

Planning and Building Department

Planning Permit Application Form

455 County Center, 2nd Floor • Redwood City CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849
www.co.sanmateo.ca.us/planning

PLN: 2018-00343

BLD:

Applicant/Owner Information

Applicant: JACK CHU
Mailing Address: 51 WEST 43RD AVE
SAN MATEO, CA Zip: 94403
Phone, W: 650-345-9286 H: 650-208-8898
E-mail Address: jackchu21@yahoo.com FAX: 650-345-92867

Name of Owner (1): NICK S. ZUAY
Mailing Address: 715 LAUREN ST #490
SAN CARLOS, CA Zip: 94070
Phone, W: 650-430-0075
H:
E-mail Address:

Name of Owner (2):
Mailing Address:
Zip:
Phone, W:
H:
E-mail Address:

Project Information

Project Location (address): DEL MONTE AVE
EL GRANADA, CA 94018
Zoning: R1-S-17

Assessor's Parcel Numbers:
047-181-080
Parcel/lot size: 6,526.0 SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)
VACANT - UP-SLOPE PARCEL

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):
VACANT - UP-SLOPE PARCEL (SEE BOUNDARY SURVEY)

Describe Existing Structures and/or Development:

Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature:

Owner's signature:

Applicant's signature:

Planning and Building Department

Application for Design Review by the County Coastside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650.363.4161 ■ FAX 650.363.4849

Permit #: PLN 2018-00343

Other Permit #: _____

1. Basic Information

Applicant:

Name: JACK CHU
Address: 55 WEST 43RD AVE
SAN MATEO, CA Zip: 94403
Phone, W: 650-208-8898
Email: jackchu@yphone.com

Owner (if different from Applicant):

Name: NICK S. ZIMAY
Address: 715 LAUREL ST #409
SAN CARLOS, CA Zip: 94070
Phone, W: 650-430-0075 H:
Email:

Architect or Designer (if different from Applicant):

Name:
Address: Zip:
Phone, W: H: Email:

2. Project Site Information

Project location:

APN: 047-181-080
Address: DEL MONTE AVE
EL GRANADA, CA Zip: 94018
Zoning: R1-S-17
Parcel/lot size: 6,526 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe):

3. Project Description

Project:

- New Single Family Residence: _____ sq. ft
- Addition to Residence: _____ sq. ft
- Other: _____

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

NEW SINGLE FAMILY DWELLING

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	STUCCO FINISH w/ CEDAR SHINGLE	DARK BEIGE NATURAL WOOD	<input type="checkbox"/>
b. Trim	REDWOOD	LIGHT BEIGE	<input type="checkbox"/>
c. Windows	VINYL	BROWN	<input type="checkbox"/>
d. Doors	WOOD	DARK BROWN	<input type="checkbox"/>
e. Roof	CLASSIC RIB METAL	DARK GREY	<input type="checkbox"/>
f. Chimneys	N/A		<input type="checkbox"/>
g. Decks & railings	ALUMINUM	BLACK	<input type="checkbox"/>
h. Stairs	CONCRETE	LIGHT GREY	<input type="checkbox"/>
i. Retaining walls	CONCRETE	LIGHT GREY	<input type="checkbox"/>
j. Fences	REDWOOD	NATURAL WOOD	<input type="checkbox"/>
k. Accessory buildings	N/A		<input type="checkbox"/>
l. Garage/Carport	N/A		<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached):

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner:

Applicant:

Date: AUG. 16, 18

Date: 8/17/2018

Planning and Building Department

455 County Center, 2nd Floor • Redwood City, CA • 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

**Certificate of Exemption
or Exclusion from a Coastal
Development Permit**

Permit #: PLN _____
Permit #: BLD _____

Permanent Record
Microfilming Required

1. Basic Information

Owner
Name: NICK S. ZMAY
Address: 751 LAUREL ST # 409
SAN CARLOS, CA
Zip: 94070
Phone, W: 650-430-0075 H:
Email Address:

Applicant
Name: JACK CHU
Address: 55 WEST 43RD AVE
SAN MATEO, CA
Zip: 94403
Phone, W: 650-208-8898 H:
Email Address: jackchu21@yahoo.com

2. Project Information

Project Description:
NEW SINGLE FAMILY RESIDENCE

Assessor's Parcel Number(s):
047-189-080

Existing water source:
 Utility connection _____
 Well _____
Proposed water source:
 Utility connection _____
 Well _____
Staking of well location and property lines are required.
 Provide site plan depicting location and all trees.
 Will this require any grading or vegetation/tree removal? Yes No
If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

3. Signatures

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance.

Owner [Signature] Date 8/16/18 Applicant [Signature] Date 8/16/2018

(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

Staff Use Only

4. Basis of Exemption or Exclusion

Use attached review sheet to determine basis of exemption and whether project qualifies. Review basis of exemption with applicant/owner and initial appropriate category below:

- Initial**
- A. Improvements to Existing Single Family Residence. [PRC 30610(a), CCR13250, ZR 6328.5(a)]
 - B. Improvements to Existing Structure Other Than Single Family Residence or Public Works Facility. [PRC 30610(b), CCR13253, ZR 6328.5(b)]
 - C. Existing Navigation Channel. [PRC 30610(c), ZR 6328.5(c)]
 - D. Repair or Maintenance Activity. [PRC 30610(d), CCR13252, ZR 6328.5(d)]
 - E. Single Family Residence Categorical Exclusion Area. [PRC 30610(e), CCR13240, AB 643, ZR 6328.5(e)]
 - F. Agriculturally-Related Development Categorical Exclusion Area. [PRC 30610(e), CCR13240, ORDERS E-79-7 and E-81-1, ZR 6328.5(e)]
 - G. Utility Connections. [PRC 30610(f), ZR 6328.5(f)]
 - H. Replacement of Structures Following Disasters. [PRC 30610(g), ZR 6328.5(g)]
 - I. Emergency Activities. [PRC 30611, ZR 6328.5(h)]
 - J. Lot Line Adjustment. [ZR 6328.5(i)]
 - K. Land Division for Public Recreation Purposes. [ZR 6328.5(l)]

5. Well Inspection - All Coastal Zone Areas

- Required Not Required

Inspection made by: _____ Date of Inspection: _____

Yes | **No**

- | | |
|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> Removal of trees? |
| <input type="checkbox"/> | <input type="checkbox"/> If Yes, is tree removal permit included? |
| <input type="checkbox"/> | <input type="checkbox"/> Trimming of trees? |
| <input type="checkbox"/> | <input type="checkbox"/> Excessive removal of vegetation? |
| <input type="checkbox"/> | <input type="checkbox"/> Excessive grading? (If Yes, CDP is required) |
| <input type="checkbox"/> | <input type="checkbox"/> Erosion control plan required? |

Approval of Permit is subject to the following: (check if applicable)

- Submittal and Approval of a Tree Removal Permit
- Submittal and Approval of a Grading Permit
- Submittal and Approval of an Erosion Control Plan
- Submittal and Approval of a Coastal Dev. Permit

6. Approval

I have reviewed the above-described project and have determined that it meets all criteria for the exemption/exclusion checked above.

Exemption/Exclusion is approved.

Planning Department

Date

Project is subject to the following condition(s) of approval:

7. Processing

- Fee collected
- Original Certificate of Exemption to Building Inspection file.
- Copies of Certificate of Exemption to:
 1. Applicant/Owner.
 2. Planning Department Exemption Binder.
- 3. Any relevant Planning or Building Inspection files.
- 4. California Coastal Commission, 45 Fremont Street, Suite 2000, San Francisco, CA 94105
- Update Permit*Plan Case Screen and Activities

Environmental Information Disclosure Form

Planning and Building Department

PLN _____

BLD _____

Project Address: DEL MONTE AVE
EL GRANADA, CA 94018

Name of Owner: NICK S. ZMAY
Address: 715 LAUREN STREET #409
SAN CARLOS, CA Phone: 650-430-0675

Assessor's Parcel No.: 047-181-080

Name of Applicant: JACK CHU
Address: 55 WEST 43RD AVE SAN MATEO, CA
94403 Phone: 650-208-8898

Zoning District: R-1-S-17

Existing Site Conditions

Parcel size: 6,526.0 SF.

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). VACANT UP-HILL PARCEL WITH 10 TREE OVER 12" DIAMETER.

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	<u>N/A</u>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<u>N/A</u>	b. Construction of a new multi-family residential structure having 5 or more units?
	<u>N/A</u>	c. Construction of a commercial structure > 2,500 sq.ft?
<u>YES</u>		d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? <u>? (OVER 12" DIAMETER)</u>
		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : _____ c.y. Fill: _____ c.y.
	<u>NO</u>	f. Subdivision of land into 5 or more parcels?
	<u>NO</u>	g. Construction within a State or County scenic corridor?
	<u>NO</u>	h. Construction within a sensitive habitat?
	<u>NO</u>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<u>NO</u>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
		a. Construction outside of the footprint of an existing, legal structure?
		b. Exterior construction within 100-feet of a stream?
		c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
		d. Land-use within a riparian area?
		e. Timber harvesting, mining, grazing or grading?
		f. Any work inside of a stream, riparian corridor, or shoreline?
		g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
	No	<p>a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u></p> <p>If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.</p>
	No	<p>b. <u>Land disturbance of 1 acre or more of area?</u></p> <p>If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.</p>

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:

(Applicant may sign)

Date:

8/17/18

REV.	DESCRIPTION	BY:	DATE:



MACLEOD AND ASSOCIATES
 CIVIL ENGINEERING • LAND SURVEYING
 965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8560

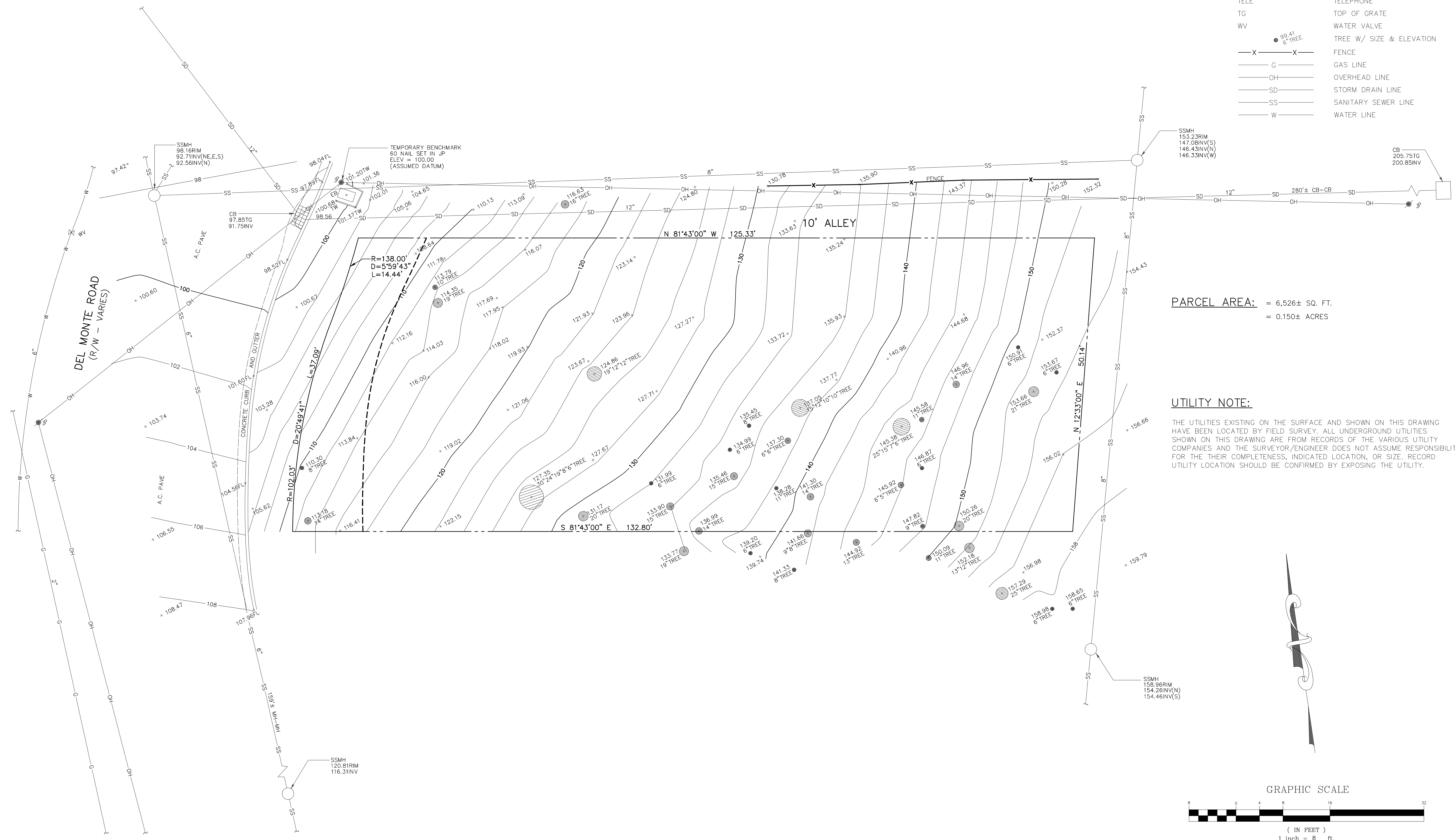
PREPARED FOR:
 STEVE ZMAY

TOPOGRAPHIC SURVEY PLAN
 LOT 10, BLOCK 12, EL GRANADA HIGHLANDS NO. 2
 VOL. 15 OF MAPS AT PAGES 26-28
 A.P.N. 047-181-080
 EL GRANADA SAN MATEO COUNTY CALIFORNIA

DRAWN BY: DPM
 DESIGNED BY: ---
 CHECKED BY: DGM
 SCALE: 1"=8'
 DATE: 02-15-10
 DRAWING NO. 3262-TOPO
 SHEET 1 OF 1

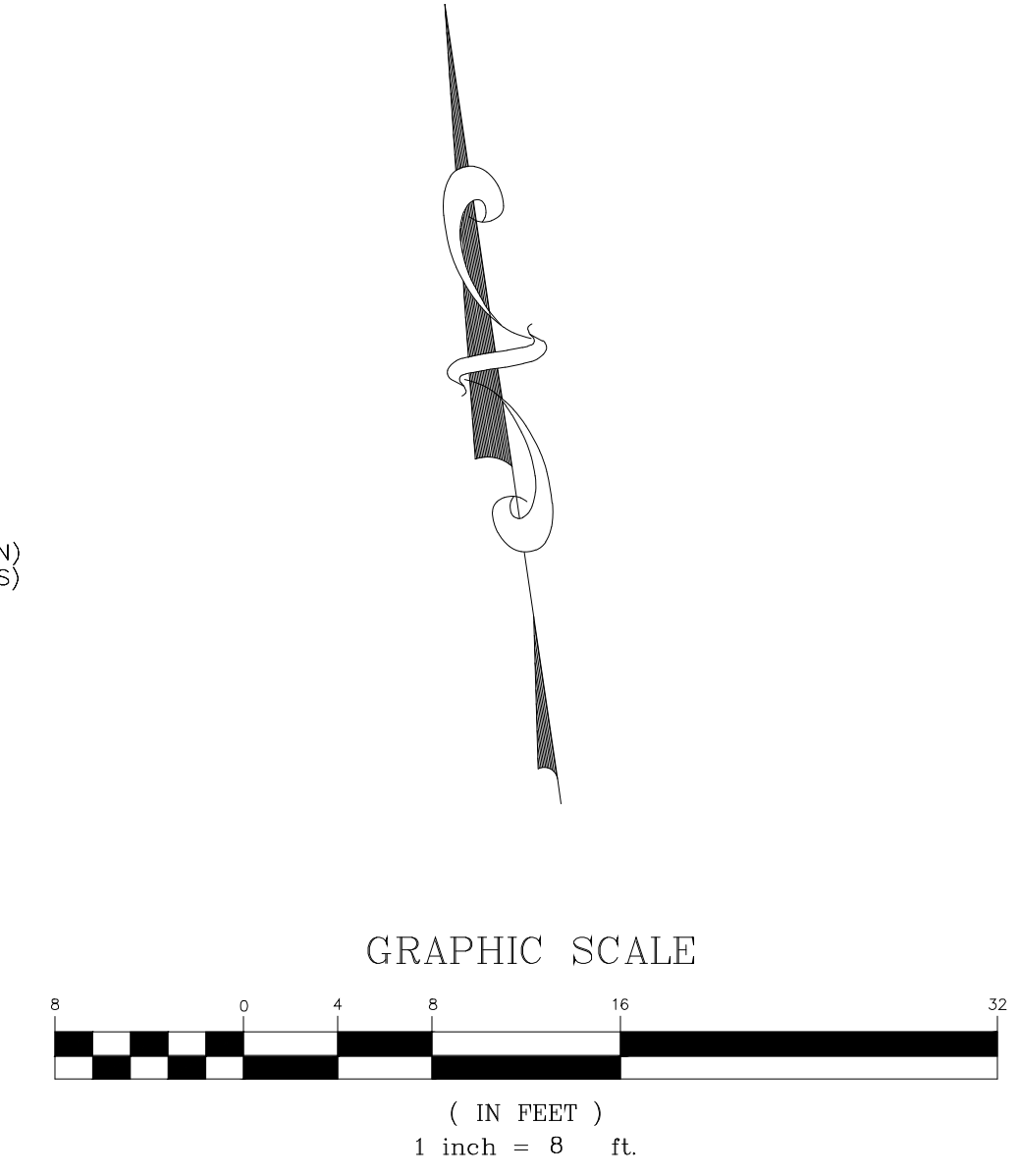
LEGEND

---	PROPERTY LINE
A.C. PAVE	ASPHALTIC CONCRETE PAVEMENT
CATV	CABLE TELEVISION
CB	CATCH BASIN
EB	ELECTRIC BOX
ELEC	ELECTRIC
INV	INVERT
JP	JOINT UTILITY POLE
SSMH	SANITARY SEWER MANHOLE
TELE	TELEPHONE
TG	TOP OF GRATE
WV	WATER VALVE
● 99.41 6" TREE	TREE W/ SIZE & ELEVATION
-X-X-	FENCE
G	GAS LINE
OH	OVERHEAD LINE
SD	STORM DRAIN LINE
SS	SANITARY SEWER LINE
W	WATER LINE



PARCEL AREA:
 = 6,526± SQ. FT.
 = 0.150± ACRES

UTILITY NOTE:
 THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.





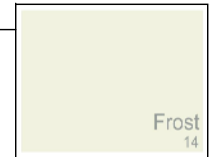
ROOFING: ASPHALT COMPOSITION SHINGLES
ELK PRESTIQUE II-WEATHERED WOOD COLOR



EXTERIOR WALLS: WOOD SIDING
OXFORD BROWN WOOD STAIN AND SEALER



EXTERIOR WALLS: STUCCO-SMOOTH FINISH
KELLY -MOORE FROST 14



MASONRY BASE: NATURAL STONE VENEERS
BOQUET CANYON LEDGERSTONE
PENINSULA BUILDING MATERIAL



GARAGE DOOR:
GREAT AUTOMATIC GLASS GARAGE DOOR



DEL MONTE ROAD



SHELTER 1326BK	
BLACK	

WIDTH:	4.5"
HEIGHT:	15.5"
WEIGHT:	3.0 LBS
MATERIAL:	SOLID ALUMINUM
GLASS:	CLEAR SEEDY
BACKPLATE WIDTH:	4.5"
BACKPLATE HEIGHT:	12.0"
SOCKET:	1-50W GU-10 *INCLUDED
DARK SKY:	YES
NOTES:	PATENT: US PATENT D688 413 S
EXTENSION:	4.8"
TTO:	5.8"
CERTIFICATION:	C-US WET RATED
VOLTAGE:	120V
UPC:	640665132601

AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE, ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR 'LIFE AGLOW.'

*life*AGLOW®

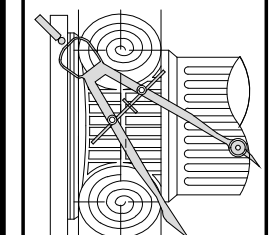
NEW SINGLE FAMILY DWELLING

DEL MONTE DRIVE EL GRANADA, CA 94018

A.P.N. # 047-181-080

REVISIONS BY

CHU DESIGN ASSOCIATES INC.
55 W. 43rd A VENUE
SAN MATEO, CALIFORNIA 94403
TEL: (650) 345-9286
FAX: (650) 345-9287



The drawings on this sheet, specification, ideas, designs, and arrangements represented hereby are and shall remain the property of CHU DESIGN ASSOCIATES INC., and no part thereof shall be copied, disclosed or used in connection with any work or project other than the specified project for which they have been prepared and developed without the written consent of CHU DESIGN AND ASSOCIATES INC. Visual contact with these plans or specifications shall constitute conclusive evidence of acceptance to these restrictions.



NEW RESIDENCE
Owner: Mr. Nick Zmay
Del Monte Road El Granada, CA 94018
Tel.: 650-430-0075

DATE: Sept. 15, 2016
SCALE: AS NOTED
DRAWN: JC
REV: ZMAY
SHEET NO: A.0
OF SHEETS

DESIGN DATA

2013 CALIFORNIA ADMINISTRATIVE CODE
2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA MECHANICAL CODE
2010 CALIFORNIA ELECTRIC CODE
2013 CALIFORNIA RESIDENTIAL CODE
2013 CALIFORNIA ENERGY CODE
2013 CALIFORNIA GREEN BUILDING STANDARDS CODE
2013 CALIFORNIA FIRE CODE
2013 CALIFORNIA EXISTING BUILDING CODE
2013 CALIFORNIA REFERENCED STANDARDS CODE
ALONG WITH ALL OTHER LOCAL AND STATE LAWS AND REGULATIONS.

ADOPTION OF THE 2013 EDITION OF THE CALIFORNIA STATE BUILDING CODES, TITLE 24, CALIFORNIA CODE OF REGULATIONS IS MANDATED BY PART 25 OF DIVISION 13 OF THE CALIFORNIA HEALTH & SAFETY CODE (SECTION 18901 ET SEQ.) THE FOLLOWING LOCAL AMENDMENTS TO THE CALIFORNIA STATE BUILDING CODES WERE FILED WITH THE BUILDING STANDARDS COMMISSION.

ENTIRE RESIDENCE, CRAWL SPACE AND ATTIC SHALL BE PROTECTED BY AUTOMATIC FIRE-EXTINGUISHING SYSTEM NFPA 13-D STANDARD.

GENERAL NOTES:

1. ALL DETAILS, MATERIALS, FINISHES AND ASSEMBLIES ARE NOT NECESSARILY SHOWN. THESE FINAL FINISH DETAILS INCLUDING CASEWORK AND MATERIAL SELECTIONS WILL BE COORDINATED BY THE OWNER.

2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 CALIFORNIA BUILDING CODE, APPLICABLE EDITION, AND ALL OTHER PERTINENT CODES, LAWS AND REQUIREMENTS OF THE LOCAL BUILDING OFFICIALS, WHETHER OR NOT SPECIFICALLY SHOWN ON THESE DOCUMENTS. THESE DOCUMENTS ARE NOT INTENDED TO SHOW EVERY DETAIL OR CONDITION. MANY DETAILS IN RESIDENTIAL CONSTRUCTION ARE BUILT ACCORDING TO PROFESSIONAL CONSTRUCTION PRACTICES, AND ARE THEREFORE NOT DETAILED IN THESE DOCUMENTS. CONTACT CHU DESIGN AND ENGINEERING INC. IF CONDITIONS OR OTHER CIRCUMSTANCES REQUIRE CHANGES IN THE WORK SHOWN, OR REQUIRE CLARIFICATION. ALL WORK SHALL BE DONE IN A HIGH QUALITY MANNER, ACCORDING TO THE PREVAILING STANDARDS OF THE INDUSTRY FOR EACH TRADE.

3. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION AND CLEAN-UP TO ACCOMPLISH ALL OF THE WORK SHOWN, INCLUDING ALL WARRANTIES AND INSTRUCTIONS, TO PROVIDE A COMPLETE WORKING INSTALLATION, AND TO LEAVE THE OWNER WITH AN APPROVED PRODUCT.

4. CONTRACTOR SHALL ASSUME COMPLETE AND SOLE RESPONSIBILITY FOR MEANS AND METHODS OF CONSTRUCTION, AND FOR ALL SAFETY MEASURES TO PROTECT ALL PROPERTY, PERSONNEL AND THIRD PARTIES FROM DAMAGE OR INJURY. THIS RESPONSIBILITY SHALL BE CONTINUOUS AND NOT SOLELY DURING WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS CHU DESIGN AND ENGINEERING INC. AND RELATED ENGINEERS FROM ANY CLAIMS OF LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF HIS WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF CHU DESIGN AND ENGINEERING INC. AND RELATED ENGINEERS.

5. THESE DOCUMENTS DO NOT CONTAIN PROVISIONS FOR THE HANDLING OR REMOVAL OF ANY HAZARDOUS MATERIALS. SHOULD ANY SUCH MATERIALS BE SUSPECTED OR ENCOUNTERED, SPECIALISTS SHALL BE CALLED IN TO MAKE RECOMMENDATIONS.

6. PROVIDE ALL MANDATORY FEATURES REQUIRED BY THE T-24 ENERGY CODE, INCLUDING WEATHER-STRIPPING, BUILDING INSULATION, PIPE INSULATION, LIGHTING AND APPLIANCE MEASURES, AND OTHER FEATURES REQUIRED BY TITLE 24 OR OTHER STATE, FEDERAL OR LOCAL CODES.

7. NO PERSON SHALL ERECT (INCLUDING EXCAVATION AND GRADING), DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE HOURS PERMITTED BY THE LOCAL JURISDICTION.

PROJECT DATA

1. LOT LOCATION: DEL MONTE DRIVE
EL GRANADA, CA 94018

2. APN: 047-181-080

3. OCCUPANCY GROUP/ CONSTRUCTION TYPE: R3/U TYPE V-B

4. ZONING DISTRICT: R-1 S-1T

5. LOT SIZE: IRREGULAR LOT (SEE TOPOGRAPHIC SURVEY)

6. SITE AREA: 6,526.00 SF

7. ZONING REQUIREMENTS:
SETBACK:
FRONT: 15'-0"
SIDE: COMBINED TOTAL OF 15'-0" WITH A 5'-0" MIN.
REAR: 15'-0"
HEIGHT LIMIT: 28'-0" MAX. OR 2 1/2 STORIES
PARKING: TWO COVERED GARAGE 4 TWO ON THE DRIVEWAY
LOT COVERAGE RATIO (35 %): 2,284.10 SF. MAX.
MAX. COVERED FLOOR AREA ALLOWED (53 %): 3,458.18 SF. MAX.

8. BUILDING DATA:

LOWER FLOOR/ GARAGE AREA :	455.0 SF.
MAIN FLOOR AREA :	1,352.69 SF.
UPPER FLOOR AREA :	1,511.96 SF.
TOTAL NEW FLOOR AREA :	3,325.65 SF.
TOTAL CONDITIONED FLOOR AREA :	2,870.65 SF.
FLOOR COVERAGE AREA / RATIO (F.A.R.)	3,325.65 SF/ 50.96 %
FOOT-PRINT AREA :	1,832.18 SF.
HARDSCAPE / PAVED AREA (DRIVEWAY, SIDEWALK & DECK) :	475.50 SF.
HARDSCAPE / PAVED AREA (SIDE & REAR PATIO) :	105.0 SF.
TOTAL FOOT-PRINT (BUILDING + HARDSCAPE) :	2,492.68 SF.
LANDSCAPE AREA :	4,033.32 SF.

STRUCTURAL OBSERVATION IS REQUIRED FOR

1. SHEAR WALLS WITH DESIGN LOAD OF 300 PLF. OR GREATER.
2. INSTALLATION OF EPOXY INSTALLED ANCHOR BOLTS.
3. ALL UTILITY TRENCHES, BUILDING PAD SHALL BE PROPERLY BACK-FILLED AND COMPACTED.
4. THE FOUNDATION EXCAVATION, HOLD-DOWN.
5. INSTALLATION OF SIMPSON STRONG WALL.

NOTE:

1. THE BUILDING SHALL BE EQUIPPED WITH A SPRINKLER SYSTEM.
2. THE REQUIRED SPRINKLER SYSTEM SHALL BE A DEFERRED SUBMITTAL FOR APPROVAL FROM THE FIRE MARSHALL OF THE COUNTY OF SAN MATEO PRIOR TO INSTALLATION.

FIRE SPRINKLER NOTE :

1. FIRE SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT THE ENTIRE STRUCTURE UNDER A SEPARATE PERMIT .
2. CONTRACTOR SHALL FURNISH THE DESIGN AND CONSTRUCTION AND INSTALLATION OF AN APPROVED FIRE SPRINKLER SYSTEM. THE DESIGN SHALL BE PROVIDED BY AN APPROVED FIRE SPRINKLER CONTRACTOR THAT IS LICENSED TO WORK IN THE STATE. ALL LABOR, MATERIALS, VALVES, EQUIPMENT AND SERVICES NECESSARY TO COMPLETE THE PROJECT SHALL BE INCLUDED. LAYOUT DRAWINGS, DESIGN AND EQUIPMENT LISTS MUST BE REVIEWED AND APPROVED BY THE FIRE MARSHALL AND THE BUILDING DEPARTMENT PRIOR TO INSTALLATION. DRAWINGS SHALL SHOW THE BUILDING TO BE COMPLETELY SPRINKLERED THROUGH OUT, ALL CONCEALED AREAS INCLUDING ATTIC AND GARAGES. A FOUR HEAD CALCULATION WILL ALSO BE REQUIRED TO ENGINEER THE SYSTEM.

ILLUMINATED STREET ADDRESS
Provide an illuminated street address at the entry door per City ordinance. Approved numbers or addresses shall be placed in such a position as to be plainly visible and legible from the street or road fronting the property. Said numbers shall contrast with their background, and shall be a minimum of 1/2 inch stroke by 4 inches high shall be either internally or externally illuminated. The power of such illumination shall not be normally switchable.

SHEET INDEX

ARCHITECTURAL

A0 COVER SHEET
A1 SITE PLAN W/ ROOF PLAN
A2 LOWER FLOOR GARAGE PLAN AND MAIN FLOOR PLAN
A3 UPPER FLOOR PLAN AND NOTES
A4 REAR AND LEFT SIDE ELEVATIONS
A5 FRONT AND RIGHT SIDE ELEVATIONS
A6 BUILDING CROSS SECTION
A7 ARCHITECTURAL DETAILS AND NOTES, TABLE
AC1 FLOOR AREA CALCULATION
BMP BEST MANAGEMENT PRACTICE

CIVIL

C0 BOUNDARY AND TOPOGRAPHIC SURVEY
C1 GRADING, DRAINAGE AND EROSION CONTROL PLAN

LANDSCAPE

L1 LANDSCAPE PLAN AND TREE TABLE

PROJECT DIRECTORY

PROPERTY OWNER: MR. NICK ZMAY 151 LAUREL STREET #409 SAN CARLOS, CA 94010 TEL: (650) 430-0075	STRUCTURAL: CHU DESIGN ASSOCIATES, INC. 55 W. 43RD AVE. SAN MATEO, CA 94403 TEL: (650) 345-9286, EXT. 101	RECYCLING FACILITY: RECOLOGY OF THE COAST. 2305 PALMETTO AVE PACIFICA, CA 94044 TEL: (650) 355-9200 FAX: (650) 359-3520
ARCHITECTURAL: CHU DESIGN ASSOCIATES, INC. 55 W. 43RD AVE. SAN MATEO, CA 94403 TEL: (650) 345-9286, EXT. 100	TITLE 24: NRG COMPLIANCE, L.L.C. SARA SHARP GOLDSTEIN SANTA ROSA, CALIF. 95402 TEL: (707) 231-6957 E-MAIL: sara@nrgcompliance.com	
LAND SURVEYOR: MacLEOD AND ASSOCIATES 965 CENTER STREET SAN CARLOS, CA 94010 TEL: (650) 593-8500	GRADING & DRAINAGE: BERRY & ASSOCIATES 1733 WOODSIDE ROAD, SUITE 335 REDWOOD CITY, CA 94061 TEL: (650) 368-0750, FAX: (650) 368-1810	
LANDSCAPE DESIGN: MR. NICK ZMAY 151 LAUREL STREET #409 SAN CARLOS, CA 94010 TEL: (650) 430-0075	FIRE SPRINKLER DESIGN: FIRE GUARD 1431 PARKWOOD AVE. SAN MATEO, CA 94403 TEL: (650) 113-0108	

LOCATION MAP



NOTE : SITE LOCATION

CONTACT CITY ARBORIST'S RECOMMENDATIONS WILL BE IMPLEMENTED BASED ON THE PRE-CONSTRUCTION MEETING :

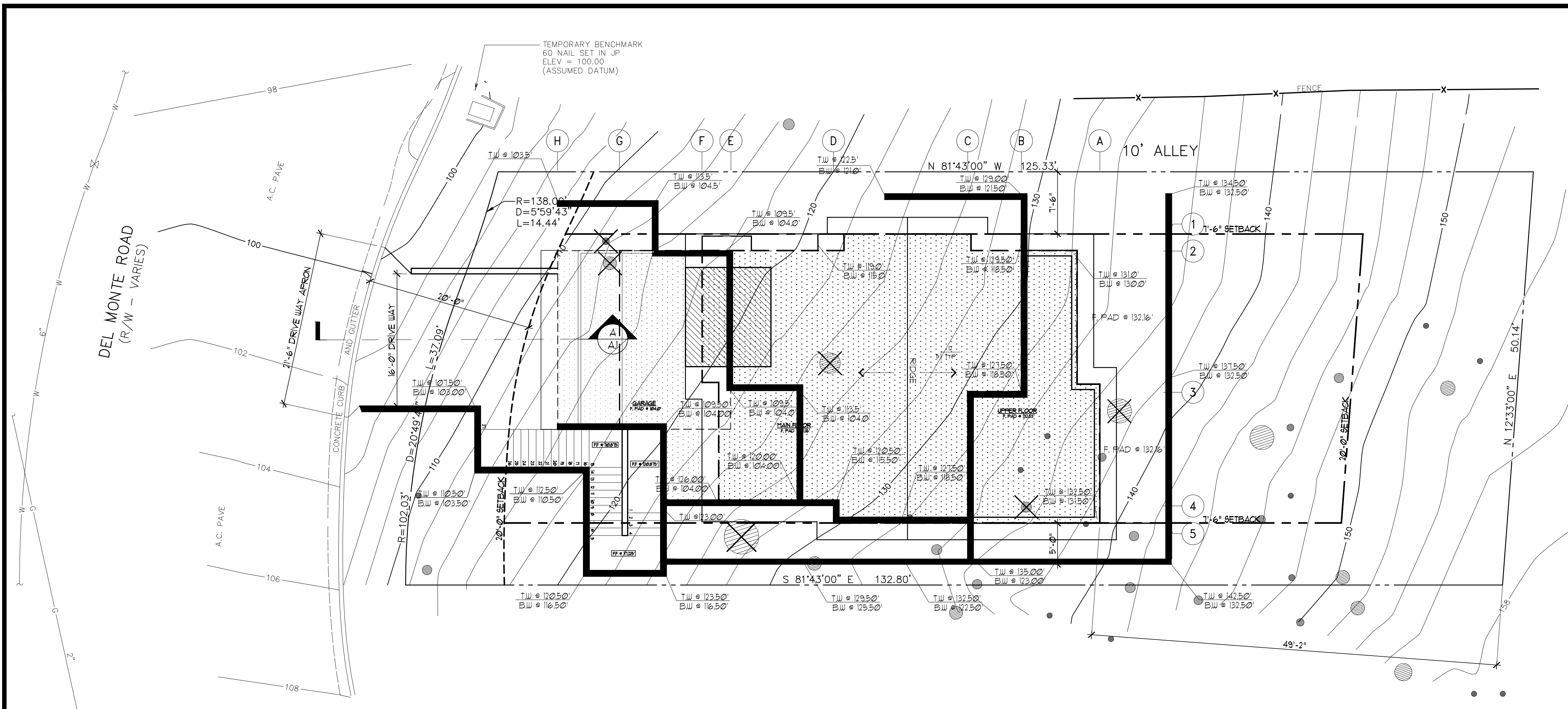
1. THE DOWNSPOUT DRAIN LINE TRENCH LOCATION WILL BE ADJUSTED TO ACHIEVE A DISTANCE OF 9 FEET FROM THE TREES TO BE RETAINED.
2. AN ACTIVE DOMESTIC WATER SOURCE ON SITE WILL BE PROVIDED BEFORE EXCAVATING AND WILL BE AVAILABLE DURING CONSTRUCTION FOR PERIODIC TEMPORARY IRRIGATION OF TREES BEING RETAINED.
3. REAR PATIO/ RETAINING WALL/ DRAIN CURTAIN/ STAIR CONFIGURATION WILL BE CONFIRMED WITH THE CITY ARBORIST. THE EXCAVATION WILL BE PERFORMED MANUALLY.

ALL PLANS AND CALCULATIONS PRIOR TO APPROVAL SHALL BE OBTAINED FROM THE MID-PENINSULA WATER DISTRICT AT 650-591-8941, BEFORE SUBMITTING PLANS TO THE BELMONT DEPARTMENT FOR WATER METER SIZING AND BACKFLOW PREVENTION FOR THE FIRE SUPPRESSION SYSTEM.

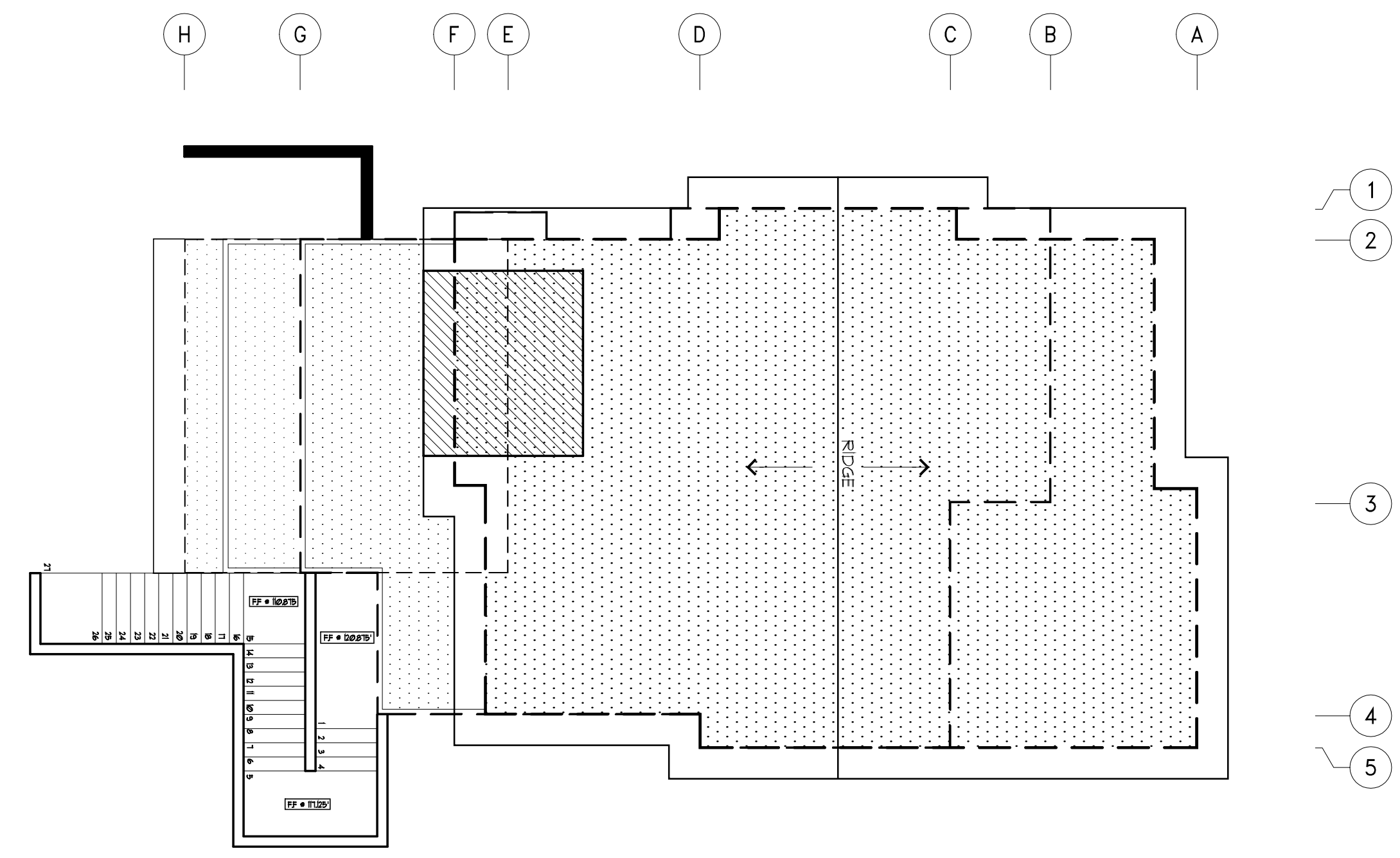
DRIVEWAY NOTES :

TRANSITIONS IN DRIVEWAY SLOPE SHALL BE MITIGATED WITH VERTICAL CURVES INSTEAD OF ABRUPT CHANGES IN SLOPE. THE VERTICAL CURVES SHALL BE APPROXIMATED AS A CIRCLE WITH A 50'-FOOT RADIUS

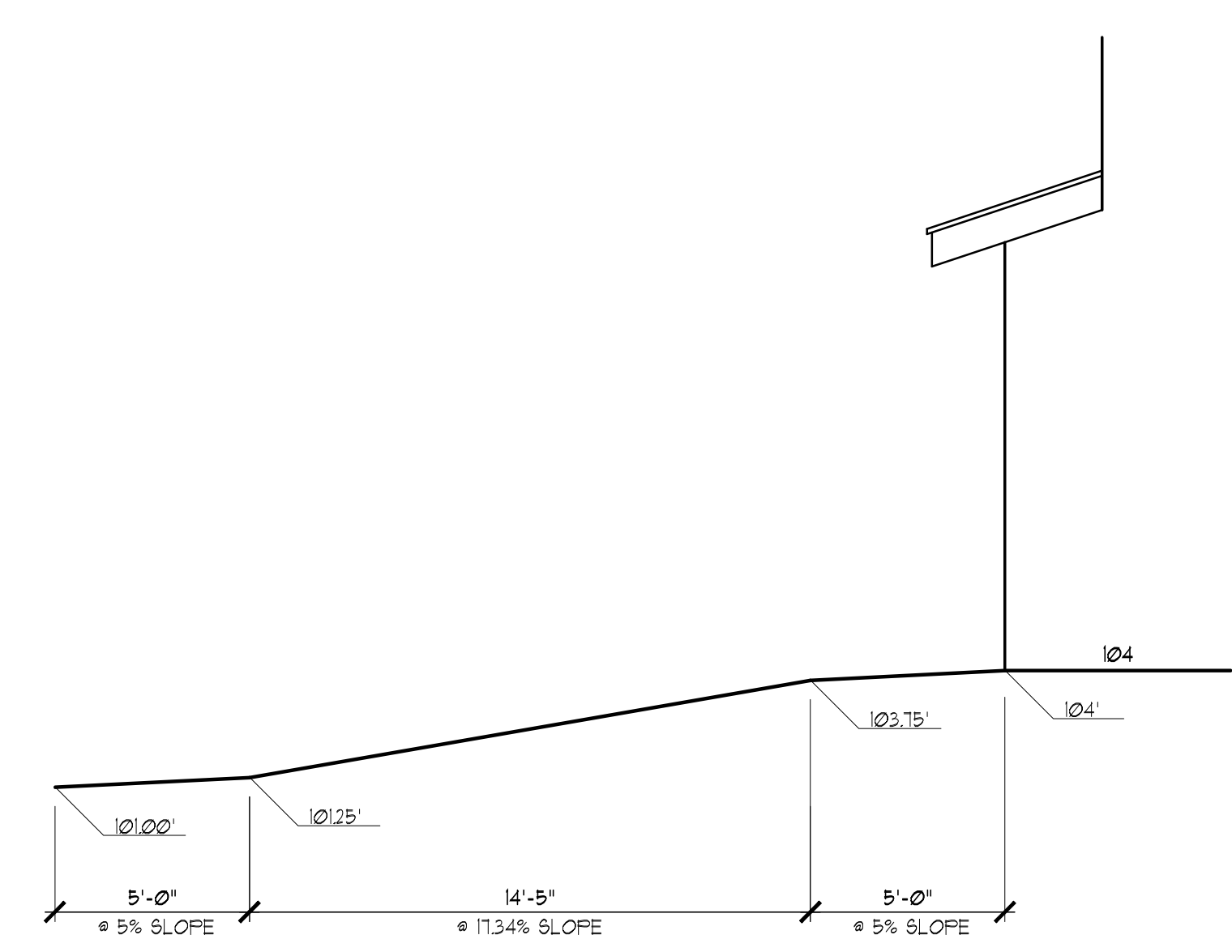
CONTRACTOR / OWNER BUILDER SHALL SUBMIT CONSTRUCTION WASTE MANAGEMENT PLAN PER CAL-GREEN SECTION 4.408.2 (OR IN ACCORDANCE WITH THE LOCAL ORDINANCE). DIVERT A MINIMUM OF 50% OF THE CONSTRUCTION WASTE TO RECYCLE OR SALVAGE PER SECTION 4.408.1.



SITE PLAN
SCALE: 1/8"=1'-0"



ROOF PLAN
SCALE: 1/8"=1'-0"



DRIVEWAY PROFILE
SCALE: 1/4"=1'-0"

HINKLEY & R.

HINKLEY LIGHTING, INC.
33200 PIN OAK PARKWAY | AVON LAKE, OHIO 44013
(PH) 440.653.9550 | (F) 440.653.9555
HINKLEY.LIGHTING.COM | FREDRICKRAMOND.COM



SHELTER 1326BK	
BLACK	
WIDTH:	4.5"
HEIGHT:	15.5"
WEIGHT:	3.0 LBS
MATERIAL:	SOLID ALUMINUM
GLASS:	CLEAR SEEDY
BACKPLATE WIDTH:	4.5"
BACKPLATE HEIGHT:	12.0"
SOCKET:	1-50W GU-10 (INCLUDED)
DARK SKY:	YES
NOTES:	PATENT: US PATENT D668 413 S I
EXTENSION:	4.8"
TTO:	5.8"
CERTIFICATION:	CAJIS WET RATED
VOLTAGE:	120V
LPC:	640665132601

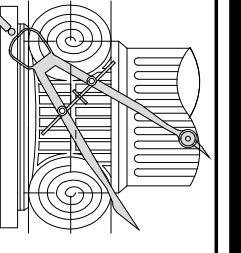
AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE, ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR 'LIFE A.G.L.O.W.'

lifeAGLOW®

A Dark Sky Compliant Light Fixture
No scale

REVISIONS	BY

CHU DESIGN ASSOCIATES INC.
55 W. 43rd AVENUE
SAN MATEO, CALIFORNIA 94403
TEL: (650) 345-9286
FAX: (650) 345-9287

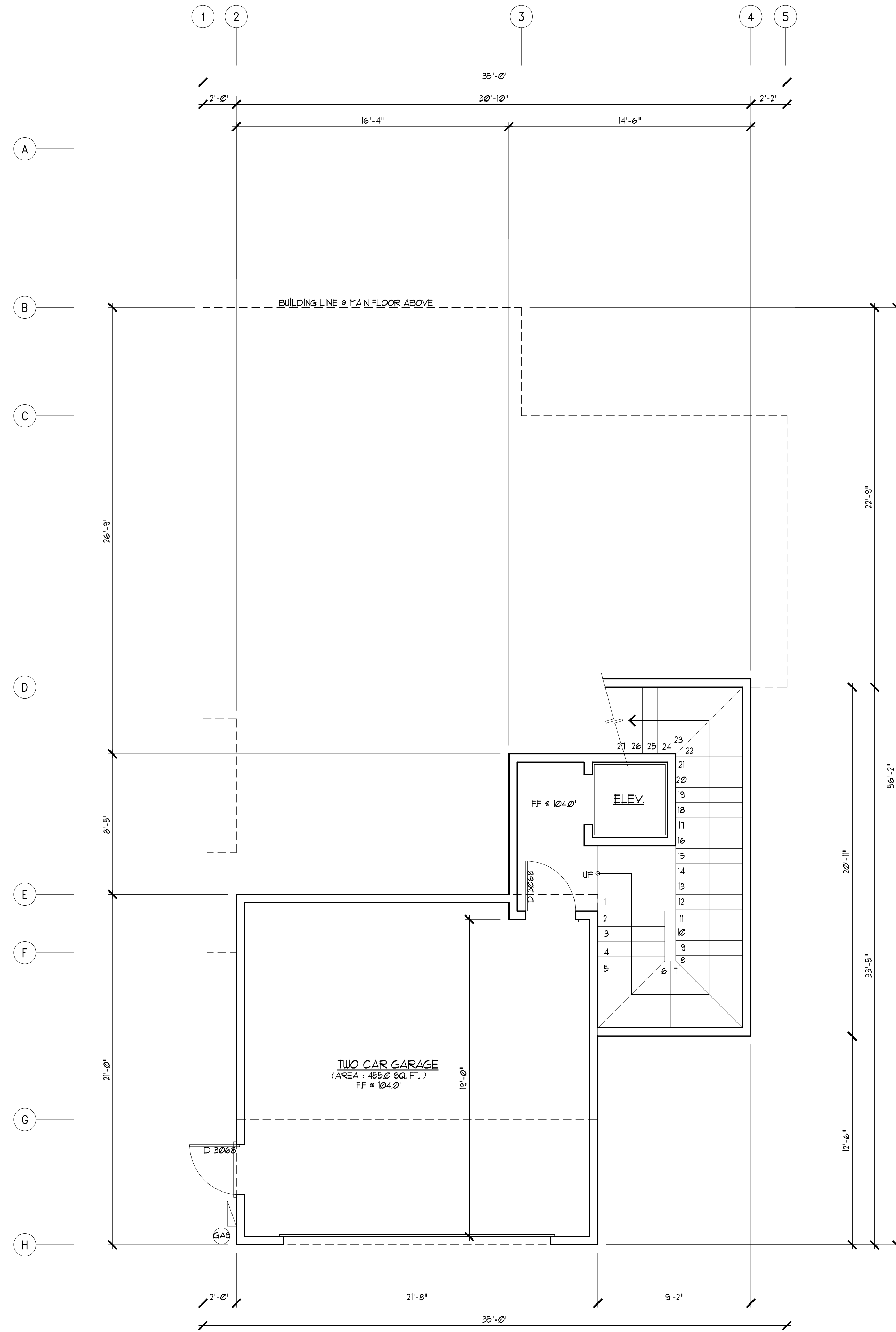
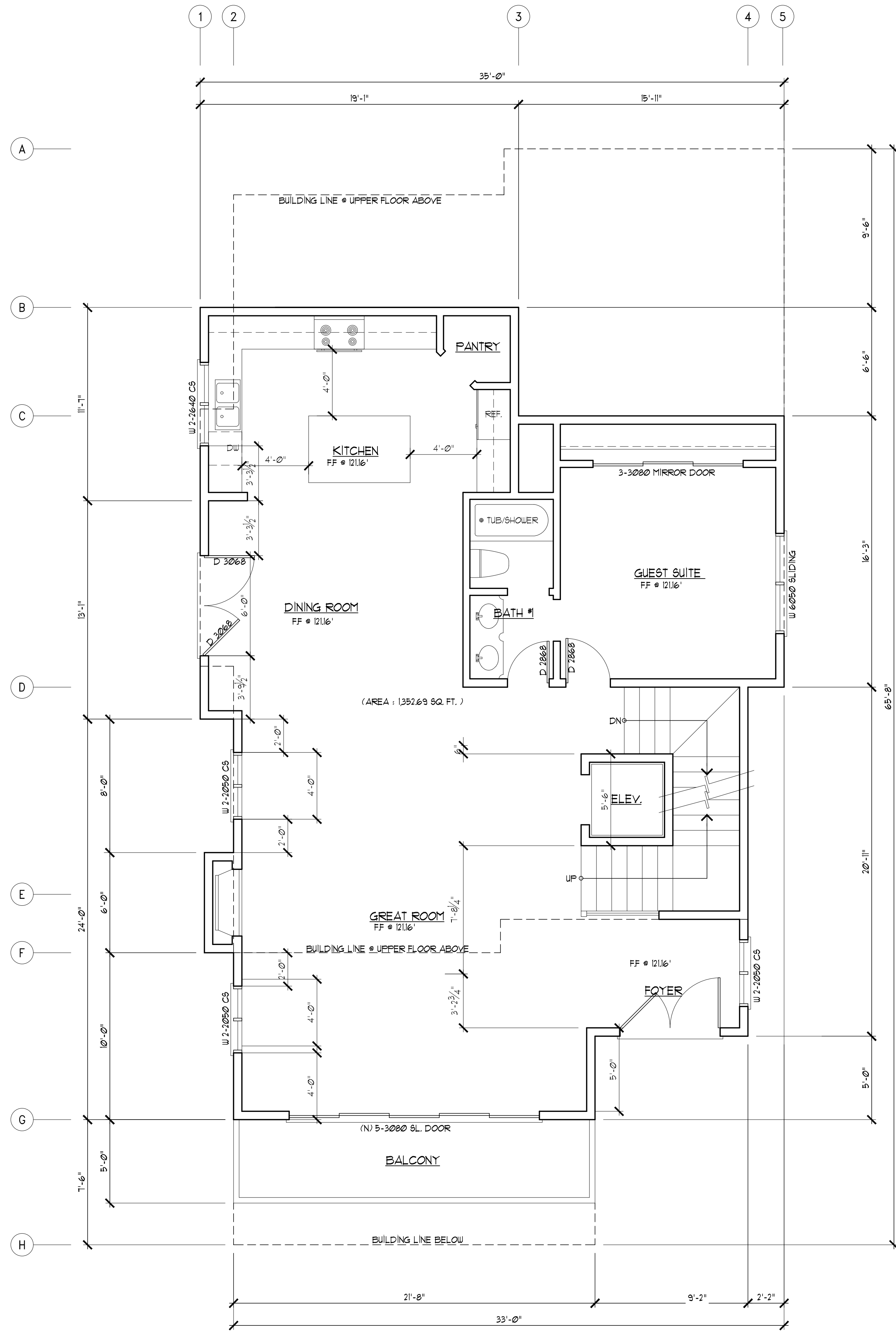


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NEW RESIDENCE
Owner: Mr. Nick Zmay
Del Monte Road El Granada, CA 94018
Tel.: 650-430-0075

DATE: Feb. 7, 2019
SCALE: AS NOTED
DRAWN: JC
FOR: ZMAY
SHEET NO:

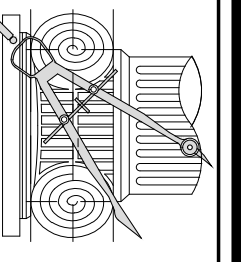


MAIN FLOOR PLAN
SCALE: 1/4"=1'-0"

LOWER FLOOR/ GARAGE PLAN
SCALE: 1/4"=1'-0"

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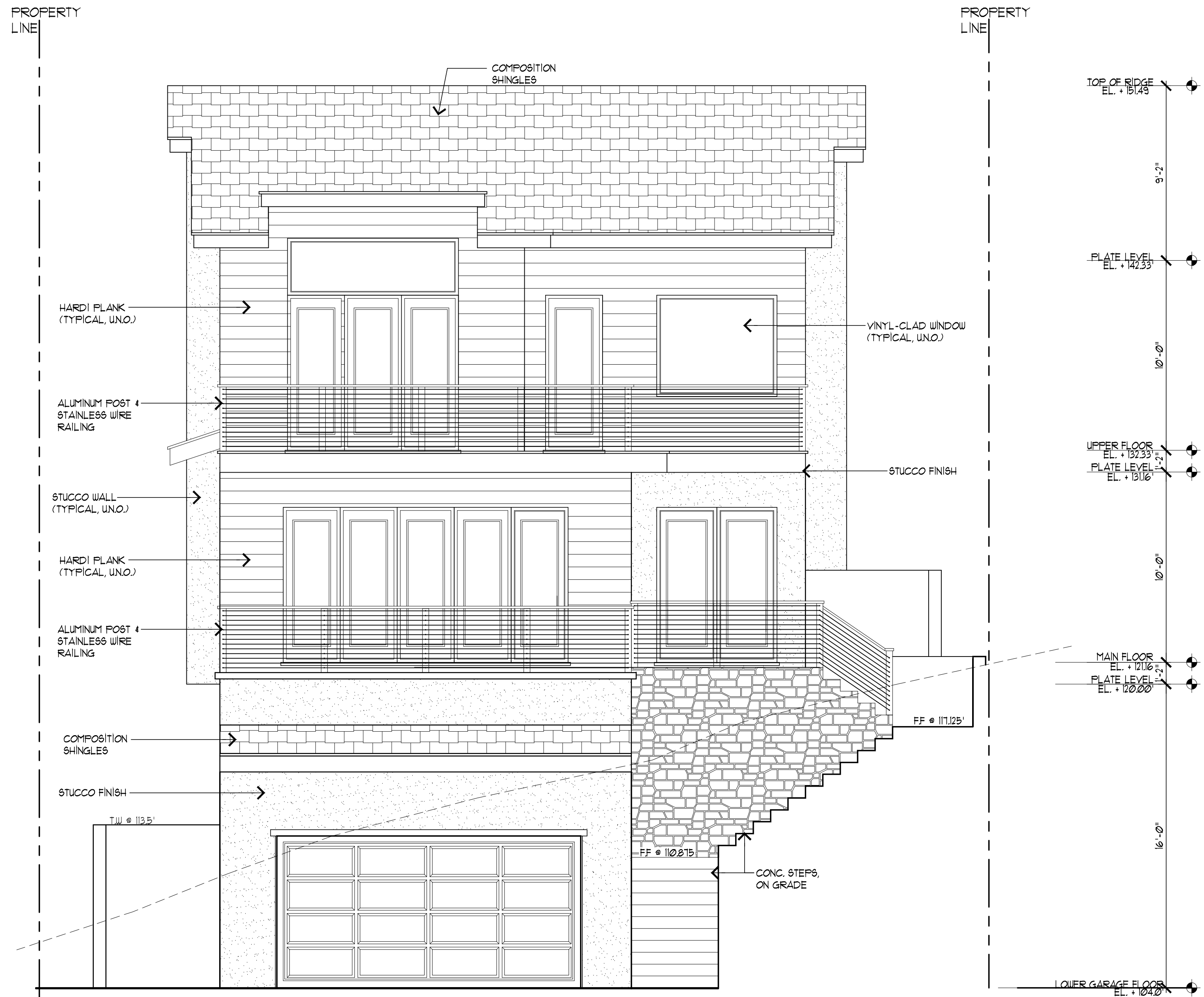
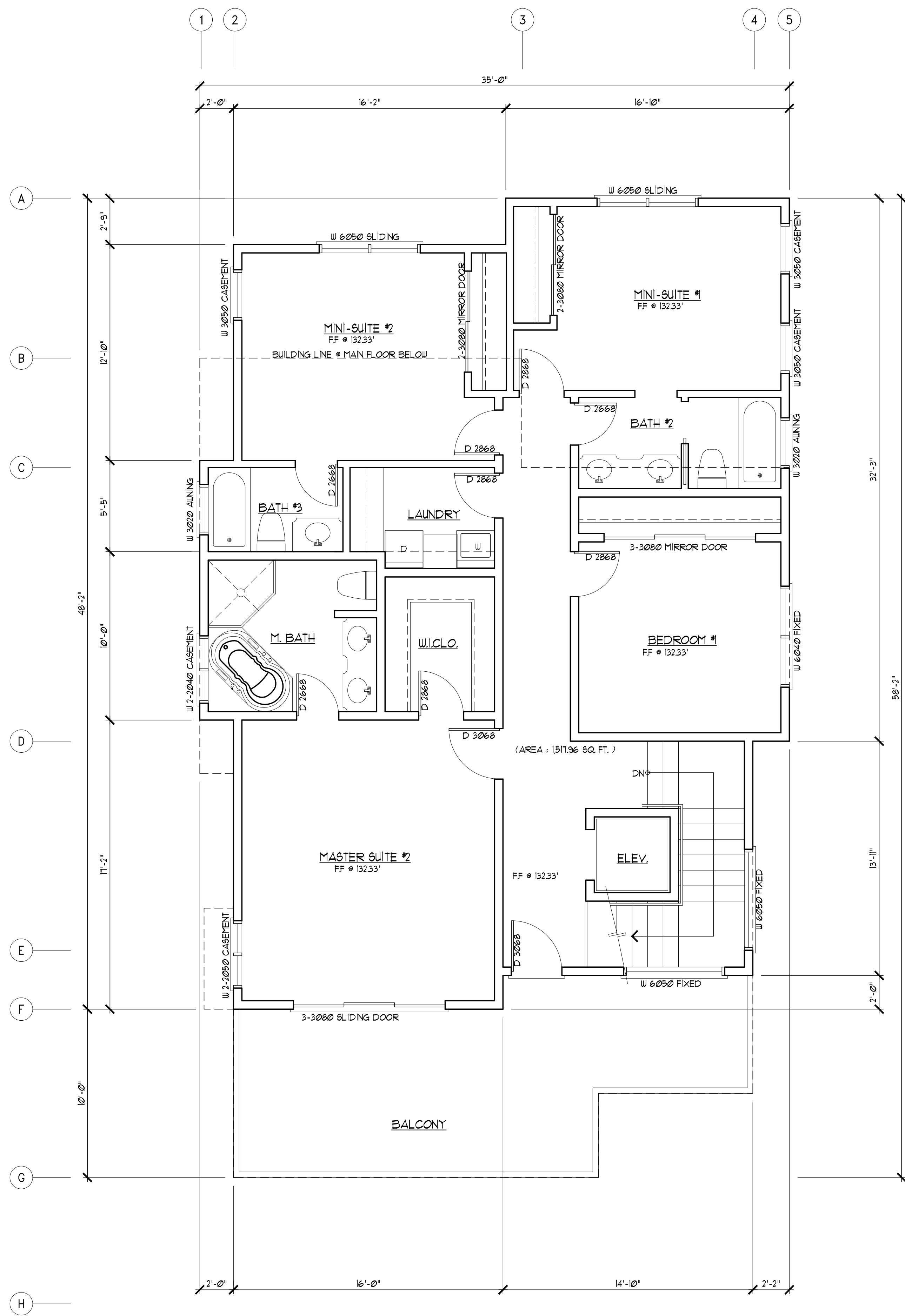
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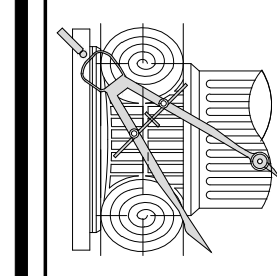
DATE:	Sept. 15, 2016
SCALE:	AS NOTED
DRAWN:	JC
FOR:	ZMAY
SHEET NO.	A.2

A.2



REVISIONS	BY

CHU DESIGN ASSOCIATES INC.
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 SAN MATEO, CALIFORNIA 94403
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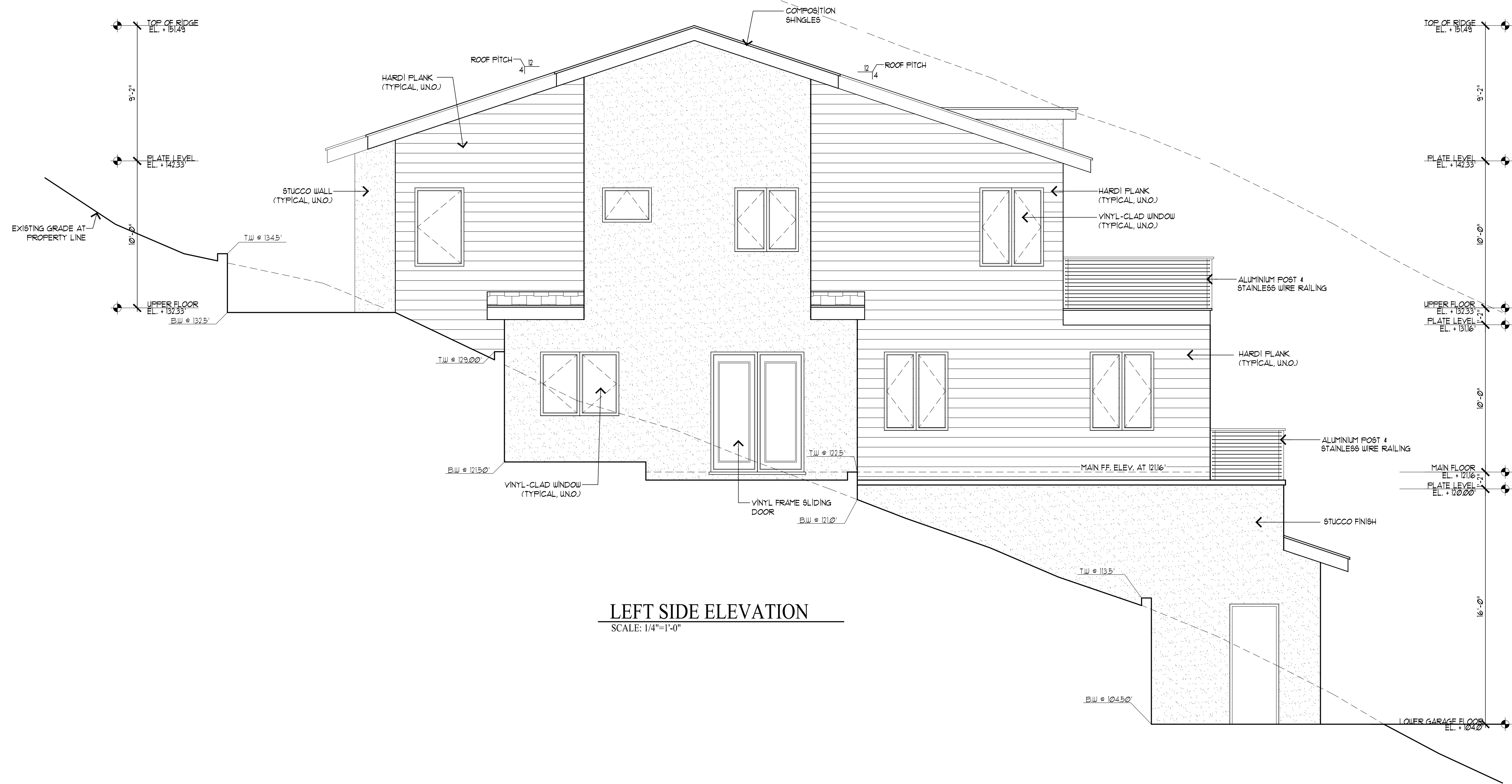


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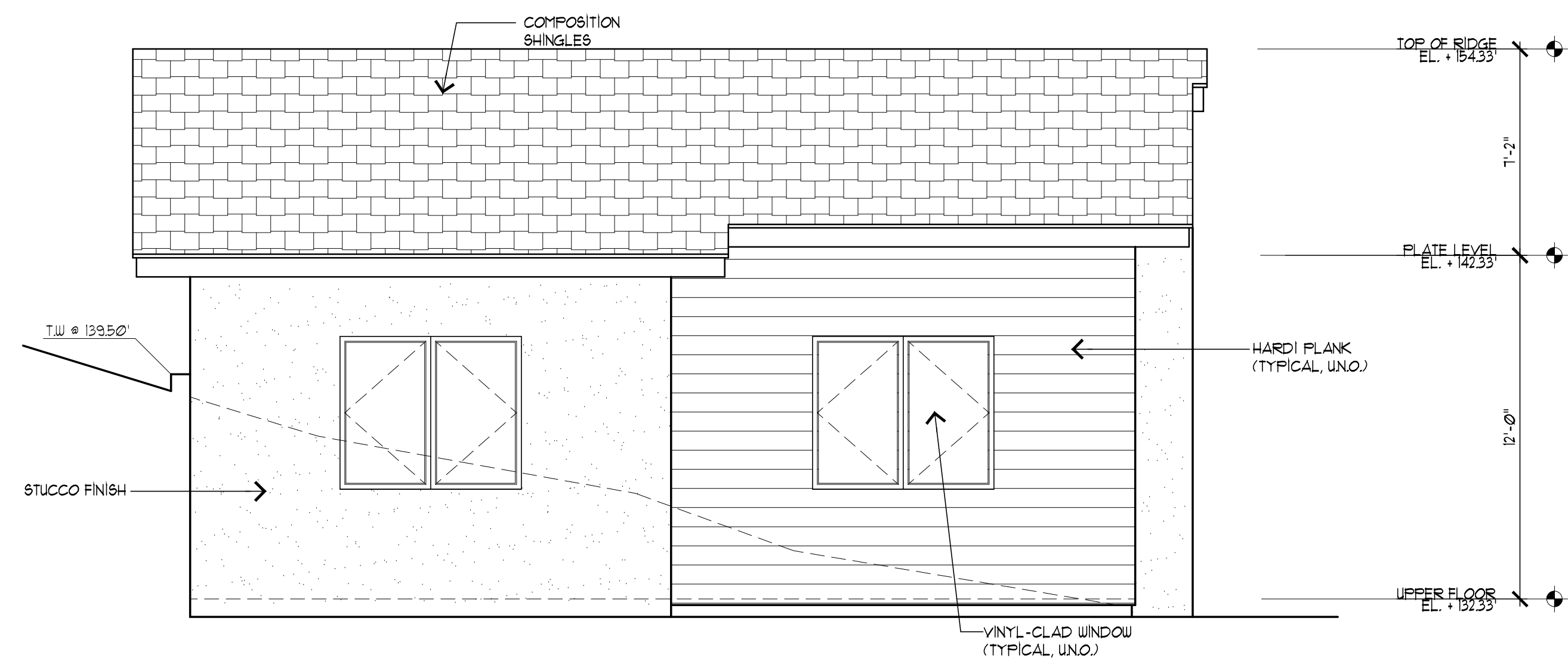


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 Del Monte Road El Granada, CA 94018
 Tel.: 650-430-0075

DATE:	Sept. 15, 2016
SCALE:	AS NOTED
DRAWN:	JC
FOR:	ZMAY
SHEET NO.	A.3



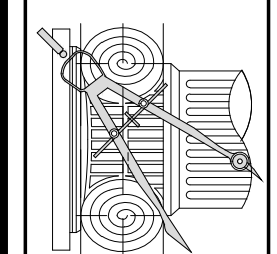
LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"

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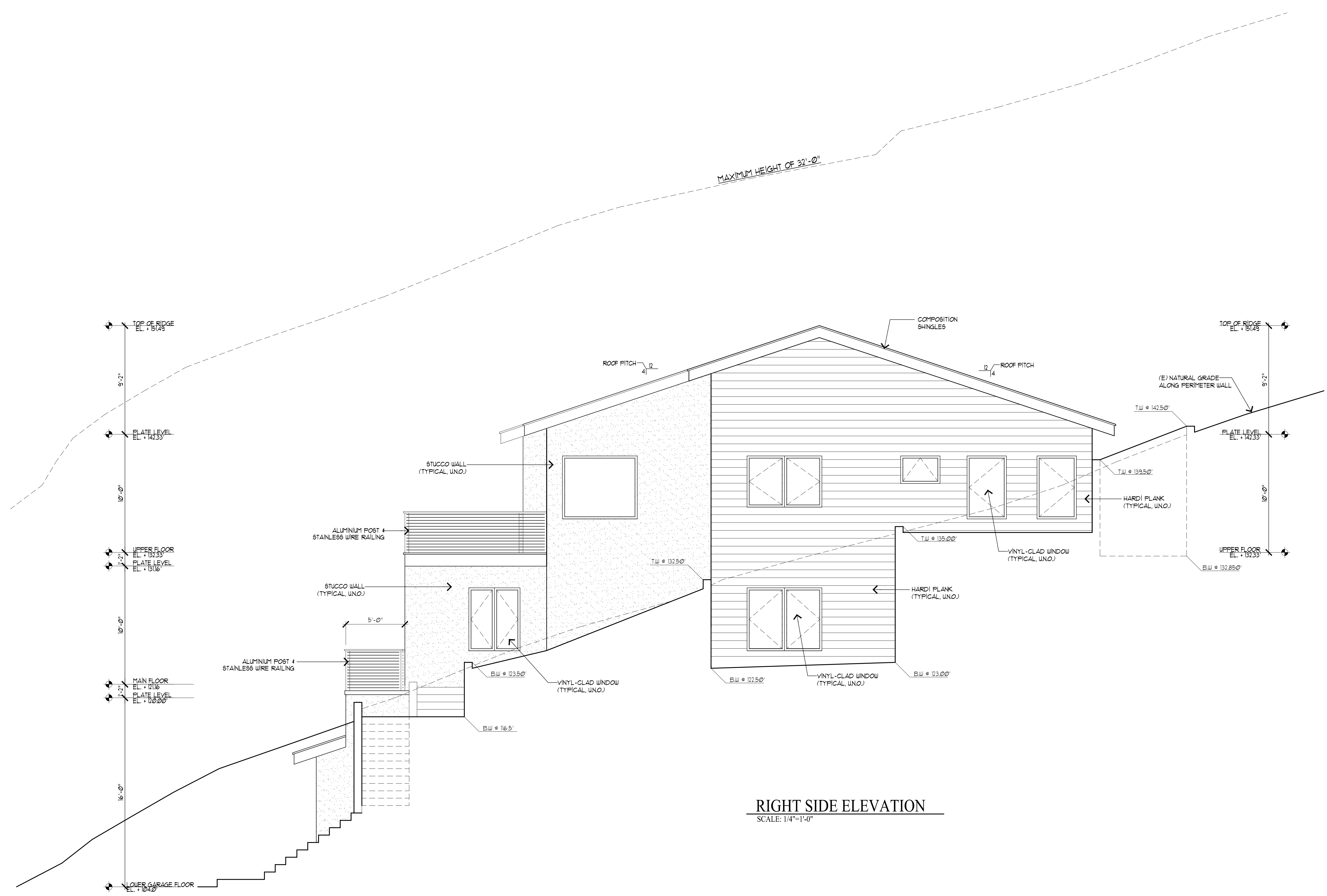


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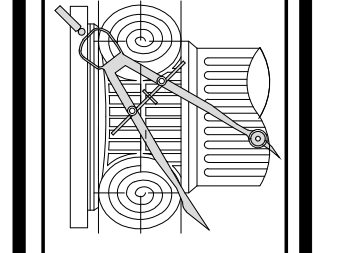
DATE: Sept. 15, 2016
SCALE: AS NOTED
DRAWN: JC
FOR: ZMAY
SHEET NO.



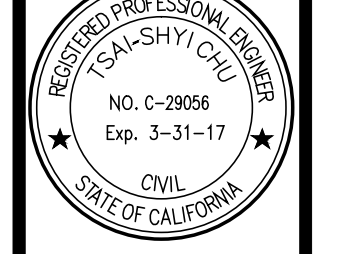
RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

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SAN MATEO, CALIFORNIA 94403
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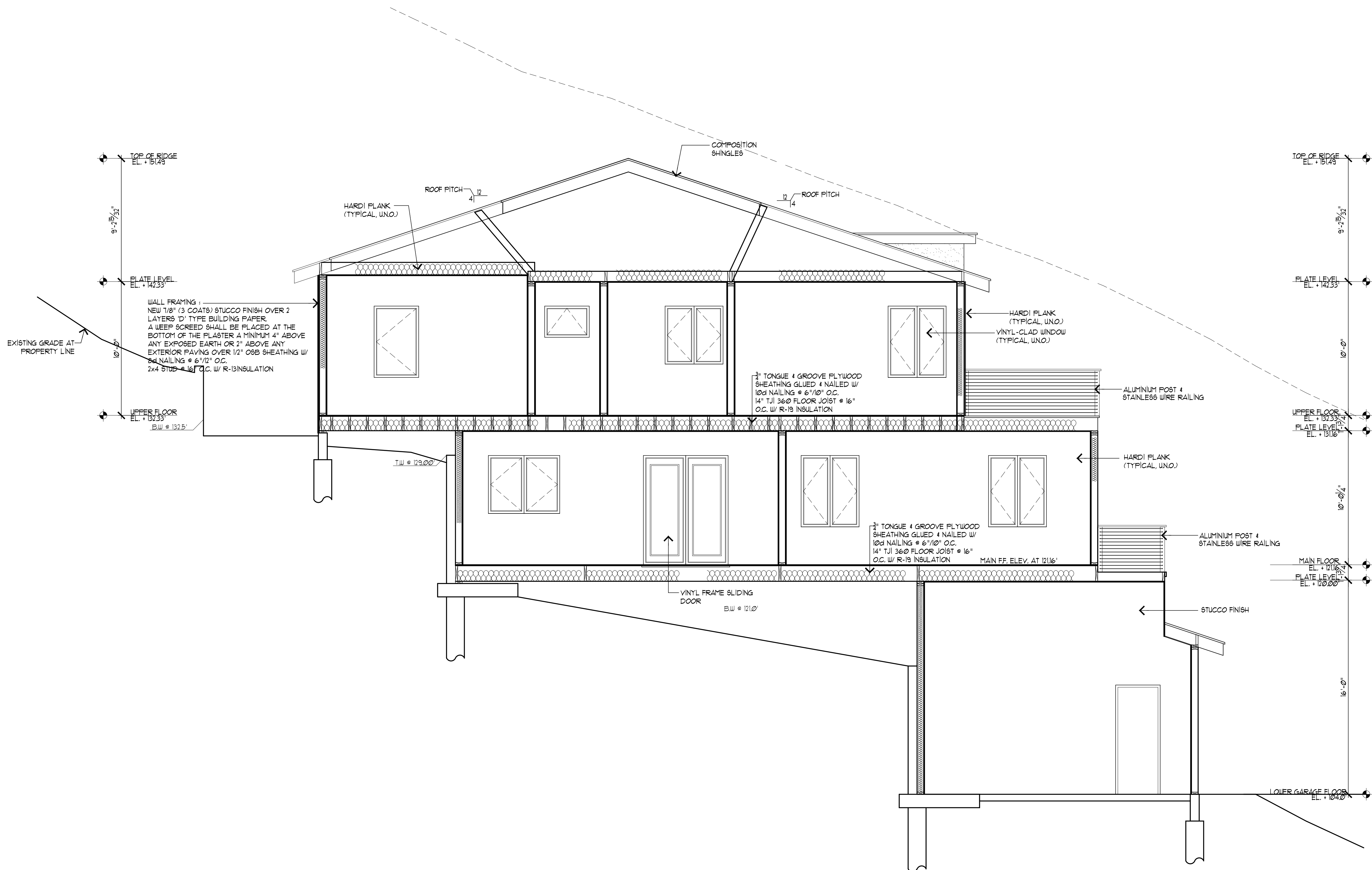
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SCALE:	AS NOTED
DRAWN:	JC
FOR:	ZMAY
SHEET NO.:	

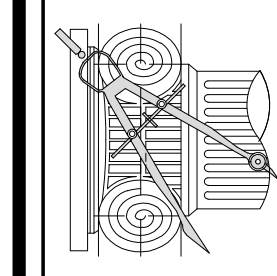
A.5
OF SHEETS



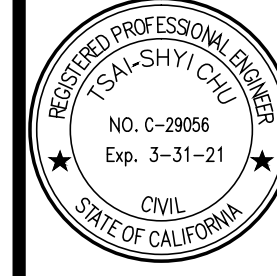

BUILDING CROSS SECTION
 SCALE: 1/4"=1'-0"

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 Tel. : 650-430-0075

DATE: Feb. 7, 2019
 SCALE: AS NOTED
 DRAWN: JC
 FOR: ZMAY
 SHEET NO.

A.6

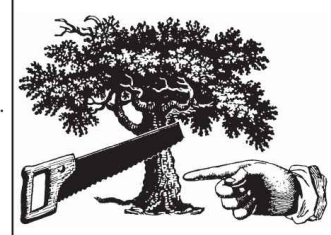
Simultaneous Development Application (if any): _____ PLN# _____
 San Mateo County Planning & Building Department • 455 County Center, 2nd Floor Redwood City, CA 94063
 Phone: 650-363-4161 Fax: 650-363-4449

Application for Permit to Remove Tree(s)

Sections 11.000 et seq and 12.000 et seq of the San Mateo County Ordinance Code.

HERITAGE TREES(S) SIGNIFICANT TREES(S)

Property Owner: _____
 Mailing Address: _____ ZIP code: _____
 Telephone: _____ Email: _____
 Applicant (if different): _____
 Mailing Address: _____ ZIP code: _____
 Telephone: _____ Email: _____
 Address where tree(s) located: _____ Parcel Number: _____



Date of Application: _____
 10 Day Period of Posted Notice
 From: _____
 To: _____

Stem Diameter at Circumference (at 4.5 ft. height)	Kind of tree(s)	Heritage Tree? (Yes / No)	Health of tree(s)	Reason for Removal/Trimming

REMOVAL PLAN:

1. Method of removal: By Owner
 By Tree Removal Service.
 Name: _____ Phone: _____

2. Disposal of tree debris: All debris to be removed from site by Tree Removal Service
 All/some debris to remain on site. Purpose: _____

The information contained in the application is accurate and true to the best of my knowledge. I understand that an approved permit is conditional. Further, the decision on this application may be appealed to the San Mateo County Planning Commission. Authority to remove or trim a tree is effective only after the approval appeal period has expired.

Applicant's Signature _____

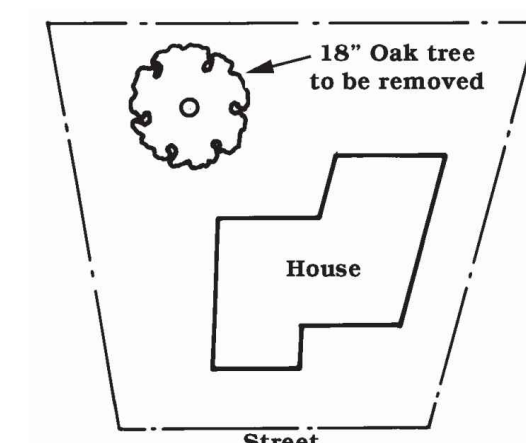
Public Notification of this application request will be sent to all property owners within 100 feet of the project site and in addition, to the Mid-Coast Community Council if your project site is located in the Mid-Coast.

NOTE: All Tree Removal Applications must be submitted in person.

REMOVAL PLAN:

Sketch site plan (aerial view) of location of tree(s) and their drip-line(s) showing approximate property lines, nearby building locations, roads, other trees, and any proposed improvements or additions which necessitate tree removal/trimming. Please CIRCLE or LABEL tree(s) to be removed. (Attach extra Site Plan if necessary).

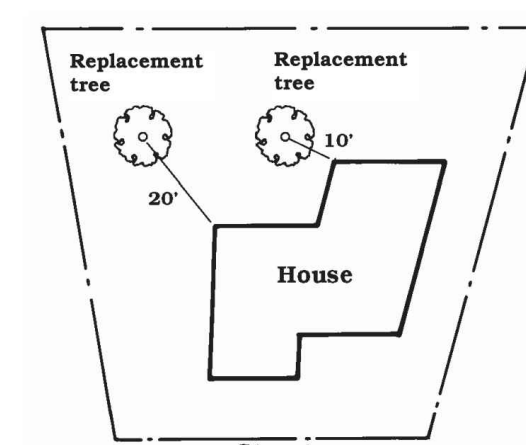
EXAMPLE:



REPLANTING PLAN:

The replanting plan shall show the location (including approximate distance to house), type, size (i.e. 15 gal., 10 gal., etc.) of proposed trees. In BaySide Design Review Districts, a 2:1 replacement ratio is required. In Planning Districts, a 1:1 replacement ratio is required. Please sketch the site plan indicating location, size and species of new tree(s) to replace tree(s) removed. Tree replacement must be completed within one (1) year of the permit's final approval.

EXAMPLE:



Note: Acceptance of this application by Planning Staff...

- Does not guarantee the approval of the proposed tree removal(s). Planning staff will grant a tree removal permit only if staff is able to make one or more of the findings listed in Section 12.023 of the "Regulation of Removal of Significant Trees". A copy of this ordinance can be obtained at the Planning counter or at www.co.sanmateo.ca.us. The decision to make these findings takes into consideration public comment, recommendation(s) of reviewing agencies, the reason for removal and documentation of the tree's health or hazard as indicated by an arborist (if required, see below).
- Does not imply that the application is "complete". Other items, such as a report from a certified arborist, may be requested in order to complete your application (Section 12.021) For example, an arborist report may be required in order to confirm or refute a property owner's claim that a tree is diseased or a hazard to safety or property.

Applicant to sign below, in acknowledgment of the above information.

Applicant _____

See last page for Tree Replacement Requirements

RECOMMENDED SPECIES OF REPLACEMENT TREES:

Trees on this list are either native* or California, or are appropriate for San Mateo County climate zone 14-17 as designated in the Sunset Western Garden Book. Any native species removed must be replaced with a native species.

Tree replacement ratios to trees removed shall be as noted below, unless where adjusted by the Community Development Director.

- To determine which species is best suited for your property or for planning instructions, contact a local nursery or a certified arborist.
- BaySide Design Review Districts
 2:1 replacement required; 15 gallon size trees (minimum)
 24 inch box = 1:1 replacement
 *RH/DR Zoning District = 3:1 replacement required; 5 gallon size trees (minimum)

Australian black pine	Flowering cherries, plants	Madrone tree*
Bishop pine*	Holly oak	Olive (fruitless)
Blue oak*	Incense cedar*	Red maple*
California bay	Indian longleaf pine	Red oak*
Canary island pine*	Israeli oak	Scotch pine
Coast live oak*	Italian stone pine	Shumard oak*
Cork oak*	Japanese black pine	Silk tree
Coulter pine*	Jakobite pine	Valley oak*
Douglas cedar*	London plane*	Western red cedar
Australian black pine	Flowering cherries, plants	Madrone tree*
Bishop pine*	Holly oak	Olive (fruitless)
Blue oak*	Incense cedar*	Red maple*
California bay	Indian longleaf pine	Red oak*
Canary island pine*	Israeli oak	Scotch pine
Coast live oak*	Italian stone pine	Shumard oak*
Cork oak*	Japanese black pine	Silk tree
Coulter pine*	Jakobite pine	Valley oak*
Douglas cedar*	London plane*	Western red cedar
Blackwood acacia	Douglas cedar*	Norfolk Island pine
Bushy yucca	London plane*	Peppermint willow
Carport	Madrone tree	Red maple
California buckeye*	Monterey cypress	
Coulter pine*	Monterey pine*	

Avoiding Tree Damage During Construction

Possible ways in which existing trees may be damaged during a construction project and methods for planning and facilitating the prevention of tree damage.

How Trees Are Damaged During Construction
 Heavy construction equipment can compact soil and dramatically reduce pore space. Compaction inhibits root growth, limits water penetration, and decreases oxygen needed for root survival.

Physical Injury to Trunk and Crown
 Construction equipment can injure the above-ground portion of a tree by breaking branches, tearing the bark, and wounding the trunk. These injuries are permanent and, if extensive, can be fatal.

Root Cutting
 Digging, grading, and trenching associated with construction and underground utility installation can be quite damaging to roots. A tree's root system can extend horizontally a distance 1 to 3 times greater than the height of a tree. It is important to cut as far away from a tree as possible to prevent damage that can compromise tree health and stability.

Soil Compaction
 An ideal soil for root growth and development contains about 50 percent pore space for water and air movement. Heavy construction equipment can compact soil and dramatically reduce pore space.

Smothering Roots by Adding Soil
 The majority of fine water-and-mineral-absorbing roots are in the upper 6 to 12 inches (15 to 30 cm) of soil where oxygen and moisture levels tend to be best suited for growth.

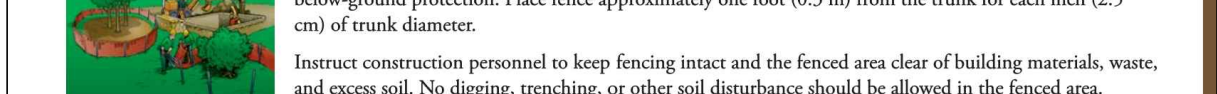
Exposure to the Elements
 Trees in a forest grow as a community, protecting each other from the elements. The trees grow all with long, straight trunks and high canopies. Removing neighboring trees during construction exposes the remaining trees to increased sunlight and wind which may lead to sunscald or breakage of limbs and stems.

Getting Advice
 Not all trees on the building site can or should be preserved. Your arborist can assess the health and structural integrity of trees on your property and suggest measures to preserve and protect them.

Planning
 Your arborist and builder should work together early in the planning phase of construction. Sometimes small changes in the placement or design of your house or driveway can make a great difference in whether a critical tree will survive.

Erecting Barriers
 Treatment for construction damage is limited, so it is vital that trees be protected from injury. Set up sturdy fencing around each tree that is to remain, as far out from the tree trunk as possible to provide above- and below-ground protection. Place fence approximately one foot (0.3 m) from the trunk for each inch (2.5 cm) of trunk diameter.

Instruct construction personnel to keep fencing intact and the fenced area clear of building materials, waste, and excess soil. No digging, trenching, or other soil disturbance should be allowed in the fenced area.



Limiting Access
 If possible, allow only one access route on and off the property. All contractors must be instructed where they are permitted to drive and park their vehicles. Often this same access drive can later serve as the route for utility wires, water lines, or the driveway.

Specifications
 All measures intended to protect your trees must be written into the construction specifications and should detail exactly what can and cannot be done to and around the trees. It is a good idea to post signs as a reminder.

Maintaining Good Communication
 Communicate your objectives clearly with your arborist, builder, and all subcontractors. Construction damage to trees is often irreversible.

Final Stages
 Careful planning and communicating with landscape designers and contractors is just as important as avoiding tree damage during construction. Irrigation system installation, grading, and planting bed cultivation can damage root systems.

Post-Construction Tree Maintenance
 Your trees will require several years to adjust to the injury and environmental changes that occur during construction. Stressed trees are more prone to health problems, such as disease and insect infestations. Talk to your arborist about continued monitoring and maintenance for your trees.

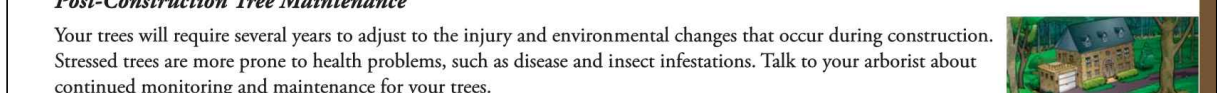
Despite the best intentions and most stringent tree preservation measures, injury to your trees may still occur. Your arborist can suggest remedial treatments to help reduce stress and improve the growing conditions around your trees.

This brochure is one in a series published by the International Society of Arboriculture as part of its Consumer Information Program. You may have additional interest in the following titles currently in the series:

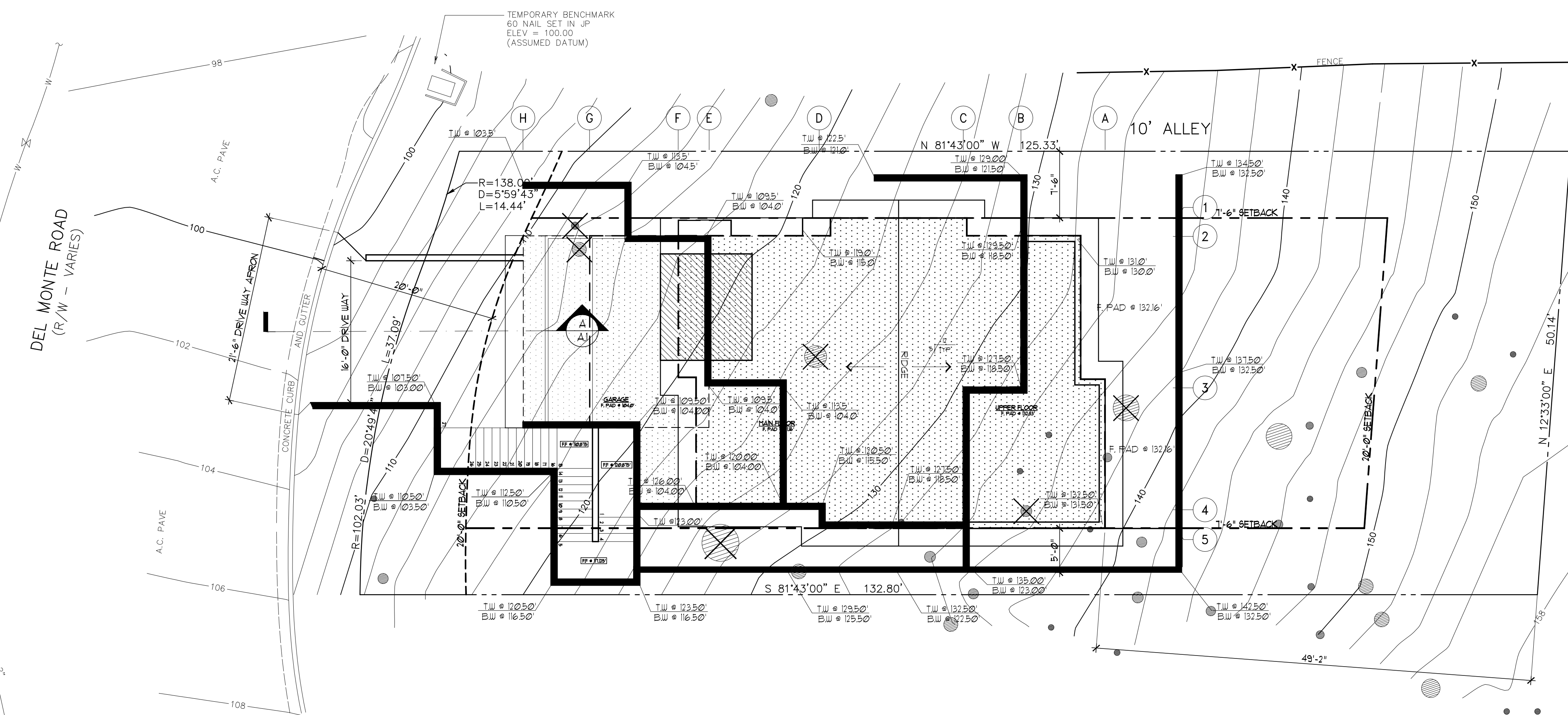
- Avoiding Tree and Utility Conflicts
- Avoiding Tree Damage During Construction
- Benefits of Trees
- Buying High-Quality Trees
- Stress and Disease Problems
- Master Tree Care
- New Tree Planting
- Plant Health Care
- Pruning-Making Techniques
- Planting
- Pruning Mature Trees
- Planting Young Trees
- Recognizing Tree Risk
- Transplanting Trees Damaged by Construction
- Tree Selection and Placement
- Trees and Turf
- Tree Values
- Why Hire an Arborist
- Why "Sopping" Hurts Trees

E-mail inquiries: isae@isa-arb.com

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 Developed by the International Society of Arboriculture (ISA), a non-profit organization supporting tree care research around the world and dedicated to the care and preservation of shade and ornamental trees. For further information, contact ISA, P.O. Box 3129, Champaign, IL 61826-3129, USA.
 E-mail inquiries: isae@isa-arb.com



www.isa-arb.com • www.treecare.org



TREE PROTECTION PLAN

SCALE: 1/8"=1'-0"

REVISIONS BY

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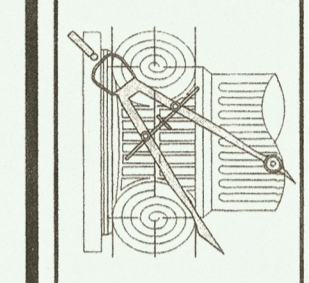
REGISTERED PROFESSIONAL ENGINEER
 CHU SHIYU
 NO. C-29056
 Exp. 3-31-21
 CIVIL
 STATE OF CALIFORNIA

NEW RESIDENCE
 Owner: Mr. Nick Zmay
 Del Monte Road El Granada, CA 94018
 Tel.: 650-430-0075

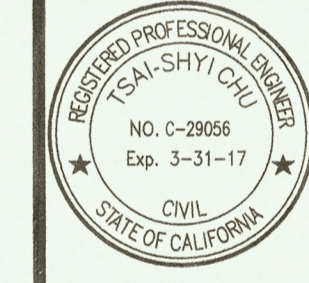
DATE: Feb. 7, 2019
 SCALE: AS NOTED
 DRAWN: JC
 FOR: ZMAY
 SHEET NO: T.1
 OF SHEETS

REVISIONS	BY

CHU DESIGN ASSOCIATES INC.
 55 W. 43rd AVENUE
 SAN MATEO, CALIFORNIA 94403
 TEL: (650) 345-9286
 FAX: (650) 345-9287



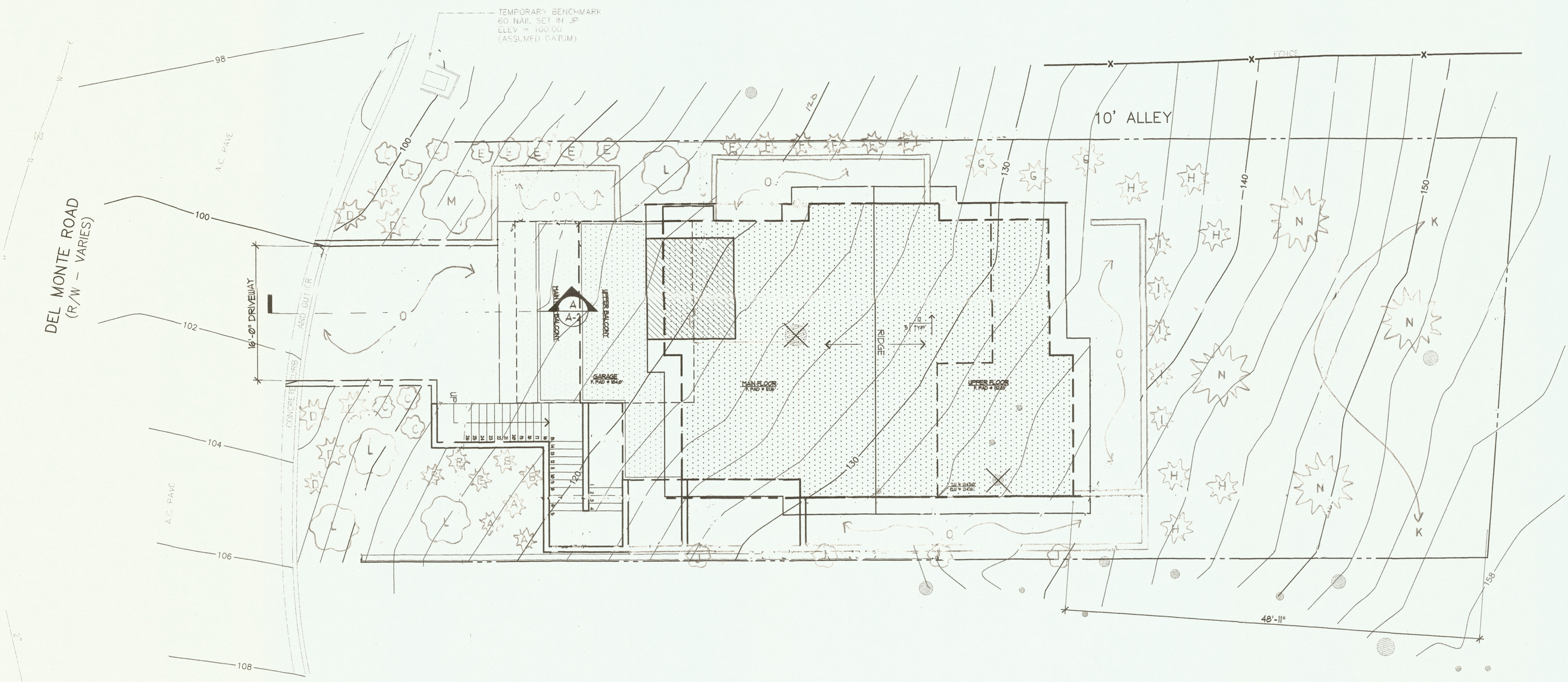
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NEW RESIDENCE
 Owner: Mr. Nick Zmay
 Del Monte Road El Granada, CA 94018
 Tel.: 650-430-0075

DATE: Sept. 15, 2016
 SCALE: AS NOTED
 DRAWN: JC
 JOB: ZMAY
 SHEET NO.

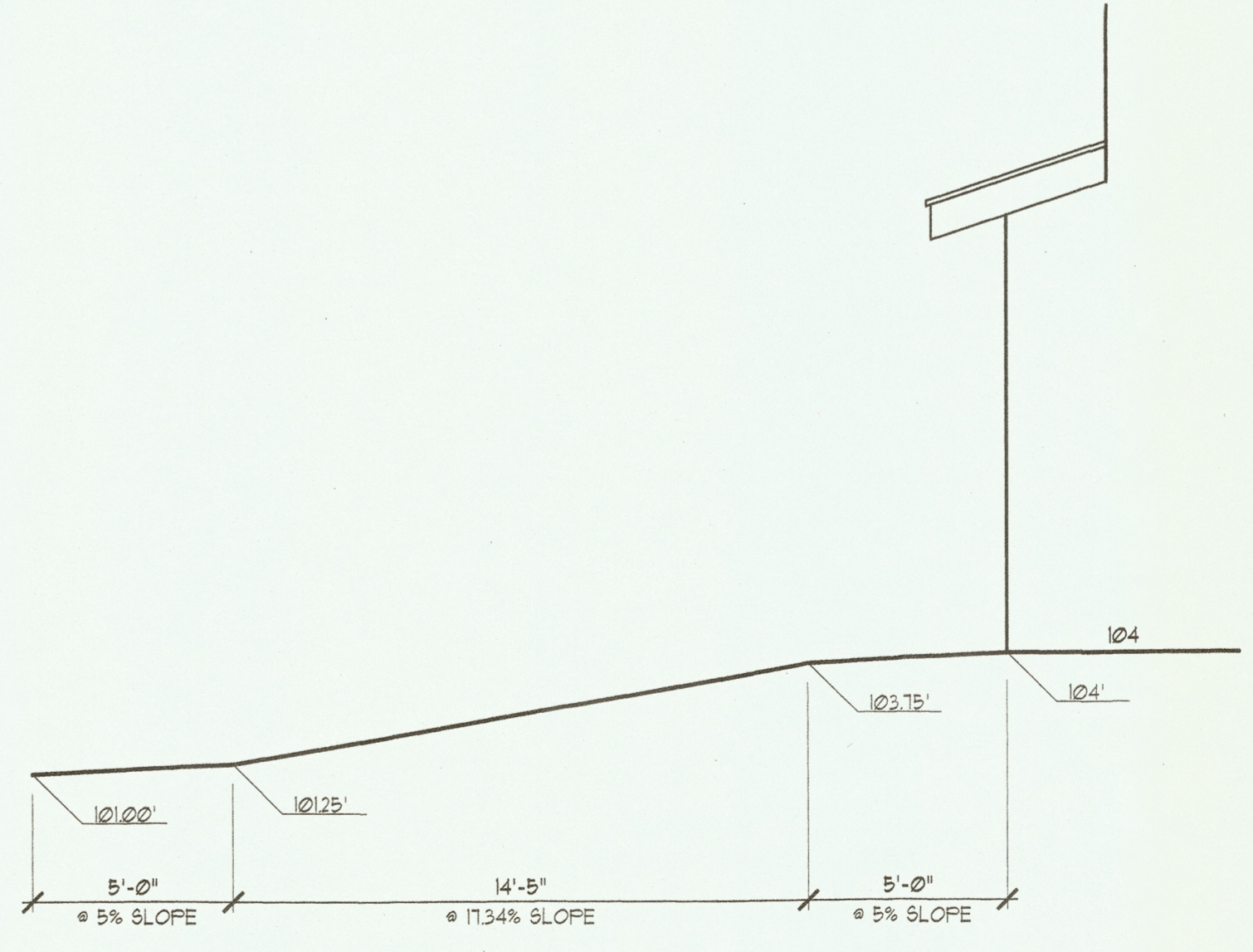
L.1
 OF SHEETS



LANDSCAPE PLAN
 SCALE: 1/8"=1'-0"

Rick Lopez Landscapes, Inc.
 P.O. Box 2215
 Redwood City, Ca. 94064
 Lic.# 878814
rlopezlandscapes@sbcglobal.net
 650-368-9749

- LEGEND**
 PLANT, TREE AND HARDSCAPE
- A. PHOTINIA FRASERI 1 gal.
 - B. LIGUSTRUM JAPONICM 1 gal.
 - C. TRACHECOSPERMUM JASIMINODES 5 gal.
 - D. DIETES VEGETA 1 gal.
 - E. DODONAEA VISCOSA 1 gal.
 - F. TECOMARIA CAPENSIS 1 gal.
 - G. PODCARPUS GRACILIOR 5 gal.
 - H. GENISTA SPACHIANA 5 gal.
 - I. ROSMARINUS OFFICINAKIS 1 gal.
 - J. LEPTOSPERMUM SCORARIUM 1 gal.
 - K. HEDERA HELIZ ground cover
 - L. KRAUTER VESUVIUS 15 gal.
 - M. AKEDOND FLOWERING CHERRY 24" box
 - N. SEQUOIA SEMPERVIRENS 15 gal.
 - O. PERVIOUS PAVERS



A DRIVEWAY PROFILE
 SCALE: 1/4"=1'-0"