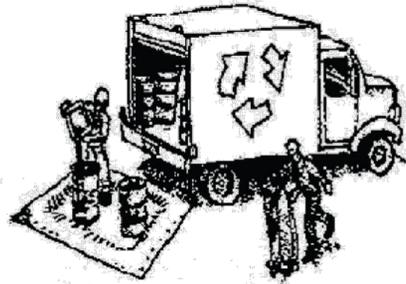
Water Pollution Prevention Program

Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



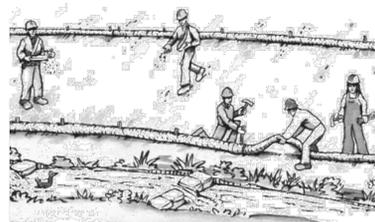
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving

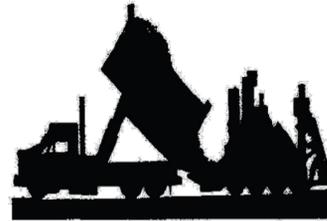


- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



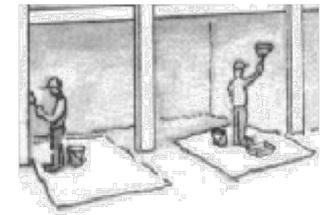
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

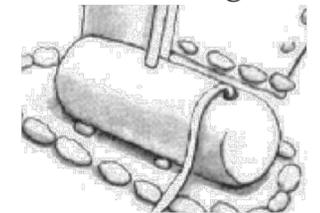
Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

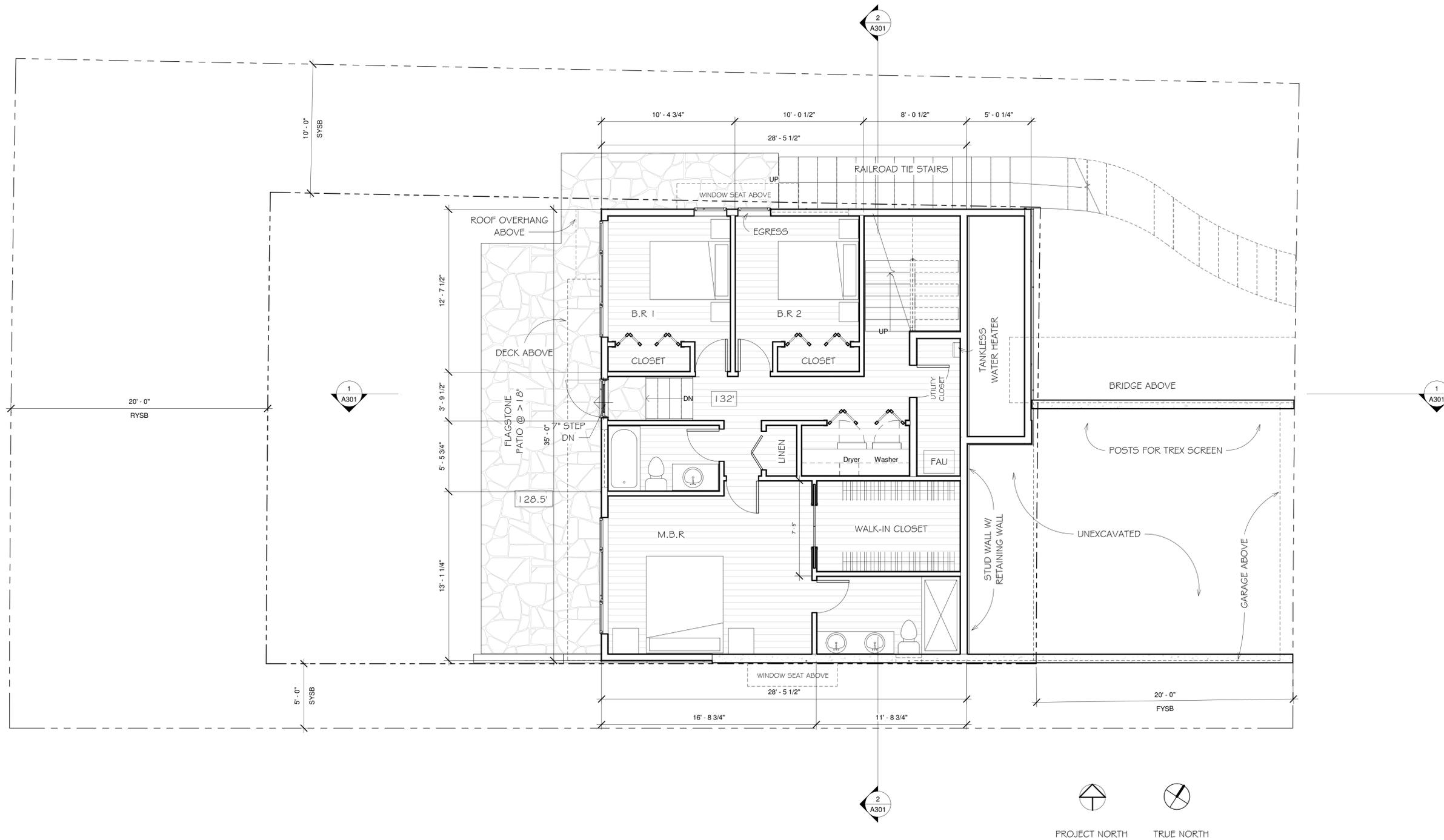
Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

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1 Level 1 - Lower Level
1/4" = 1'-0"

REVISIONS



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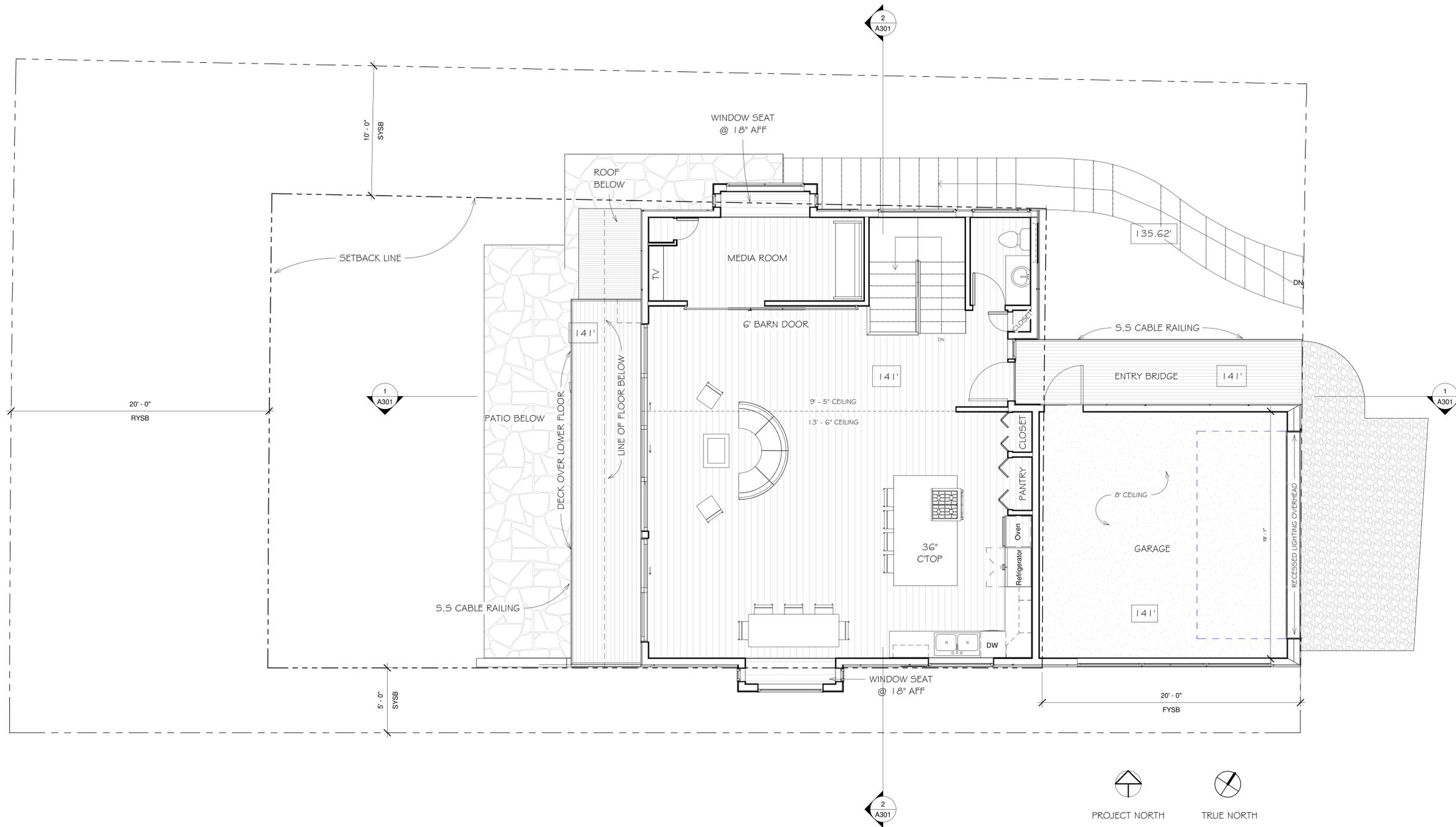
New Residence for
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Moss Beach, CA

Bedroom Level



DATE: 10/23/19
SCALE: 1/4" = 1'-0"
DRAWN: GMH
JOB: GOLDSTEIN
SHEET:
A101
OF SHEETS

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1 Level 2 - Upper Level
1/4" = 1'-0"



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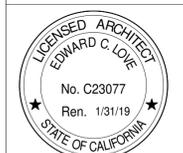


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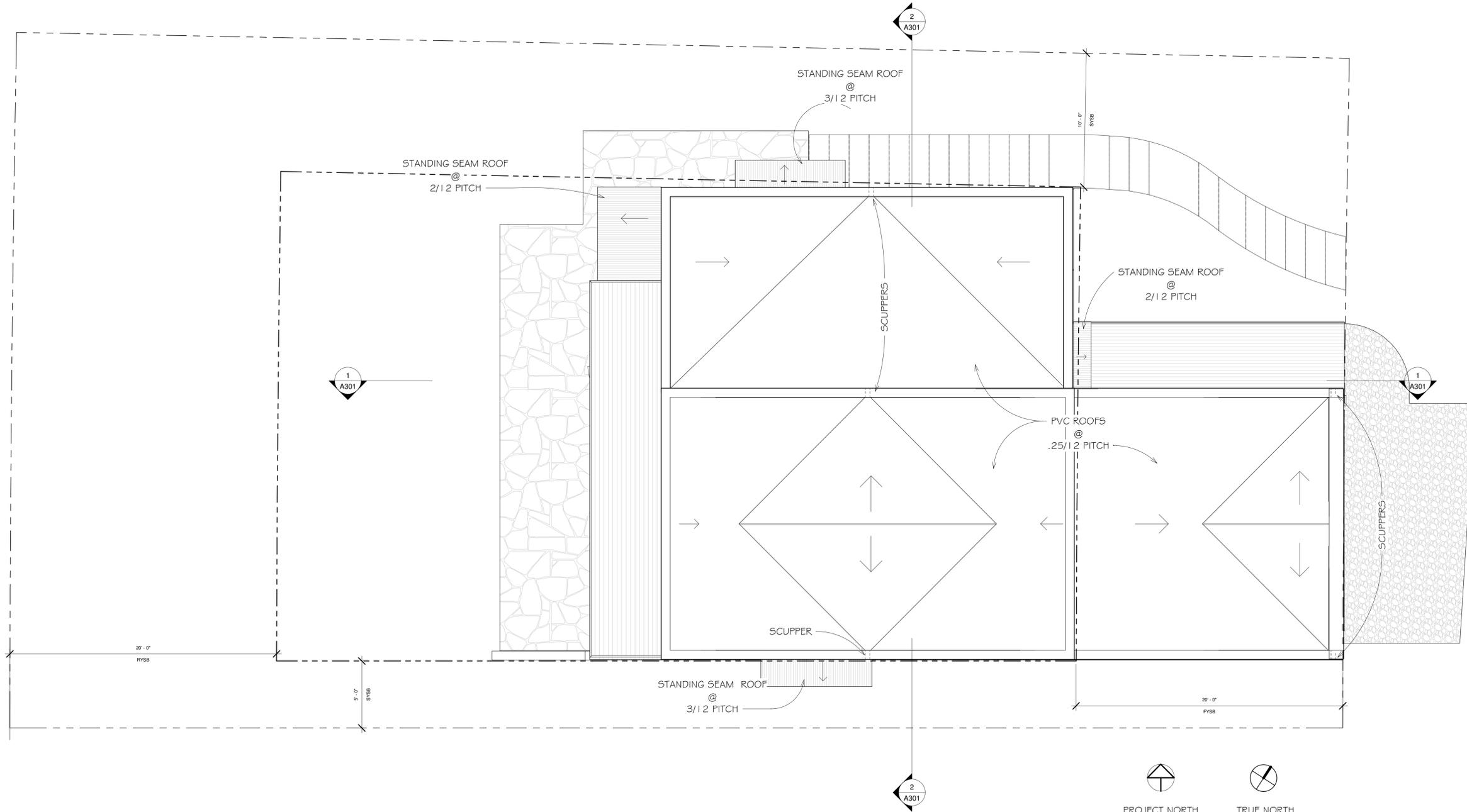
Living Room & Garage
Level



DATE: 10/23/19
SCALE: 1/4" = 1'-0"
DRAWN: GMH
JOB: GOLDSTEIN
SHEET:

A102
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1 Level 3 - Roof
1/4" = 1'-0"

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Roof Plan



DATE: 10/23/19

SCALE: 1/4" = 1'-0"

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JOB: GOLDSTEIN

SHEET:

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Floor Area Ratio



DATE: 10/23/19

SCALE: 1/4" = 1'-0"

DRAWN: GMH

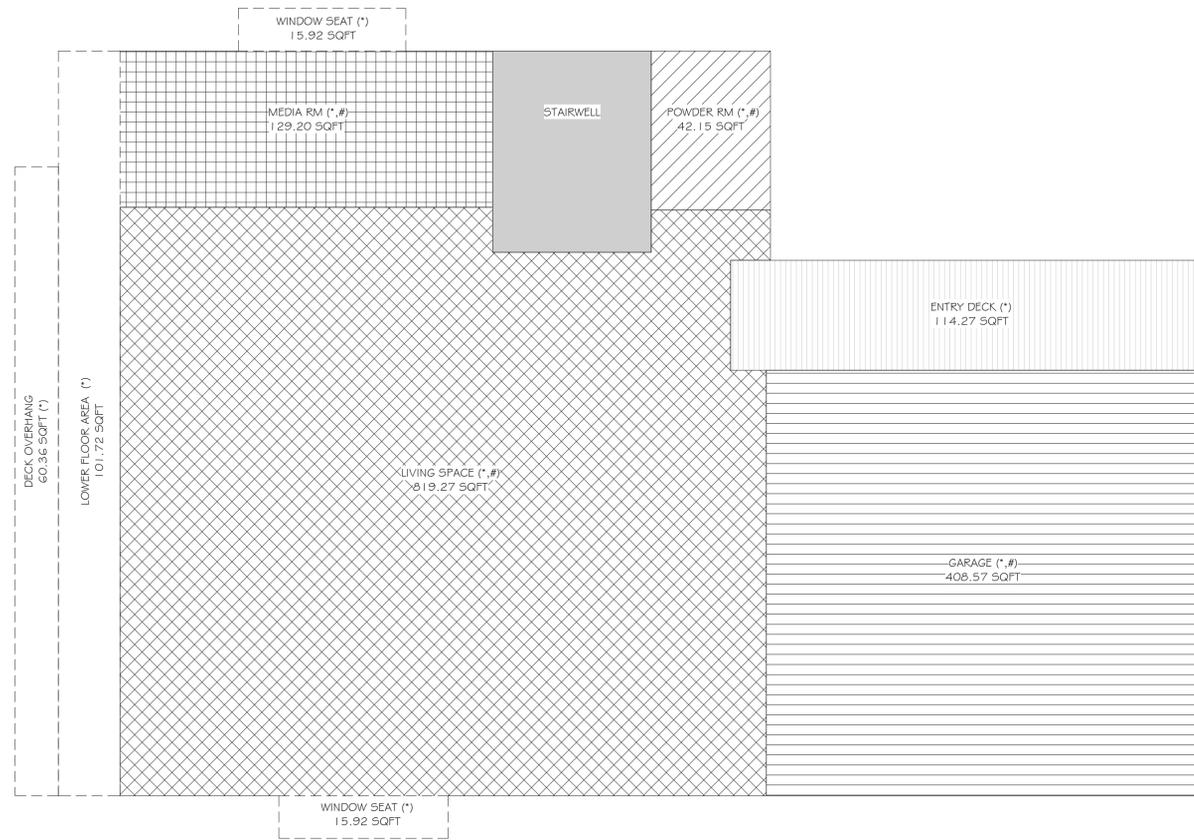
JOB: GOLDSTEIN

SHEET:

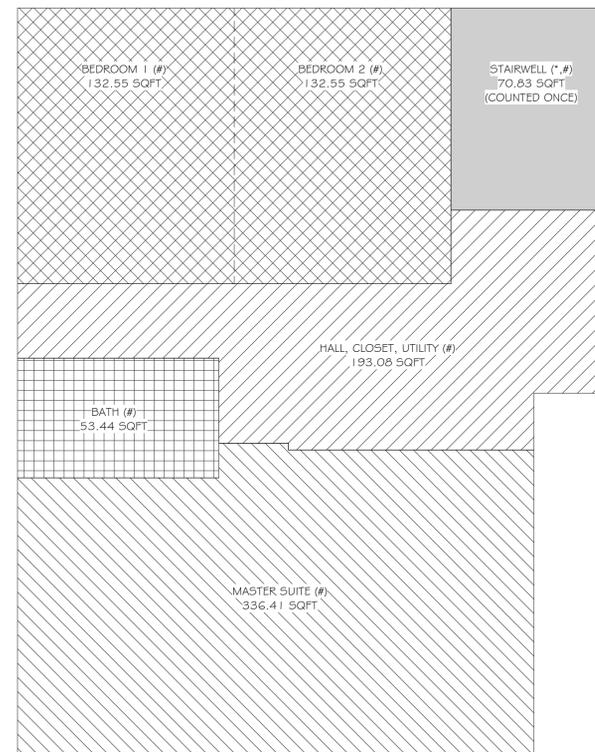
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OF SHEETS

UPPER FLOOR



LOWER FLOOR



* : AREAS TO BE COUNTED IN LOT COVERAGE
: AREAS TO BE COUNTED IN FLOOR AREA

LOT COVERAGE AREA : SQFT

WINDOW SEAT	: 15.92
WINDOW SEAT	: 15.92
MEDIA ROOM	: 129.20
STAIRWELL	: 70.83
POWDER RM	: 42.15
LIVING SPACE	: 819.27
GARAGE	: 408.57
ENTRY DECK	: 114.27
DECK OVERHANG	: 60.36
LOWER FLOOR AREA	: 101.72
TOTAL	1778.21

FLOOR AREA : SQFT

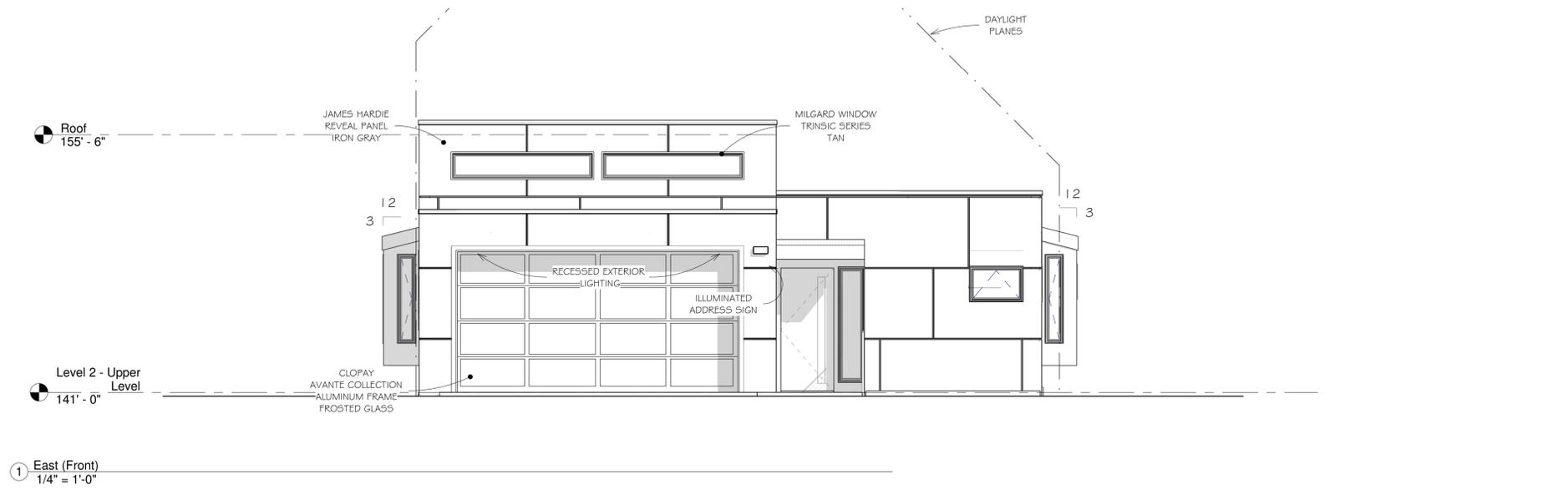
MEDIA ROOM	: 129.20
STAIRWELL	: 70.83
POWDER RM	: 42.15
LIVING SPACE	: 819.27
GARAGE	: 408.57
BEDROOM 1	: 132.55
BEDROOM 2	: 132.55
HALL, CLOSET, UTILITY	: 193.08
BATH	: 53.44
MASTER SUITE	: 336.41
TOTAL	2318.05

IMPERVIOUS AREA:

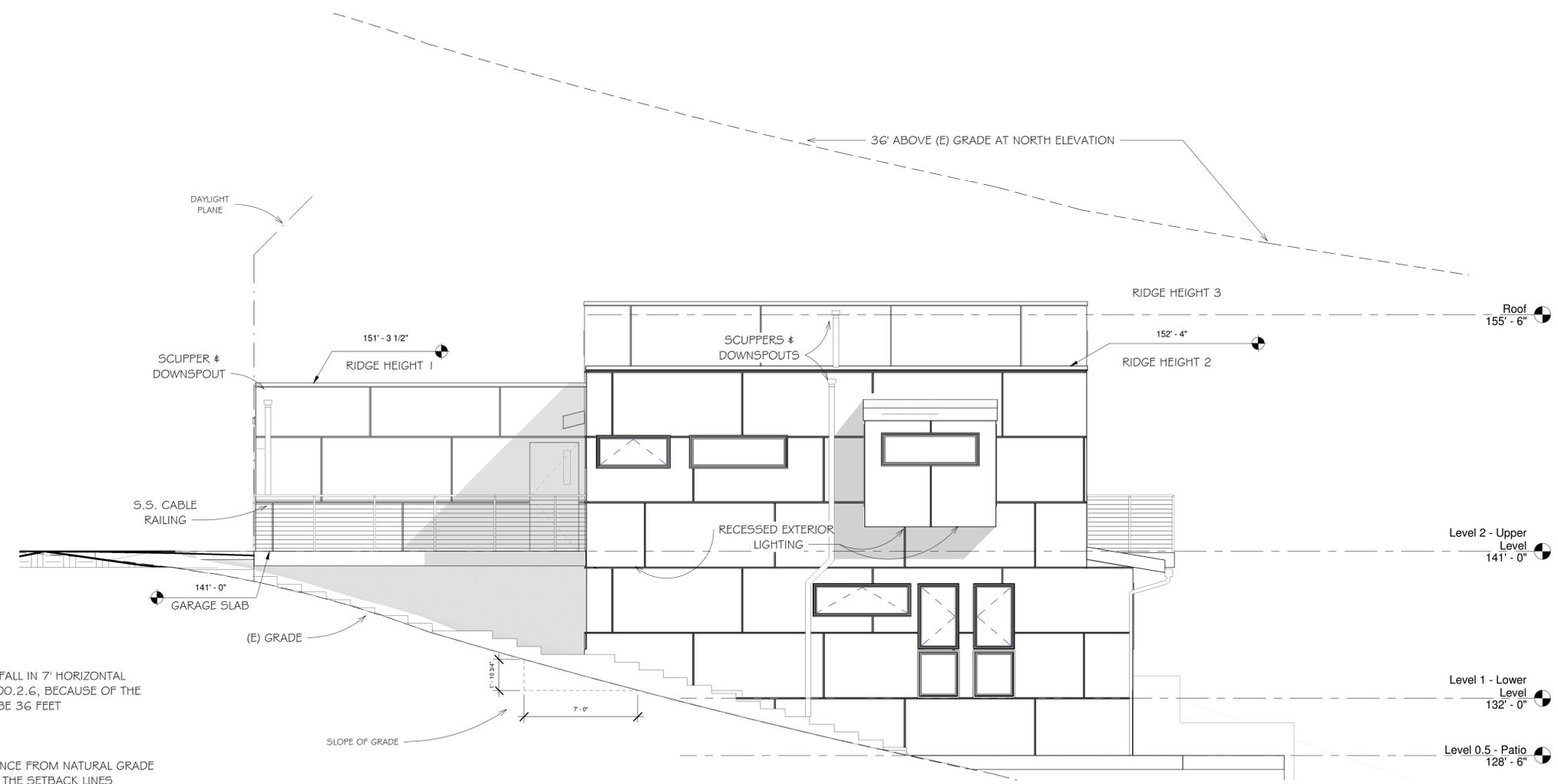
PATIO	: 378
TOTAL	378
PERCENTAGE	: 7.4

Legend - FAR
1/4" = 1'-0"

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① East (Front)
1/4" = 1'-0"



② North (Right)
1/4" = 1'-0"

- NOTE:**
1. SLOPE OF PARCEL IS GREATER THAN 1" VERTICAL FALL IN 7' HORIZONTAL
 - A. ACCORDING TO CHAPT 20, SECTION 6300.2.6, BECAUSE OF THE SLOPE THE MAX HEIGHT IS ALLOWED TO BE 36 FEET
 2. ALL EXTERIOR LIGHTING TO BE RECESSED
 3. DAYLIGHT PLANES DRAWN AS 20' VERTICAL DISTANCE FROM NATURAL GRADE THEN INWARDS AT AN ANGLE OF 45 DEGREES ON THE SETBACK LINES (DAYLIGHT PLANE ON REAR SETBACK TOO FAR FROM HOUSE TO SHOW)
 4. ARCHITECTURAL ARTICULATION IS USED FOR DESIGN

REVISIONS



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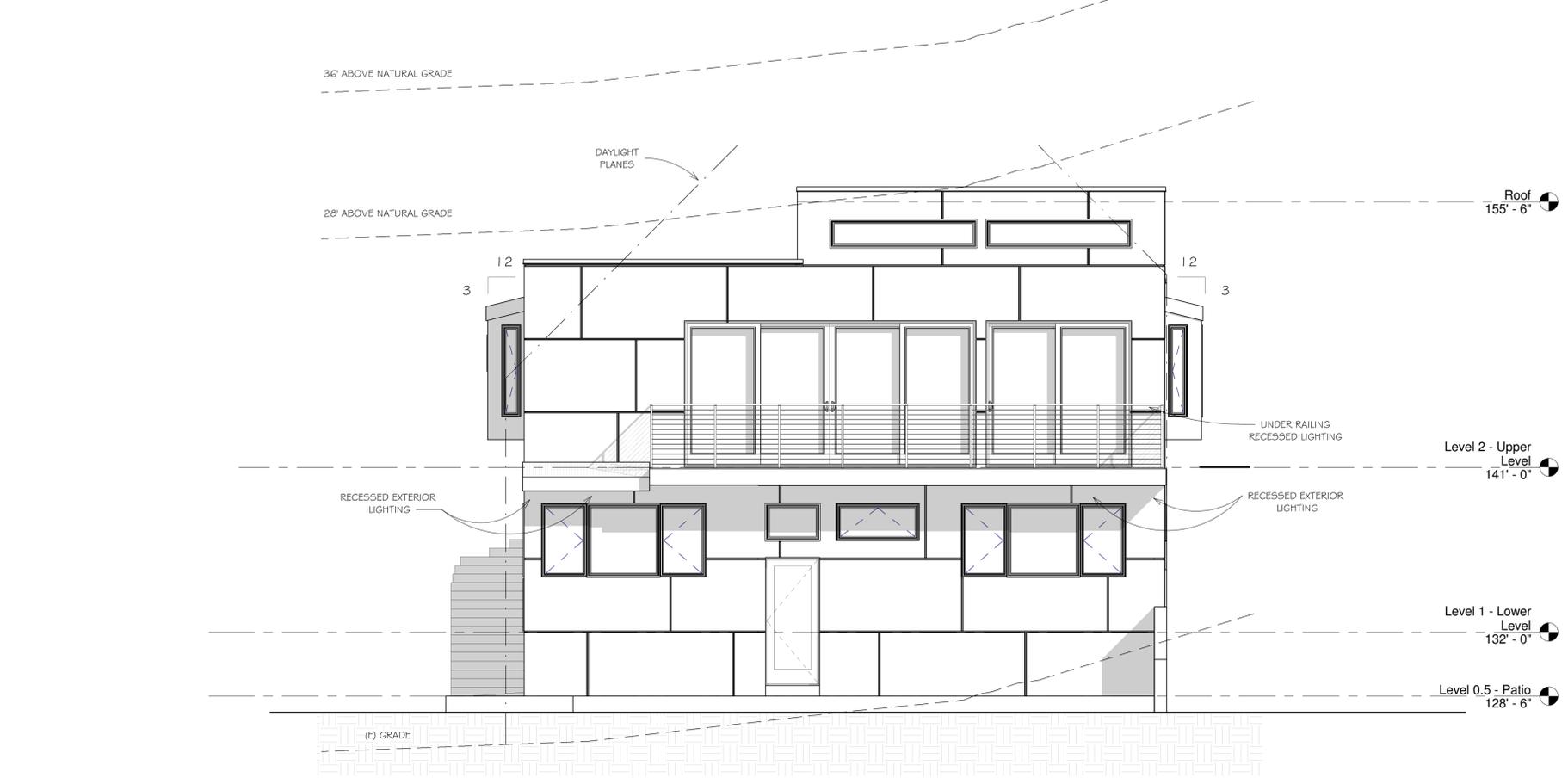
Elevations - East &
North



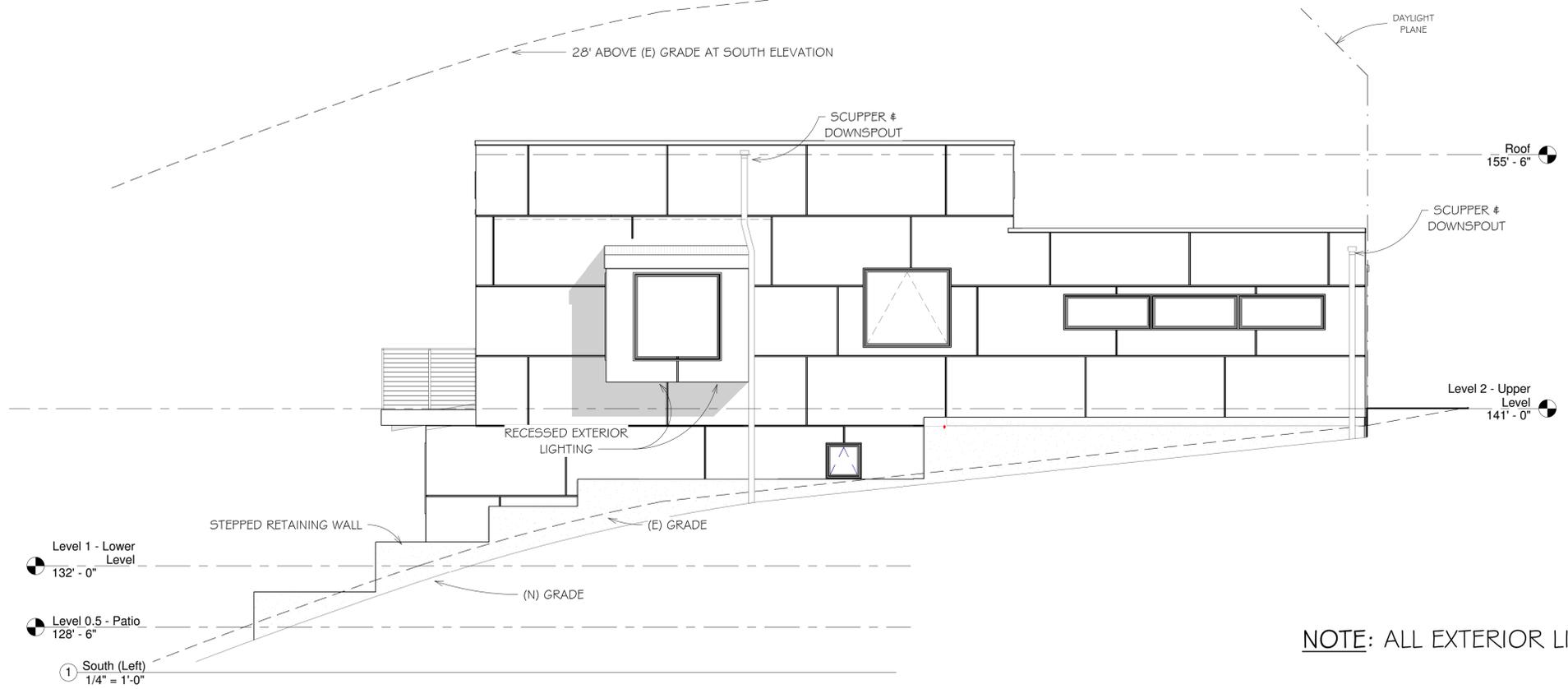
DATE: 10/23/19
SCALE: 1/4" = 1'-0"
DRAWN: GMH
JOB: GOLDSTEIN
SHEET:

A201
OF SHEETS

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② West (Rear)
1/4" = 1'-0"



① South (Left)
1/4" = 1'-0"

NOTE: ALL EXTERIOR LIGHTING TO BE RECESSED

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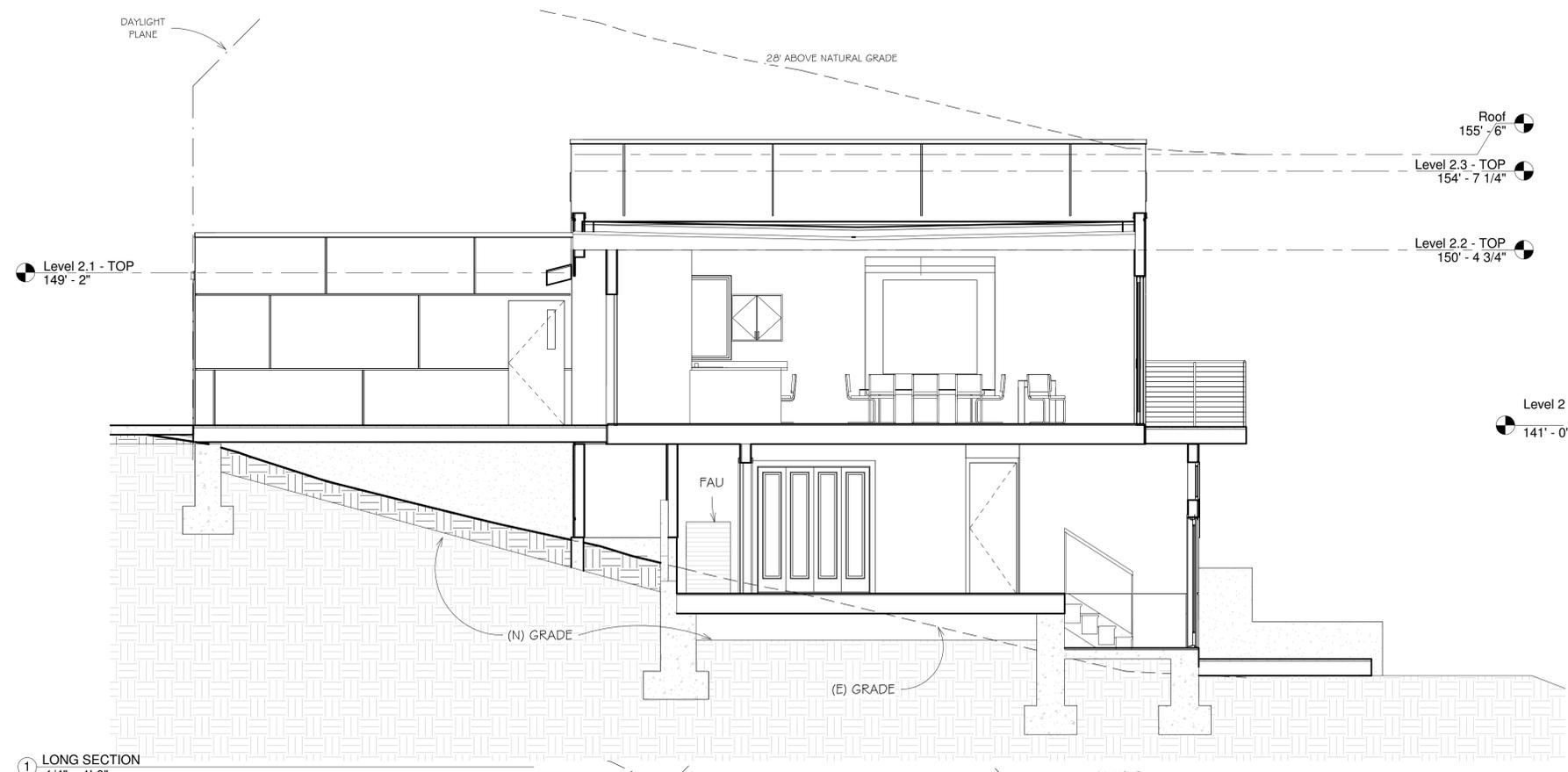
Elevations - West &
South



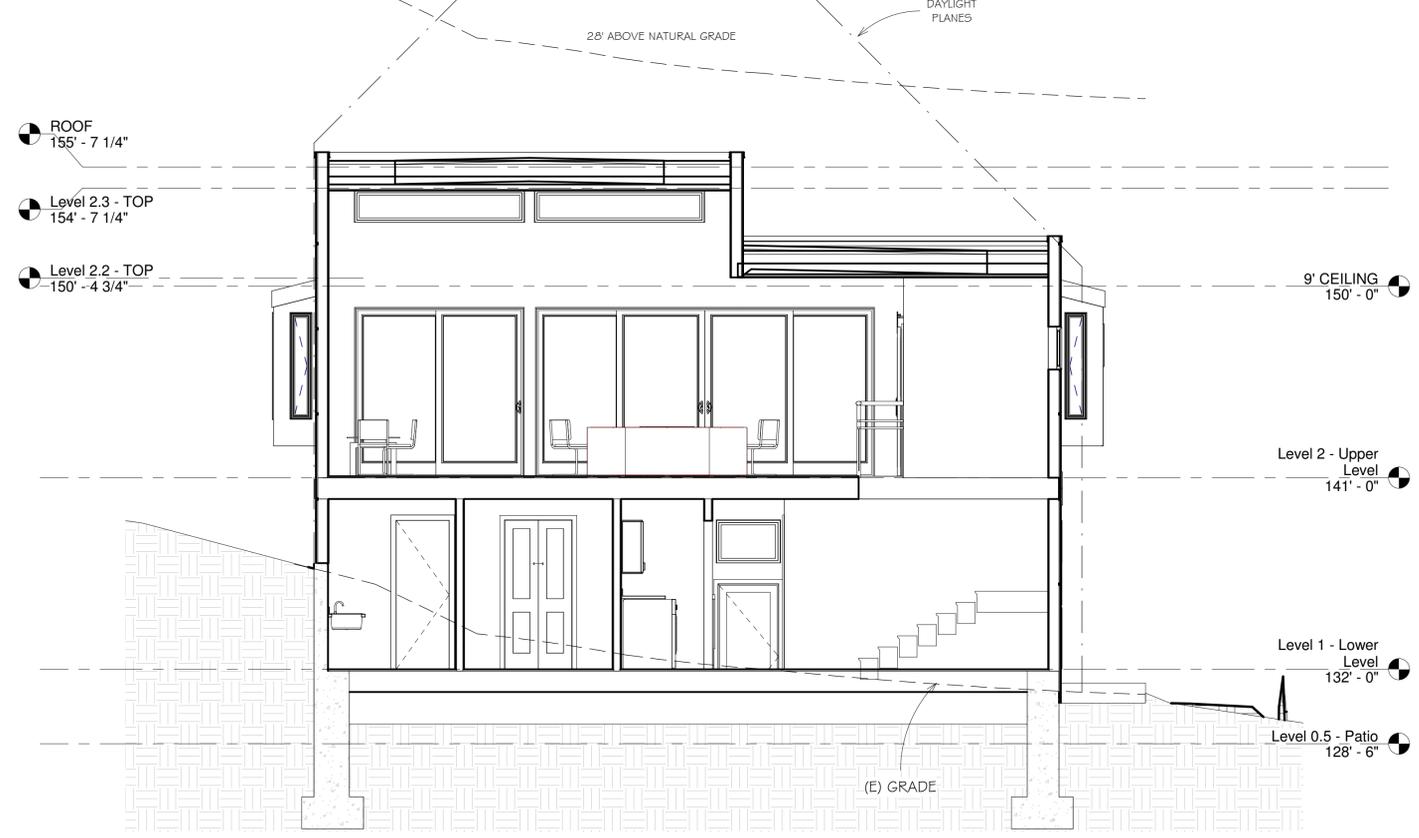
DATE: 10/23/19
SCALE: 1/4" = 1'-0"
DRAWN: GMH
JOB: GOLDSTEIN
SHEET:

A202

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① LONG SECTION
1/4" = 1'-0"



② SHORT SECTION
1/4" = 1'-0"

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Section Views



DATE: 10/23/19
SCALE: 1/4" = 1'-0"
DRAWN: GMH
JOB: GOLDSTEIN
SHEET:

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MODERN design meets Asian INSPIRATION

Aluminum and glass combine to create a sleek, contemporary look. Many window options are available to control the degree of light transmission and privacy.

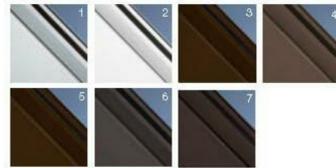
STYLE AND CONSTRUCTION



- Aluminum frame provides a virtually maintenance-free, long-lasting door.
- Tempered glass, acrylic or solid aluminum panel options. Insulated glass is also available for increased energy efficiency.
- Integral reinforcing fin provides increased strength and longevity.
- Heavy-duty steel ball bearing rollers with nylon tires provide quiet operation.

See your Clopay Dealer for Milgard® availability.

FRAME/SOLID PANEL COLOR OPTIONS



- Clear Aluminum (Anodized)
- Standard White
- Bronze (Painted)
- Chocolate (Painted)
- Bronze (Anodized)
- Black (Anodized)
- Dark Bronze (Anodized)

Due to the anodizing process, color variations may occur. The use of "Bronze (Painted)" is recommended for a more consistent bronze finish color. Custom colors available.

CLOPAY AVANTE COLLECTION

Everything You Need

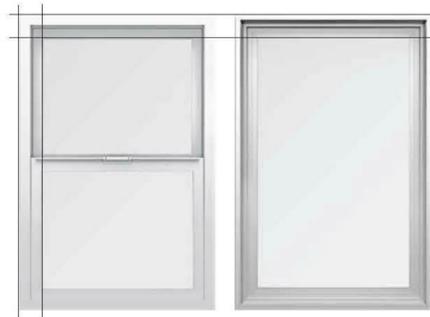
- Minimal and even sightlines across all operating styles provide a clean look that is visually appealing.
- Our reimagined contemporary look to the SmartTouch® window lock on single hung and sliders practically disappears from view when closed.
- Worry-free vinyl construction that won't corrode and does not need to be painted.
- Eight premium exterior vinyl finishes to choose from.
- Windows made to custom specifications with 2-7/8" jamb depth, perfect for 2" blinds.
- Suitable for new construction and replacement window projects.
- ENERGY STAR® packages designed for your specific climate.
- Weep hole covers and pull rail screens come standard to help your windows continue to perform their best.



Even Sightlines

All Trinsic® Series windows come with even sightlines, from top to bottom, and across operating styles.

This provides a streamlined and aesthetically pleasing effect throughout your home, no matter which window operating style you choose.



6 | milgard.com

Built for Performance

Windows and Doors for the Energy-Conscious Homeowner

At Milgard, we help homeowners make an impact on their energy consumption through our energy-efficient windows and patio doors. Leaky and inefficient windows and doors account for poor insulation and higher energy usage in households. Energy loss can happen in two ways and a lot depends on where you live:

- Cold climates lose energy in the form of heat.
- Hot climates lose energy in the form of cooling.

Tested and Built for Your Climate

All Milgard windows and patio doors are designed to meet tough thermal and solar requirements of state and local jurisdictions. We conduct thermal simulations to improve energy performance in our windows and patio doors so our consumers can enjoy a more comfortable home. We make it easy to meet local energy codes and green building efficiency standards with a selection of performance enhancing features. In fact, Milgard has options available to tailor the components of windows and doors to specific climates—perfectly matching the product to your region's energy needs.

Milgard adheres to ENERGY STAR® v6 requirements to meet or exceed U-Factor and Solar Heat Gain Coefficient (SHGC) criteria for the zones shown.



ENERGY STAR® Requirements

Zone	U-Factor	SHGC	Your energy efficient windows could include one or more of the following features based on your climate.
ENERGY STAR v6 Northern	0.27	-	SunCoat® or SunCoatMAX®
ENERGY STAR v6 North-Central	0.30	0.40	EdgeGuardMAX™
ENERGY STAR v6 South-Central	0.30	0.25	Argon or Krypton 4th Surface
ENERGY STAR v6 Southern	0.40	0.25	

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New Residence for
Goldstein
Moss Beach, CA

Product Sheet



DATE: 10/23/19

SCALE:

DRAWN: GMH

JOB: GOLDSTEIN

SHEET:

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01

call us today (888) 366-7717 (ext.8883667717)

Narrow Lite Entry Door



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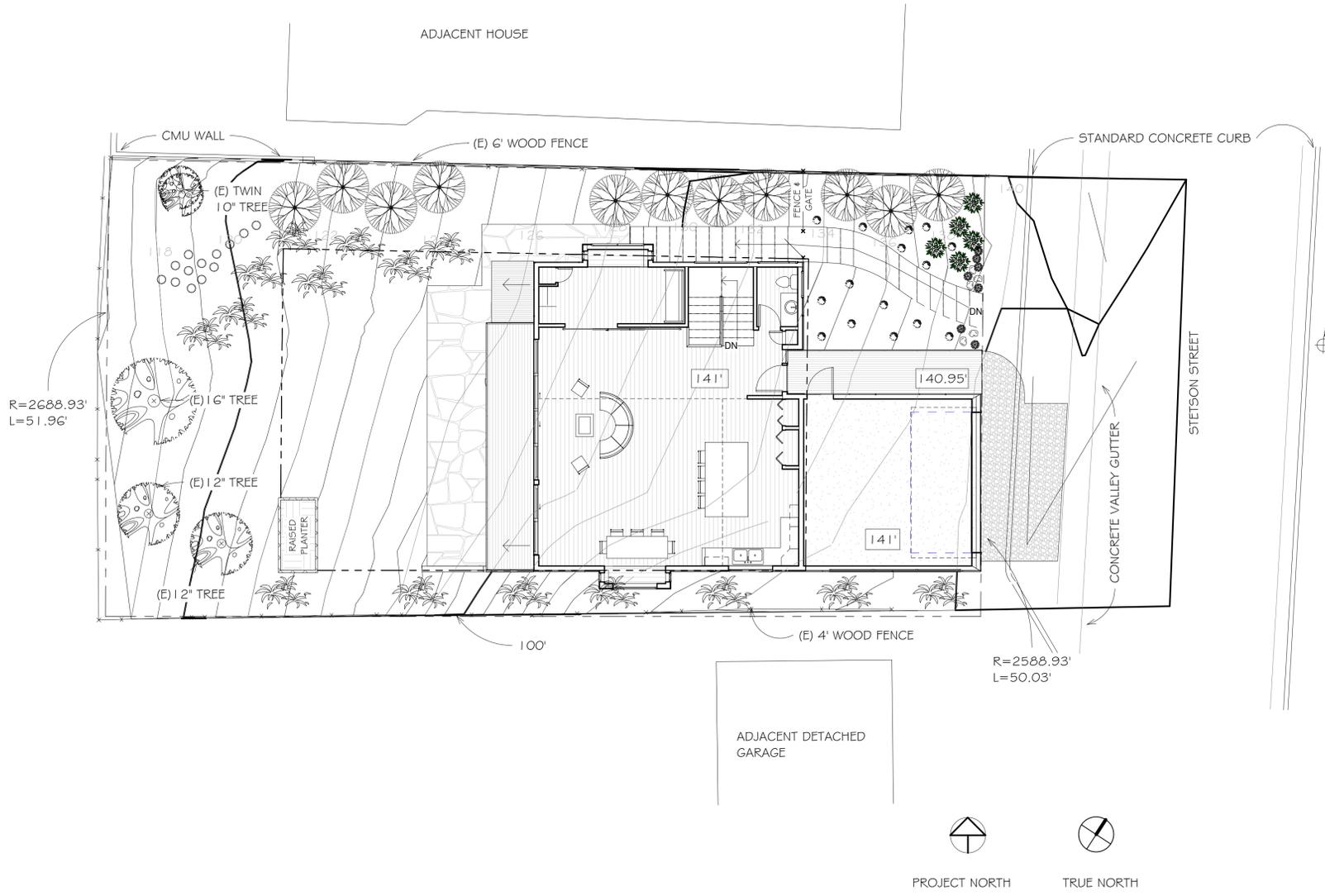
New Residence for
Goldstein
Moss Beach, CA

Landscape Plan



DATE: 10/23/19
SCALE: As indicated
DRAWN: GMH
JOB: GOLDSTEIN
SHEET:

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LANDSCAPE AREA			
LOT AREA	5100 SQFT		
HOUSE FOOTPRINT	1784 SQFT	35.0%	
LANDSCAPE AREA	2560 SQFT	50.0%	
HARDSCAPE	670 SQFT	13.0%	
MULCH	86 SQFT	2%	

- NOTES:
1. INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1000 FEET TO A DEPTH OF 6 INCHES DEPTH INTO LANDSCAPE AREA
 2. ALL LANDSCAPING TO BE HAND WATERED
 3. A MINIMUM OF AT LEAST 3 INCHES OF MULCH WILL BE APPLIED TO ALL EXPOSED SOIL AREAS EXCEPT IN AREAS OF CREEPING OR ROOTING GROUNDCOVERS
 4. LANDSCAPING WILL COMPLY WITH ALL COUNTY OF SAN MATEO REQUIREMENTS

Landscape Area & Notes
1/2" = 1'-0"

QTY	BOTANICAL NAME	COMMON NAME	GROWTH RATE	SIZE	CA. NATIVE	DROUGHT TOL.
15	Festuca Californica	California Fescue	Fast	2-3' H x 1-2' W	Yes	Yes
11	Dodonaea Viscosa	Purple-leaved Hop-bush	Fast	5' H x 4' W	No	Yes
18	Arctostaphylos	Pacific Mist	Moderate	1' H x 6-8' W	Yes	Yes
15	Ceanothus	Yankee Point California	Fast	2' H x 5-6' W	Yes	Yes
7	Sempervivum Tectorum	Hens & Chicks	Fast	4' H x 6-9" W	No	Yes
7	Enophyllum Lanatum	Dwarf Woolly Daisy	Moderate	1' H x 3' W	Yes	Yes
15	Rock					

Landscape Graphics List
1/2" = 1'-0"

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