


0.14 0 0.07 0.14 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:4,513



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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Planning Permit Application Form

455 County Center, 2nd Floor • Redwood City CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849
www.co.sanmateo.ca.us/planning

PLN: 2017-00494

BLD:

Applicant: **KURT SIMROCK**
Mailing Address: **501 THIRD STREET #200**
SAN FRANCISCO, CA Zip: **94107**
Phone, W: **(415) 357-4400** H:
E-mail Address: **KURT@ARCANIMATECHITECTURE.COM**

Name of Owner (1): STEPHEN ROSSI	Name of Owner (2): ARANE BIKELON
Mailing Address: 247 SOLANO AVE	Mailing Address:
EL GRANADA	
CA Zip: 94018	Zip:
Phone, W:	Phone, W:
H:	H:
E-mail Address:	E-mail Address:

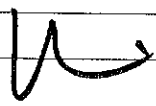
Project Location (address): 247 SOLANO AVE. EL GRANADA, CA 94018	Assessor's Parcel Numbers: 047072-270
Zoning: R-1, S-17, DR, CD	
	Parcel/lot size: 9,717 SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)
REMODEL / ADDITION - 367 SF
ACCESSORY STRUCTURE - 1000 SF

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):
EXISTING GENTLY SLOPING SITE

Describe Existing Structures and/or Development:
EXISTING SINGLE FAMILY RESIDENCE + 272 SF BARN

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature:
Owner's signature:
Applicant's signature: 

Application for Design Review by the County Coastside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Permit #: PLN 2017-00494

Other Permit #: _____

Applicant:

Name: KURT SIMROCK

Address: 501 THRO STREET, SUITE 200
SAN FRANCISCO Zip: 94107

Phone, W: (415) 357-4400 H: _____

Email: KURT@ARCANUMARCHITECTURE.COM

Owner (if different from Applicant):

Name: STEPHEN ROSSI & ARIANE BIGELOW

Address: _____
Zip: _____

Phone, W: _____ H: _____

Email: _____

Architect or Designer (if different from Applicant):

Name: _____

Address: _____ Zip: _____

Phone, W: _____ H: _____ Email: _____

Project location:

APN: 047-072-270

Address: 247 SOLANO AVE.

EL GUANADA, CA Zip: 94018

Zoning: R-1, S-17, DR, CD

Parcel/lot size: 9,717 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe):

(E) SINGLE FAMILY RESIDENCE

Project:

New Single Family Residence: _____ sq. ft.

Addition to Residence: 567 sq. ft.

Other: ACCESSORY STRUCTURE

1000 SF

Describe Project:

567 SF ADDITION TO (E) RESIDENCE
+ 1000 SF ACCESSORY STRUCTURE
(GARAGE)

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Material/Finish of Roads, Buildings, Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	<u>PTD. WD. HORIZ. SLANG / SHINGLES</u>	<u>YELLOW</u>	<input checked="" type="checkbox"/>
b. Trim	<u>PTD. WOOD</u>	<u>WHITE</u>	<input checked="" type="checkbox"/>
c. Windows	<u>CLAD WOOD</u>	<u>WHITE</u>	<input checked="" type="checkbox"/>
d. Doors	<u>CLAD WOOD</u>	<u>WHITE</u>	<input checked="" type="checkbox"/>
e. Roof	<u>TPO W/ GRAVEL</u>	<u>GREEN</u>	<input type="checkbox"/>
f. Chimneys			<input type="checkbox"/>
g. Decks & railings			<input type="checkbox"/>
h. Stairs	<u>CONCRETE / PAVES</u>	<u>GRAY</u>	<input checked="" type="checkbox"/>
i. Retaining walls	<u>STONE</u>	<u>CREAM / GRAY</u>	<input type="checkbox"/>
j. Fences	<u>WOOD</u>	<u>STAINED DARK</u>	<input type="checkbox"/>
k. Accessory buildings	<u>CORRUGATED MTL. / RECLAIMED WOOD</u>	<u>GREEN / BROWN</u>	<input type="checkbox"/>
l. Garage/Carport			<input type="checkbox"/>

Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

Findings

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.



Owner:

Applicant:

Date:

Date:

Environmental Information Disclosure Form

PLN 2017-00497
 BLD _____

Project Address: 247 SOLANO AVE.
EL GRANADA, CA 94018

Assessor's Parcel No.: 047 - 072 - 270

Zoning District: R-1, S-17, PK, CD

Name of Owner: STEPHEN ROSSI & JULIANE BIGELOW
 Address: 247 SOLANO AVE.
EL GRANADA CA Phone: _____

Name of Applicant: KURT SIMROCK
 Address: 501 THIRD STREET, # 200
SAN FRANCISCO CA Phone (415) 357-4400

Existing Site Conditions

Parcel size: 9717 SF

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). _____

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
		a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	X	b. Construction of a new multi-family residential structure having 5 or more units?
	X	c. Construction of a commercial structure > 2,500 sq.ft?
X		d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? <u>3</u>
X		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>± 50-75</u> c.y. Fill: _____ c.y.
	X	f. Subdivision of land into 5 or more parcels?
	X	g. Construction within a State or County scenic corridor?
	X	h. Construction within a sensitive habitat?
	X	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	X	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

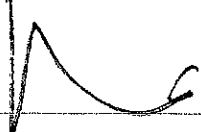
Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review		
Yes	No	Will the project involve:
		a. Construction outside of the footprint of an existing, legal structure?
	X	b. Exterior construction within 100-feet of a stream?
	X	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
	X	d. Land-use within a riparian area?
	X	e. Timber harvesting, mining, grazing or grading?
	X	f. Any work inside of a stream, riparian corridor, or shoreline?
	X	g. Release or capture of fish or commerce dealing with fish?
Please explain any "Yes" answers:		

3. National Pollutant Discharge Elimination System (NPDES) Review		
Yes	No	Will the project involve:
	X	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
	X	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

Declaration

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:  Date: _____
(Applicant may sign)

Application for a Coastal Development Permit

Companion Page

Applicant's Name: KURT SIMROCK

Primary Permit #: _____

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

2. Basic Information

Does the owner or applicant own any adjacent property not listed?

Yes No

If yes, list Assessor's Parcel Number(s):

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes No

If yes, explain (include date and application file numbers).

3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	<u>WOOD HORIZONTAL SIDING / SHINGLES</u>	<u>YELLOW</u>	<input checked="" type="checkbox"/>
b. Trim	<u>PND. WOOD</u>	<u>WHITE</u>	<input checked="" type="checkbox"/>
c. Roof	<u>TPO W/ GRAVEL (FLAT)</u>	<u>GRAY</u>	<input type="checkbox"/>
d. Chimneys	_____	_____	<input type="checkbox"/>
e. Accessory Buildings	<u>CORRUGATED METL / RECLAIMED WOOD</u>	<u>GRAY / BROWN</u>	<input type="checkbox"/>
f. Decks/Stairs	<u>CONCRETE & PAVING</u>	<u>GRAY</u>	<input checked="" type="checkbox"/>
g. Retaining Walls	<u>STONE</u>	<u>CREAM / GRAY</u>	<input type="checkbox"/>
h. Fences	<u>WOOD</u>	<u>STAINED DARK</u>	<input type="checkbox"/>
i. Storage Tanks	_____	_____	<input type="checkbox"/>

4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- | | Yes | No |
|---|-------------------------------------|-------------------------------------|
| a. Demolition of existing housing units? (If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. Beaches? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Sand Dunes? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g. Ridgetops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| j. Grading or alteration of landforms? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| k. Landscaping? 2500 SF | <input type="checkbox"/> | <input type="checkbox"/> |
| l. Signs? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| n. Areas subject to flooding? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- | | | |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Explain all Yes answers below. Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

5. Staff Use Only

California Coastal Commission Jurisdiction

A. Does the Proposed Project Involve:

- A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--
- Construction or grading within 100 feet of a stream or wetland?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--
- A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).

- | | |
|------------------------------|--|
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
|------------------------------|--|

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: _____

arcanum architecture, inc.

501 third street, suite 200
san francisco, ca 94107
415/ 357 4400 tel
415/ 357 4404 fax

27 November 2017

County of San Mateo
Planning and Building Department
455 County Center Road, 2nd floor
Redwood City, CA 94063

Re: 247 Solano Avenue, El Granada Project Description

To whom it may concern,

This project consists of a 567 square foot remodel/addition to an existing 1,461 square foot home, and a 1,000 square foot detached Accessory Structure (Garage). The existing residence is one of El Granada's original cottages that had been relocated to the current site. The homes primary materials are painted clapboard siding, vinyl windows, painted wood trim, painted shingle siding, and a composition shingle roof. The recent upgrades of vinyl windows and the composition roof are not very authentic, but work together to give the home a quaint feel. The property also has one of the original barns of El Granada, though showing its age, it does provide an overwhelming amount of character in the rear yard. A couple of photos of the barn are included in the 'Inspiration Images' sheet of this submittal.

The addition to the main residence utilizes the same materials as the existing but will have a flat roof to work below the roof line and not alter the pure form of the existing roof structure. We feel it's important to differentiate between the new and old structures, but at the same time retain the character of the existing home. The addition is intended to feel as though it was a filled in screened porch and add to the story and history of this home. The windows mimic the existing in their configuration, but are a bit larger to further the screened room feel. Across the rear of the addition, a series of French doors open onto a patio.

The accessory structure (Garage) is pushed to the rear of the lot, and is intended to be subservient to the main residence. This piece is the bridge that marries the existing residence to the existing barn. It takes its form cues from the main residence, the roof pitch and outline form mimic the existing home, but its materials are more reflective of the existing barn. The primary finishes are reclaimed wood siding, corrugated metal roof and siding, and dark metal clad wood windows. We intentionally do not want to copy the main residence or barn, but rather provide a collective harmony and reinforce the historic and coastal rural character of the property through a more contemporary interpretation.

Sincerely,

Kurt Simrock
Principal, Arcanum Architecture Inc.

PLN 2017-00494

GENERAL NOTES

- THE WORK INCLUDED UNDER THIS CONTRACT CONSISTS OF ALL LABOR, MATERIALS, TRANSPORTATION, TOOLS AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT LEAVING ALL WORK READY FOR USE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 CALIFORNIA BUILDING CODE (CBC), STRUCTURAL PROVISIONS, 2013 CALIFORNIA RESIDENTIAL CODE (CRC), 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGSB), 2013 CALIFORNIA MECHANICAL CODE (CMC), 2013 CALIFORNIA PLUMBING CODE (CPC), 2013 CALIFORNIA ELECTRICAL CODE (CEC), (BASED ON THE 2011 IBC), 2013 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS (CEC-PART 4), AND THE 2013 CALIFORNIA FIRE CODE (CFC), IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH AN GENERAL CONDITIONS DOC. A-301, 1991 EDITION.
- NOT USED.
- ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE ANY ERRORS, OMISSIONS, CONFLICTS, DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, HE SHALL BE PROCEEDING AT HIS OWN RISK. ANY REVISION TO THE APPROVED SET OF PLANS MUST BE SUBMITTED TO AND APPROVED BY THE TOWN OF ATHERTON BUILDING AND PLANNING DEPARTMENT PRIOR TO THE REVISION BEING COMPLETED.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF THE CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL THE TRADES AND SHALL PROVIDE ALL THE SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.
- THE GENERAL CONTRACTOR SHALL VERIFY AND ASSURE RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE REASONABLY BEEN ANTICIPATED FROM SUCH AN EXAMINATION.
- WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS TO AND FROM NEW CONSTRUCTION WHEN SHOWN IN PLAN ARE TO FACE OF STUD OR STRUCTURAL MEMBER UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ON REFLECTED CEILING PLANS AND ELEVATIONS ARE FROM FACE OF FINISH OR CENTER LINE OF COLUMN TO CENTER LINE OF FIXTURE OR GROUP OF FIXTURES.
- ALL VERTICAL DIMENSIONS ARE TO FACE OF FINISH & FINISH FLOOR UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS NOTED "VERIFY" AND "YIP" ARE TO BE CHECKED BY CONTRACTOR PRIOR TO CONSTRUCTION. IMMEDIATELY REPORT ANY VARIANCES TO THE ARCHITECT FOR RESOLUTION.
- ALL WALLS ARE WOOD STUDS @ 16" O.C. UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROVIDE ALL BERRICK BRACING AND HOLD-DOWN CLIPS AS REQUIRED BY CODE FOR ALL SUSPENDED CEILING AND SOFFIT FRAMING CONDITIONS.
- COORDINATE ALL WORK WITH EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO: IRRIGATION PIPES, ELECTRICAL CONDUITS, GAS LINES, DRAINAGE LINES, ETC.
- PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE THE STRUCTURAL VALUE OR INTEGRITY OF THE BUILDING.
- PROTECT ALL EXISTING BUILDING AND SITE CONDITIONS TO REMAIN INCLUDING WALLS, CABINETS, FINISHES, TREES AND SHRUBS, PAVING, ETC.
- DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- VERIFY ALL ARCHITECTURAL DETAILS WITH STRUCTURAL, CIVIL, KITCHEN EQUIPMENT, AND DESIGN/BUILD DRAWINGS BEFORE ORDERING OR INSTALLATION OF ANY WORK.
- WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE CENTERED IN THE WALL OR PLACED TWO (2) FEET FROM ADJACENT WALL AS INDICATED ON THE DRAWINGS.
- OMISSIONS FROM THE DRAWINGS AND SPECIFICATION OR THE MISDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MISDESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS & SPECIFICATIONS.
- ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- INSTALL ALL FIXTURES, EQUIPMENT AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
- VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, ETC. BEFORE ANY CONSTRUCTION, ORDERING, OR INSTALLATION OF ANY ITEMS OF WORK.
- SEALANT, CAULKING AND FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
- ALL ROOF DECK PENETRATIONS AND EXTERIOR WALL OPENINGS SHALL BE GUARANTEED BY THE CONTRACTOR TO BE WATER TIGHT FOR A MINIMUM PERIOD OF FIVE YEARS AFTER SUBSTANTIAL COMPLETION OF ALL WORK UNDER THIS CONTRACT.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS, AND SHALL EXERCISE A STRICT CONTROL OVER JOB CLEANING TO ANY DIRECT DIBS OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS OR TO OTHER JOB SITE.
- CONTRACTOR SHALL LEAVE PREMISES AND ALL AFFECTED AREAS CLEAN AND ORDERLY, READY FOR OCCUPANCY. THIS INCLUDES CLEANING OF ALL GLASS (INSIDE AND OUTSIDE) AND FRAMES, BOTH NEW AND EXISTING.
- INSTALL SMOKE DETECTORS IN ACCORDANCE WITH THE SPECIFICATIONS AND IN CONFORMANCE WITH LOCAL FIRE MARSHAL REQUIREMENTS.
- ALL EXTERIOR DOORS AND WINDOWS ARE TO BE WEATHERSTRIPPED PER TITLE 24 REQUIREMENTS, UNLESS OTHERWISE NOTED IN DOOR DETAILS.
- GLASS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIAL TO MEET STATE AND FEDERAL REQUIREMENTS.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESERVED TREATED.
- APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR NEW BUILDINGS IN SUCH A POSITION AS TO BE CLEARLY VISIBLE AND LEGIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTIES. LETTERS OR NUMBERS SHALL BE A MINIMUM 4 INCHES IN HEIGHT AND STROKE OF MINIMUM 0.125 INCH OF A CONTRASTING COLOR TO THE BACKGROUND (SEE: R-119).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF THE HYDRONIC HEATING AND DISTRIBUTION SYSTEMS.
- A CHEMICAL TOILET IS REQUIRED ON-SITE DURING CONSTRUCTION PER CALIFORNIA TITLE 8, CHAPTER 4, ARTICLE 3.
- A CERTIFICATE OF CONSTRUCTION COMPLIANCE, SIGNED BY THE GENERAL CONTRACTOR BASED UPON HIS OBSERVATION OF THE CONSTRUCTION WORK SHALL BE SUBMITTED TO THE INSPECTING BUILDING OFFICIAL PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ONLY WORK DETAILED ON THESE PLANS IS APPROVED FOR CONSTRUCTION. ANY ADDITIONAL WORK REQUIRED NOT DETAILED ON THESE PLANS MUST BE SUBMITTED SEPARATELY AS A REVISION TO THE PROJECT. REVISIONS MAY REQUIRE NEW PLANS, PERMITS AND ADDITIONAL FEES.
- PERMIT EXPIRATION & RENEWAL - ONCE A PERMIT IS ISSUED, AN INSPECTION IS REQUIRED WITHIN 180 DAYS AND EVERY 180 DAYS THEREAFTER ON THE PERMIT WILL EXPIRE. ADDITIONAL FEES ARE REQUIRED TO AN EXPIRED PERMIT. ALL EXPIRED PLANS MUST BE REVISED TO MEET CURRENT CODE REQUIREMENTS.
- STORM DRAIN POLLUTION PREVENTION - PROTECT DOWNFLOW DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH WALKWAYS, TEMPORARY DRAINAGE SWALES, FILTERS, SEDIMENT TRAPS OR STORM DRAIN INLET FILTERS. COVER STOCKPILES AND EXCAVATED SLOTT WITH SECURED TARPS OR PLASTIC SHEETING. FOR FURTHER INFORMATION CONTACT SAN MATEO COUNTY WASTE STORAGE/WATER 10 TOWN DOLPHIN DRIVE, SUITE C-206 REDWOOD CITY, CALIFORNIA 94065 PH: 415-599-1420
- CONSTRUCTION RECYCLING - DEMOLITION NEW CONSTRUCTION, REDEMOLITION AND RE-ROOFING OF HOMES REQUIRE 60% RECYCLING OF WASTE TONNAGE. A DEPOSIT IS REQUIRED FOR THIS RECYCLING REQUIREMENT AND WEIGHT TAGS MUST BE PROVIDED TO VERIFY THE DIVERSION REQUIREMENTS HAVE BEEN MET AND THE DEPOSIT RETURNED.
- CONSTRUCTION RECYCLING - DEMOLITION NEW CONSTRUCTION, REDEMOLITION AND RE-ROOFING OF HOMES REQUIRE 40% RECYCLING OF WASTE TONNAGE. A DEPOSIT IS REQUIRED FOR THIS RECYCLING REQUIREMENT AND WEIGHT TAGS MUST BE PROVIDED TO VERIFY THE DIVERSION REQUIREMENTS HAVE BEEN MET AND THE DEPOSIT RETURNED.
- THE PUBLIC RIGHT OF WAY - A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FROM THE PUBLIC WORKS DEPARTMENT FOR ANY WORK IN THE TOWN RIGHT OF WAY.

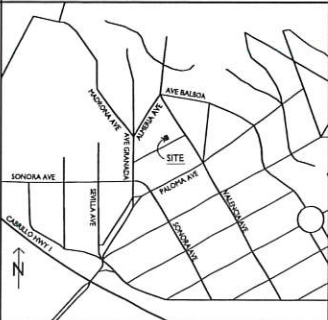


ROSSI / BIGELOW RESIDENCE
247 SOLANO AVENUE
EL GRANADA, CA 94019

PROJECT STATISTICS

BUILDING DEPARTMENT STATISTICS	PLANNING DEPARTMENT STATISTICS
PROJECT LOCATION: 247 SOLANO AVENUE EL GRANADA, CA 94019	MAX. TOTAL ALLOWABLE FLOOR AREA: 5,150.01 S.F. (9,717 S.F. X 53%)
A.P.N. # 047-072-270	MAX. FLOOR AREA FOR ACCESSORY STRUCTURE: 1,000.00 S.F.
PROJECT TYPE: ADDITION TO (S) SINGLE FAMILY RESIDENCE AND (N) ACCESSORY STRUCTURE	MAX. LOT COVERAGE (<16 FT IN HEIGHT): 4,858.50 S.F. (9,717 S.F. X 50%)
(S) CONDITIONS: (S) 1,461 S.F. SINGLE FAMILY RESIDENCE TO REMAIN; (S) 85 S.F. SHED TO BE REMOVED; (S) 272 S.F. BARN TO REMAIN	MAX. LOT COVERAGE (>16 FT IN HEIGHT): 3,400.95 S.F. (9,717 S.F. X 35%)
ZONING: R-1, S-17, DR, CD	ACTUAL SQUARE FOOT STATISTICS
OCCUPANCY: R-3, SINGLE FAMILY DWELLING	(S) MAIN RESIDENCE TO REMAIN: 3,028 S.F.
CONSTRUCTION TYPE: TYPE V-B	(S) GROUND FLOOR: 1,047 S.F.
FIRE SPRINKLERS: T.B.D.	(S) SECOND FLOOR: 394 S.F.
LOT SIZE: 9,717 S.F. (0.223 ACRES)	(N) ADDITION TO MAIN RESIDENCE: 587 S.F.
	TOTAL MAIN HOUSE AREA: 3,615 S.F.
	(N) ACCESSORY STRUCTURE: 1,000 S.F.
	(S) BARN TO REMAIN: 272 S.F.
	TOTAL FLOOR AREA: 3,300 S.F.
	PROPOSED LOT COVERAGE: 30.31 S.F.
	FLOOR AREA RATIO: 33%
	ALLOWED: 54%
	PROPOSED: 33%
	IMPERVIOUS COVERAGE: SEE C.3 AND C.4 DEVELOPMENT REVIEW CHECKLIST

VICINITY MAP



ABBREVIATIONS

<	Angle	C.W.	Cold Water	FR	Frame	LN	Line	R.A.	Return Air	T.B.	Towel Bar
@	At	DBL	Double	FTG	Footing	LT	Light	R.A.D.	Radiol	T.C.	Top of Curb
#	Diameter or Round	D.F.	Drinking Fountain	FUR	Furring	LT	Light	REC	Recessed	TEL	Telephone
0	Flashed or Number	D.F.	Drinking Fountain	FUT	FUTURE	MACH.	Machine	REF.	Reference	TEMP	Tempered
A.C.	Air Conditioning or Asphalt Concrete	DIA.	Diameter	G.	Gas Outlet	MAINT.	Maintain	REFL	Reflected	T.&G.	Tongue & Groove
ACOUS.	Acoustical	DN.	Down	GA	Gauge	MAX.	Maximum	REFR.	Refrigerator	TEX	Textile
A.D.	Area Drain	DR.	Door	GALV.	Galvanized	M.B.	Machine Bolt	REINF.	Reinforced	T.M.E.	To Match Existing
ADJ	Adjustable	DXP	Drain	G.D.	Garbage Disposal	M.C.	Medium Cabinet	REQ	Required	T.O.C.	Top of Concrete
ADJAC	Adjacent	D.W.	Dishwasher	GEN.	General	M.D.O.	Medium Density Overlay	RESIL.	Resilient	T.O.P.	Top of Floor
AGGR.	Aggregate	DWR.	Drawer	G.F.I.	Ground Fault Interrupter	MEMB.	Membrane	RET.	Retaining	T.O. PLY	Top of Plywood
ALUM.	Aluminum	E.A.	Each	GL	Glass	MTL	Metal	REV.	Revised/Revised/Revised	T.O.W.	Top of Wall
APPROX.	Approximate	E.I.F.S.	Exterior Insulation & Finish System	GR.	Grade	MFR.	Manufacturer	REMOV.	Removable	UNEXC.	Unexcavated
ARCH.	Architectural	E.I.F.S.	Exterior Insulation & Finish System	GRD.	Grade	MIN.	Minimum	R.O.	Rough Opening	UNEXC.	Unexcavated
ASPH.	Asphalt	EJ.	Expansion Joint	G.S.M.	Galvanized Sheet Metal	MISC.	Miscellaneous	R.W.D.	Radwood	UNEXC.	Unexcavated
BD.	Board	EJ.	Expansion Joint	GYP.	Gypsum	MUL.	Mulch	S	Soath	UNEXC.	Unexcavated
BLDG.	Building	EL.	Elevation	H.B.	Hose Bib	(N)	New	S.C.D.	See Civil Drawings	VAR.	Varies
BLK.	Block	EMER.	Emergency	H.C.	Hollow Core or Handicapped	N.I.C.	Not in Contact	S.D.	Storm Drain	V.C.T.	Vinyl Composition Tile
BLKG.	Blocking	ENCL.	Enclosure	HD	Head	NO. or #	Number	SECT.	Section	VERT.	Vertical
BM.	Benchmark	E.P.S.	Exterior Panel Board	EQ.	Equal	NOB.	Nominal	S.E.D.	See Electrical Drawings	VEST.	Ventilate
B.O.	Bottom of	EQ.	Equal	EXIST.	Existing	HDR.	Header	S.E.P.	See Separation	V.G.D.F.	Vertical Grain Douglas Fir
BOT	Bottom	EXP.	Expansion	HDW.	Hardware	O.A.	Over All	S.H.	Sprinkle Head	V.I.E.	Vertical
B.P.	Building Paper	EXT.	Exterior	HGR.	Hanger	O.C.	On Center	SHT.	Sheet	VOL	Volume
B.T.W.N.	Between	EXT.	Exterior	HGT.	Height	O.D.	Outside Diameter (Dim)	SHT.	Sheet	W.	West
		EXT.	Exterior	HIM	Horizontal	OPNG.	Opening	SHT.	Shedding	W.	West
		EXT.	Exterior	HORIZ.	Horizontal	OPP.	Opposite	SIM.	Similar	W.	West
C.B.	Catch Basin	F.A.	Fire Alarm	HR.	Hour	PERIM	Perimeter	SL	Sliding	W.C.	Wall Covering
CEM.	Cement	F.A.U.	Force Air Unit	H.R.	Horizontal	PNL	Panel	S.K.D.	See Kitchen Drawings	WD	Wood
CER.	Ceramic	F.B.	Flat Bar	H.W.H.	Hot Water Heater	PLAM.	Plastic Laminate	S.L.D.	See Landscape Drawings	WH	Water Heater
C.J.	Control Joint	F.D.	Flat Drain	INSUL.	Insulation	PLAS.	Plastic	S.M.D.	See Mechanical Drawings	W/O	Without
CLG.	Ceiling	F.F.C.	Fire Fighting Cabinet	INT.	Interior	PLN.	Plan	S.P.D.	See Plumbing Drawings	W.P.	Work Point or
CLG.	Ceiling	F.H.M.S.	Flat Head Machine Screw	INT.	Interior	PLN.	Plan	S.P.C.	See Specification or Special	W.P.P.	Waterproofing
CLC.	Clear	F.H.M.S.	Flat Head Machine Screw	INT.	Interior	PLN.	Plan	S.S.	See Structural Drawing	W.S.P.	Waterproof Membrane
C.M.U.	Concrete Masonry Unit	F.H.M.S.	Flat Head Machine Screw	INT.	Interior	PLN.	Plan	S.S.D.	See Structural Drawing	W.S.P.	Waterproof Membrane
C.N.T.R.	Counter	F.H.M.S.	Flat Head Machine Screw	INT.	Interior	PLN.	Plan	S.S.D.	See Structural Drawing	W.S.P.	Waterproof Membrane
C.O.	Column	F.H.M.S.	Flat Head Machine Screw	INT.	Interior	PLN.	Plan	S.S.D.	See Structural Drawing	W.S.P.	Waterproof Membrane
COL.	Column	F.H.M.S.	Flat Head Machine Screw	INT.	Interior	PLN.	Plan	S.S.D.	See Structural Drawing	W.S.P.	Waterproof Membrane
CONC.	Concrete	F.H.M.S.	Flat Head Machine Screw	INT.	Interior	PLN.	Plan	S.S.D.	See Structural Drawing	W.S.P.	Waterproof Membrane
COND.	Condition	F.H.M.S.	Flat Head Machine Screw	INT.	Interior	PLN.	Plan	S.S.D.	See Structural Drawing	W.S.P.	Waterproof Membrane
CONN.	Connection	F.H.M.S.	Flat Head Machine Screw	INT.	Interior	PLN.	Plan	S.S.D.	See Structural Drawing	W.S.P.	Waterproof Membrane
CONN.	Connection	F.H.M.S.	Flat Head Machine Screw	INT.	Interior	PLN.	Plan	S.S.D.	See Structural Drawing	W.S.P.	Waterproof Membrane
CONT.	Continuous	F.H.M.S.	Flat Head Machine Screw	INT.	Interior	PLN.	Plan	S.S.D.	See Structural Drawing	W.S.P.	Waterproof Membrane
CONTR.	Contractor	F.H.M.S.	Flat Head Machine Screw	INT.	Interior	PLN.	Plan	S.S.D.	See Structural Drawing	W.S.P.	Waterproof Membrane
CLOS.	Closure	F.H.M.S.	Flat Head Machine Screw	INT.	Interior	PLN.	Plan	S.S.D.	See Structural Drawing	W.S.P.	Waterproof Membrane
C.L.S.	Ceramic Tile	F.H.M.S.	Flat Head Machine Screw	INT.	Interior	PLN.	Plan	S.S.D.	See Structural Drawing	W.S.P.	Waterproof Membrane
C.T.	Ceramic Tile	F.H.M.S.	Flat Head Machine Screw	INT.	Interior	PLN.	Plan	S.S.D.	See Structural Drawing	W.S.P.	Waterproof Membrane
CTR.	Center	F.H.M.S.	Flat Head Machine Screw	INT.	Interior	PLN.	Plan	S.S.D.	See Structural Drawing	W.S.P.	Waterproof Membrane

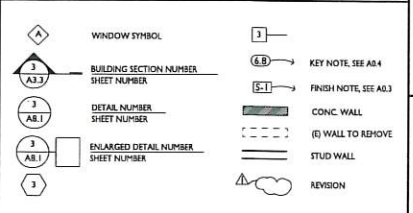
DRAWING INDEX

- A0.0 COVER SHEET
 - S-U.1 BOUNDARY AND TOPOGRAPHIC SURVEY
 - C-0.1 TITLE SHEET
 - C-1 NOTES SHEET
 - C-2 GRADING & UTILITY PLAN
 - C-3 EROSION CONTROL PLAN
 - C-3.1 TREE PROTECTION PLAN
 - C-3.2 BEST MANAGEMENT PRACTICES
 - C-4 DETAIL
 - C-4.1 DETAIL
- ARCHITECTURAL**
- A1.1 INSPIRATION IMAGES
 - A1.0 EXISTING / DEMO. FLOOR PLANS
 - A1.1 EXISTING / DEMO. EXTERIOR ELEVATIONS
 - A1.2 SITE PLAN
 - A1.1 PROPOSED FLOOR PLANS
 - A1.2 PROPOSED EXTERIOR ELEVATIONS
 - A1.1 PROPOSED EXTERIOR ELEVATIONS

PROJECT DIRECTORY

OWNER:	Address	Contact	Telephone
Stephen Rossi & Ariana Bigelow	247 Solano Avenue El Granada, CA 94019		
CONTRACTOR:	KCD Construction P.O. Box 370548 Honolulu, HI 96807	Kurt Dockus	Tel: (850) 728-0307
ARCHITECT:	Arcanum Architecture, Inc. 301 Third Street, Suite 200 San Francisco, CA 94107	Kurt Smorek	Tel: (415) 357-4400 Fax: (415) 357-4404
STRUCTURAL ENGINEER:	T.B.D.		
CIVIL ENGINEER:	Precision Engineering 901 Watamania Street Carlsbad, CA 94002	Travis Lutz	Tel: (650) 226-8640 Fax: (650) 637-1051
SURVEYOR:	MacLeod and Associates 765 Center Street San Carlos, CA 94070	Daniel MacLeod	Tel: (450) 593-8580
TITLE 24 COMPLIANCE:	Energy Calc. Co. 45 Franklin Blvd #16 San Rafael, CA 94903	Chuck Clemens	Tel: (415) 457-0990 Fax: (415) 457-1986

SYMBOLS



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ROSSI / BIGELOW
247 SOLANO AVENUE
EL GRANADA, CALIFORNIA
APN: 047-072-270

COVER SHEET

A0.0

PLN 2017-00494

INSPIRATION IMAGES



ARCANUM

ARCANUM ARCHITECTURE, INC.
3075 W. 10TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.440.0000
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EL GRANADA, CALIFORNIA
APN: 047-072-270

Client	
Drawn By	
Checked By	
Project No.	1003
Date	11/28/2017
Issue	CONCEPTUAL A0.0

INSPIRATION IMAGES

A0.1

DEMOLITION NOTES

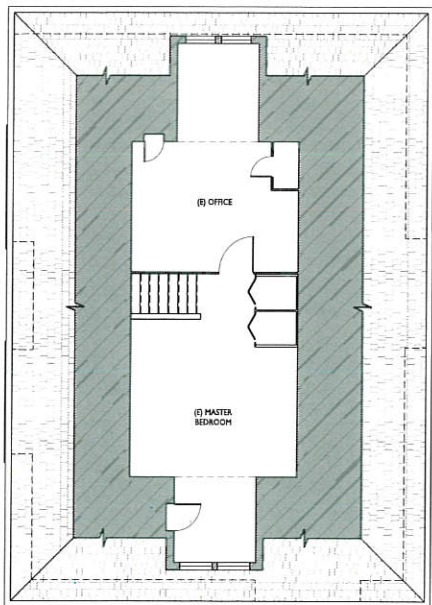
- 1.1. PRINCIPAL WORK IN THIS SECTION.
 - A. DEMOLISH EXISTING CONSTRUCTION WHERE INDICATED ON THE DRAWINGS AND REQUIRED BY JOB CONDITIONS
 - B. PROTECT EXISTING CONSTRUCTION DESIGNATED TO REMAIN.
 - C. REMOVE DEMOLISHED ITEMS FROM THE SITE AND DISPOSE OF THEM IN A LEGAL MANNER.
- 1.2. RELATED WORK IN OTHER SECTIONS.
 - A. DISCONNECTING, CUTTING, CAPPING OR RELOCATING ANY ACTIVE UTILITY LINES ENCOUNTERED.
- 1.3. REFERENCE STANDARDS.
 - A. AND AREA "SAFETY REQUIREMENTS FOR DEMOLITION" PUBLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE.
- 1.4. PROTECTION.
 - A. CEASE OPERATIONS AND IMMEDIATELY NOTIFY THE ARCHITECT IF THE SAFETY OF EXISTING CONSTRUCTION APPEARS TO BE ENDANGERED AT ANY TIME. TAKE PRECAUTIONS TO SUPPORT SUCH ENDANGERED CONSTRUCTION AND DO NOT RESUME OPERATIONS UNTIL AUTHORIZED BY THE ARCHITECT.
- 2.0. DISCUSSION.
 - 2.1. OWNERSHIP OF DEMOLISHED MATERIALS.
 - A. ALL DEMOLISHED MATERIALS SHALL BECOME THE CONTRACTOR'S PROPERTY UNLESS OTHERWISE DIRECTED BY THE OWNER.
 - B. REMOVE DEMOLISHED MATERIALS FROM THE SITE AND DISPOSE OF THEM IN A LEGAL MANNER. NO ON-SITE SALE OR BURNING OF DEMOLISHED MATERIALS WILL BE PERMITTED.
 - 2.2. PERFORMANCE OF WORK.
 - A. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE ADEQUACY AND INSTALLATION OF ALL TEMPORARY SHORING SYSTEMS USED DURING THE REMOVAL OF ALL STRUCTURAL ELEMENTS.
- 1. DEMOLITION AND PREPARATION
 - 1.1. GENERAL.
 - A. SCOPE: FURNISH EQUIPMENT AND PERFORM LABOR REQUIRED TO EXECUTE NECESSARY TO COMPLETE THE CONTRACT, INCLUDING, BUT NOT LIMITED TO THESE PRINCIPAL ITEMS:
 - A. DISCONNECT AND REMOVE UTILITY METERS
 - B. REMOVAL OF TRIMMERY
 - C. REMOVAL OF REPAIRER HANDICAP
 - D. REMOVAL OF SINGLE-FAMILY DWELLING & ACCESSORY STRUCTURE
 - E. DEMOS REMOVAL.
 - 1.2. RELATED WORK SPECIFIED ELSEWHERE.
 - A. ALL NEW WORK.
 - 1.3. GENERAL REQUIREMENTS.
 - A. FIELD CONDITIONS: TAKE INTO CONSIDERATION AS NECESSARY WORK ALL OBVIOUS EXISTING CONDITIONS AND INSTALLATIONS ON THE SITE AS THOUGH THEY WERE COMPLETELY SHOWN OR DESCRIBED. ACCEPT THE SITE OF THE WORK AS IT EXISTS AND CLEAR OBSTRUCTIONS TO THE WORK INDICATED.
 - B. ALL CONTRACTORS SUBMITTING PROPOSALS FOR THIS WORK SHALL FIRST EXAMINE THE SITE AND ALL CONDITIONS AND LIMITATIONS THEREON AND THEREAFTER. ALL PROPOSALS SHALL TAKE INTO ACCOUNT ALL SUCH CONDITIONS AND LIMITATIONS WHETHER OR NOT THE SAME ARE SPECIFICALLY SHOWN OR MENTIONED IN ANY OF THESE DOCUMENTS AND EVERY PROPOSAL SHALL BE CONSIDERED AS INCLUDING WHATEVER SUPS ARE NEEDED TO COMPLETE THE WORK IN EVERY PART AS SHOWN, DESCRIBED OR REASONABLY REQUIRED OR IMPLIED, AND AT THE COMPLETED CONDITIONS CONTEMPLATED BY THE CONTRACTOR.
 - C. CODES: PERFORM ALL WORK IN ACCORDANCE WITH THE BUILDING CODES OF THE GOVERNING BUILDING JURISDICTION, THE GOVERNING STATE INDUSTRIAL SAFETY CODES AND THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT.
 - D. UNFORESEEN CONDITIONS: INCLUDE IN THE BASE BID MISCELLANEOUS CUTTING AND PATCHING NECESSITATED AS A RESULT OF UNFORESEEN CONDITIONS.
 - 2. NOISE CONTROL: CARRY ON ALL WORK IN A MANNER WHICH WILL PRODUCE THE LEAST AMOUNT OF NOISE. INSTRUCT ALL WORKMEN IN NOISE CONTROL PROCEDURES.
 - 3. DUST CONTROL: CARRY ON ALL WORK IN A MANNER WHICH WILL PRODUCE THE LEAST AMOUNT OF DUST. IMPLEMENT DUST CONTROL PROCEDURES LIKE SPRAYING AND GROUND WATERING.
 - 4. MECHANICAL, ELECTRICAL AND PLUMBING
 - A. CAREFULLY REVIEW PLANS AND DETERMINE LINES TO BE REMOVED AND THOSE TO BE KEPT ACTIVE OR TO BE REACTIVATED. PROTECT LINES TO REMAIN. PROVIDE FOR MINIMUM SERVICE INTERRUPTION OF LINES TO REMAIN.
 - B. REMOVE LINES COMPLETELY WHEREVER POSSIBLE. CUT AND CAP OR PLUG IN A POSITIVE MANNER.
 - C. THE DRAWINGS DO NOT NECESSARILY INDICATE THE FULL EXTENT OF THE WORK REQUIRED TO BE PERFORMED. INSPECT THE EXISTING CONSTRUCTION CAREFULLY TO DETERMINE THE FULL EXTENT OF WORK TO BE PERFORMED AND THE PROBLEMS INVOLVED. NO EXTRA COMPENSATION WILL BE ALLOWED BECAUSE OF FAILURE TO ESTIMATE THE FULL EXTENT OF THE WORK FOR ANY CONTINGENCIES IN CONNECTION THEREWITH.
 - D. ALL WORK SHALL BE PERFORMED BY SKILLED AND PROPERLY EQUIPPED PERSONNEL. DISPOSITION AND REMOVAL OF ITEMS SCARFOLD HIGH OR HIGHER SHALL BE LOWERED BY CONTROLLED METHODS, NOT BY THROWING OR DROPPING. PERFORM CUTTING AND STRIPPING SO THAT THE WORK TO REMAIN IS UNDAMAGED AND IN SUCH MANNER THAT THE NEW WORK CAN BE PROPERLY CONNECTED WITH.
 - 3.1. METHODS.
 - A. SAWING SHALL BE PERFORMED BY EXPERIENCED CRAFTSMEN CUSTOMARILY ENGAGED IN AND PROPERLY EQUIPPED FOR THE PERFORMANCE OF THE TYPE OF WORK REQUIRED BY JOB CONDITIONS.
 - B. PROVIDE WET VACUUM EQUIPMENT AS REQUIRED FOR CONTROL OF WASTE COOLING WATER.

DEMO PLAN LEGEND

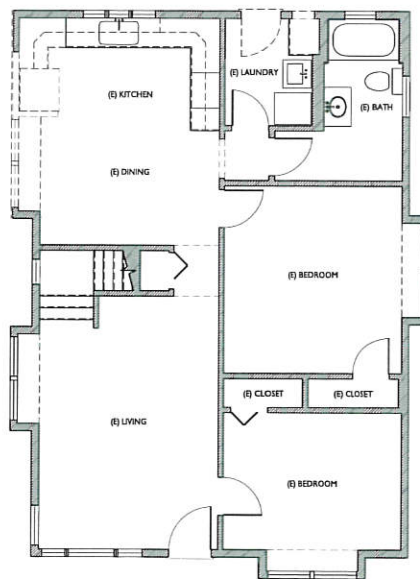
- (f) CONSTRUCTION TO BE REMOVED AS NOTED
- ===== (f) WALLS TO REMAIN

REFERENCE NOTES

- 2.4. DEMOLITION FOR INSTALLATION OF PIPING, CONDUIT, ETC.
- 2.5. DAMAGE AND REPAIR.
 - A. REPAIR, RESTORE OR REPLACE DAMAGE TO EXISTING CONSTRUCTION WHICH OCCURS AS A RESULT OF DEMOLITION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
- 2.6. CLEANUP.
 - A. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON THE PREMISES. PROVIDE FOR THE CONTINUOUS REMOVAL AND LEGAL OFF-SITE DISPOSAL OF DEMOLISHED MATERIALS AS THE WORK PROGRESSES.
- 2.8. DISCUSSION.
 - 2.1. PROTECTION.
 - A. GLASS: PROVIDE SUCH PROTECTION AS MAY BE REQUIRED TO PREVENT GLASS BREAKAGE AT NO ADDITIONAL COST. REPLACE IN KIND ALL BROKEN GLASS.
 - B. LOWERING MATERIAL: PROVIDE HOISTS AND CHUTES AS REQUIRED TO LOWER DEMOLISHED MATERIAL. THROWING DROPPING OR PERMITTING THE FREE FALL OF MATERIAL AND DEBRIS FROM HEIGHTS WHICH WOULD CAUSE DAMAGE TO WORK TO REMAIN, UNDO NOISE OR HAZARD OR EXCESSIVE DUST IS EXPRESSLY PROHIBITED.
 - C. PROTECTION OF PERSONNEL: ERECT SIGNS, BARRICADES AND SUCH OTHER FORMS OF WARNING AS MAY BE REQUESTED TO PREVENT PERSONNEL FROM PUTTING THEMSELVES IN THE WAY OF INJURY.
 - D. EXISTING WORK TO REMAIN: PROVIDE SUCH FORMS OF PROTECTION AS MAY BE NECESSARY TO PREVENT DAMAGE TO EXISTING WORK AND EQUIPMENT TO REMAIN.
 - 2.2. REMOVED MATERIAL AND DEBRIS.
 - A. ALL REMOVED MATERIAL, NOT OTHERWISE DESIGNATED, AND ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR WHO SHALL REMOVE IT FROM THE SITE.
 - B. DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER.



2 A1.0 EXISTING / DEMO. SECOND FLOOR PLAN 394 SF



1 A1.0 EXISTING / DEMO. GROUND FLOOR PLAN 1047 SF



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Date:	
Drawn By:	
Checked By:	
Project No.:	11814
Date:	11/28/2017
Issue:	CONCEPTUAL AIA

EXISTING / DEMO. FLOOR PLANS

SCALE: 1/4" = 1'-0"

A1.0

DEMOLITION NOTES

- 1.1 PRINCIPAL WORK IN THIS SECTION.
 - A. DEMOLISH EXISTING CONSTRUCTION WHERE INDICATED ON THE DRAWINGS AND REQUIRED BY JOB CONDITIONS.
 - B. PROTECT EXISTING CONSTRUCTION DESIGNATED TO REMAIN.
 - C. REMOVE DEMOLISHED ITEMS FROM THE SITE AND DISPOSE OF THEM IN A LEGAL MANNER.
- 1.2 RELATED WORK IN OTHER SECTIONS.
 - A. DISCONNECTING, CUTTING, CAPPING OR RELOCATING ANY ACTIVE UTILITY LINES ENCOUNTERED.
- 1.3 REFERENCE STANDARDS.
 - A. AND ALL "SAFETY" REQUIREMENTS FOR DEMOLITION PUBLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE.
- 1.4 PROTECTION.
 - A. CLEAR OPERATIONS AND IMMEDIATELY NOTIFY THE ARCHITECT IF THE SAFETY OF EXISTING CONSTRUCTION APPEARS TO BE ENDANGERED AT ANY TIME. TAKE PRECAUTIONS TO SUPPORT SUCH ENDANGERED CONSTRUCTION AND DO NOT RESUME OPERATIONS UNTIL AUTHORIZED BY THE ARCHITECT.
- 2.0 EXECUTION.
 - 2.1 OWNERSHIP OF DEMOLISHED MATERIALS.
 - A. ALL DEMOLISHED MATERIALS SHALL BECOME THE CONTRACTOR'S PROPERTY UNLESS OTHERWISE DIRECTED BY THE OWNER.
 - B. REMOVE DEMOLISHED MATERIALS FROM THE SITE AND DISPOSE OF THEM IN A LEGAL MANNER. NO ON-SITE SALE OR BURNING OF DEMOLISHED MATERIALS WILL BE PERMITTED.
 - 2.2 PERFORMANCE OF WORK.
 - A. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE ADEQUACY AND INSTALLATION OF ALL TEMPORARY SHORING SYSTEMS USED DURING THE REMOVAL OF ALL STRUCTURAL ELEMENTS.
1. DEMOLITION AND PREPARATION.
 - 1.0 GENERAL.
 - 1.1 SCOPE: FURNISH EQUIPMENT AND PERFORM LABOR REQUIRED TO EXECUTE NECESSARY TO COMPLETE THE CONTRACT, INCLUDING, BUT NOT LIMITED TO THESE MAJOR ITEMS:
 - A. DISCONNECT AND REMOVE UTILITY METERS
 - B. REMOVAL OF PERIMETER HARDSCAPE
 - C. REMOVAL OF SINGLE FAMILY DWELLING & ACCESSORY STRUCTURE
 - E. DEMOLITION.
 - 1.2 RELATED WORK SPECIFIED ELSEWHERE.
 - A. ALL NEW WORK.
 - 1.3 GENERAL REQUIREMENTS.
 - A. FIELD CONDITIONS: TAKE INTO CONSIDERATION AS NECESSARY WORK ALL OBVIOUS EXISTING CONDITIONS AND INSTALLATIONS ON THE SITE AS THOUGH THEY WERE COMPLETELY SHOWN OR DISCLOSED. ACCEPT THE SITE OF THE WORK AS IT EXISTS AND CLEAR OBSTRUCTIONS TO THE WORK INDICATED.
 - B. ALL CONTRACTORS SUBMITTING PROPOSALS FOR THE WORK SHALL FIRST EXAMINE THE SITE AND ALL CONDITIONS AND LIMITATIONS THEREON AND THEREABOUTS. ALL PROPOSALS SHALL TAKE INTO ACCOUNT ALL SUCH CONDITIONS AND LIMITATIONS WHETHER OR NOT THE SAME ARE SPECIFICALLY SHOWN OR MENTIONED IN ANY OF THESE DOCUMENTS AND EVERY PROPOSAL SHALL BE CONSIDERED AS INCLUDING WHATEVER SUPERS ARE NEEDED TO COMPLETE THE WORK IN EVERY PART AS SHOWN, DISCLOSED OR REASONABLY REQUIRED OR IMPLIED, AND AT THE COMPLETED CONDITIONS CONTEMPLATED BY THE CONTRACTOR.
 - C. COSTS: PERFORM ALL WORK IN ACCORDANCE WITH THE BUILDING CODES OF THE GOVERNING JURISDICTION, THE GOVERNING STATE INDUSTRIAL SAFETY ORDERS AND THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT.
 - D. UNIFORM IN CONDITIONS. INCLUDE IN THE BASE BID MISCELLANEOUS CUTTING AND PATCHING NECESSITATED AS A RESULT OF UNIFORM IN CONDITIONS.
 - 1.0 GENERAL.
 - 1.1 SCOPE: FURNISH EQUIPMENT AND PERFORM LABOR REQUIRED TO EXECUTE NECESSARY TO COMPLETE THE CONTRACT, INCLUDING, BUT NOT LIMITED TO THESE MAJOR ITEMS:
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 - D. UNIFORM IN CONDITIONS. INCLUDE IN THE BASE BID MISCELLANEOUS CUTTING AND PATCHING NECESSITATED AS A RESULT OF UNIFORM IN CONDITIONS.
- 2.1 METHODS.
 - A. SAWING SHALL BE PERFORMED BY EXPERIENCED AND TRAINED PERSONNEL. DEMOLITION AND REMOVAL OF ITEMS SCAFFOLD HIGH OR HIGHER SHALL BE LOWERED BY CONTROLLED METHOD, NOT BY THROWING OR DROPPING. PERSON CUTTING AND STRIPPING SO THAT THE WORK TO REMAIN IS UNDAMAGED AND IN SUCH MANNER THAT THE NEW WORK CAN BE PROPERLY CONNECTED WITH IT.
 - B. PROVIDE WET VACUUM EQUIPMENT AS REQUIRED FOR CONTROL OF WASTE COOLING WATER.
- 3.1 NOISE CONTROL. CARRY ON ALL WORK IN A MANNER WHICH WILL PRODUCE THE LEAST AMOUNT OF NOISE. INSTRUCT ALL WORKMEN IN NOISE CONTROL PROCEDURES.
- 3.2 DUST CONTROL. CARRY ON ALL WORK IN A MANNER WHICH WILL PRODUCE THE LEAST AMOUNT OF DUST. IMPLEMENT DUST CONTROL PROCEDURES LIKE SPRAYING AND GROUND WATERING.
- 3.3 MECHANICAL, ELECTRICAL AND PLUMBING.
 - A. CAREFULLY REVIEW PLANS AND DETERMINE LINES TO BE REMOVED AND THOSE TO BE KEPT ACTIVE OR TO BE REACTIVATED. PROTECT LINES TO REMAIN. PROVIDE FOR MINIMUM SERVICE INTERRUPTION OF LINES TO REMAIN.
 - B. REMOVE LINES COMPLETELY WHENEVER POSSIBLE. CUT AND CAP OR PLUG IN A POSITIVE MANNER.
 - C. THE DRAWINGS DO NOT NECESSARILY INDICATE THE FULL EXTENT OF THE WORK REQUIRED TO BE PERFORMED. INSPECT THE EXISTING CONSTRUCTION CAREFULLY TO DETERMINE THE FULL EXTENT OF WORK TO BE PERFORMED AND THE PROBLEMS INVOLVED. NO EXTRA COMPENSATION WILL BE ALLOWED BECAUSE OF FAILURE TO ESTIMATE THE FULL EXTENT OF THE WORK FOR ANY CONTINGENCIES IN CONNECTION THEREWITH.
 - D. ALL WORK SHALL BE PERFORMED BY SKILLED AND PROPERLY EQUIPPED PERSONNEL. DEMOLITION AND REMOVAL OF ITEMS SCAFFOLD HIGH OR HIGHER SHALL BE LOWERED BY CONTROLLED METHOD, NOT BY THROWING OR DROPPING. PERSON CUTTING AND STRIPPING SO THAT THE WORK TO REMAIN IS UNDAMAGED AND IN SUCH MANNER THAT THE NEW WORK CAN BE PROPERLY CONNECTED WITH IT.
- 2.4 DEMOLITION FOR INSTALLATION OF PIPING, CONDUIT, ETC.
 - A. DAMAGE AND REPAIR.
 - A. REPAIR, RESTORE OR REPLACE DAMAGE TO EXISTING CONSTRUCTION WHICH OCCURS AS A RESULT OF DEMOLITION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
- 2.5 CLEARANCE.
 - A. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON THE PREMISES. PROVIDE FOR THE CONTINUOUS REMOVAL AND LEGAL OFF-SITE DISPOSAL OF DEMOLISHED MATERIALS AS THE WORK PROGRESSES.
- 2.6 EXECUTION.
 - 2.1 PROTECTION.
 - A. GLASS: PROVIDE SUCH PROTECTION AS MAY BE REQUIRED TO PREVENT GLASS BREAKAGE AT NO ADDITIONAL COST. REPLACE IN KIND ALL BROKEN GLASS.
 - B. LOWERING MATERIAL: PROVIDE HOISTS AND CHUTES AS REQUIRED TO LOWER DEMOLISHED MATERIAL. THROWING DROPPING OR PERMITTING THE FREE FALL OF MATERIAL AND GIBBS FROM HEIGHTS WHICH WOULD CAUSE DAMAGE TO WORK TO REMAIN, UNDO NOISE OR INJURANCE OR EXCESSIVE DUST IS EXPRESSLY PROHIBITED.
 - C. PROTECTION OF PERSONNEL: ERECT SIGNS, BARRICADES AND SUCH OTHER FORMS OF WARNING AS MAY BE REQUESTED TO PREVENT PERSONNEL FROM PUTTING THEMSELVES IN THE WAY OF INJURY.
 - D. EXISTING WORK TO REMAIN: PROVIDE SUCH FORMS OF PROTECTION AS MAY BE NECESSARY TO PREVENT DAMAGE TO EXISTING WORK AND EQUIPMENT TO REMAIN.
 - 2.2 REMOVED MATERIAL AND DEBRIS.
 - A. ALL REMOVED MATERIAL, NOT OTHERWISE DESIGNATED, AND ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR WHO SHALL REMOVE IT FROM THE SITE.
 - B. DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER.

DEMO PLAN LEGEND

- (f) CONSTRUCTION TO BE REMOVED AS NOTED
- ===== (f) WALLS TO REMAIN

REFERENCE NOTES

ARCANUM
 ARCHITECTS, INC.
 505 BROADWAY, SUITE 300
 SAN FRANCISCO, CA 94107
 TEL: 415.774.0000
 WWW.ARCANUMARCHITECTS.COM

ROSSI / BIGELOW
 247 SOLANO AVENUE
 EL GRANADA, CALIFORNIA
 APN: 047-072-270

Date:	
Drawn By:	
Checked By:	
Project No.:	1008
Date:	11/26/2017
Scale:	CONCEPTUAL, AS SH.

EXISTING / DEMO. EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

AI.1



4 AI.1 EXISTING / DEMO. SIDE (EAST) ELEVATION



3 AI.1 EXISTING / DEMO. REAR (NORTH) ELEVATION

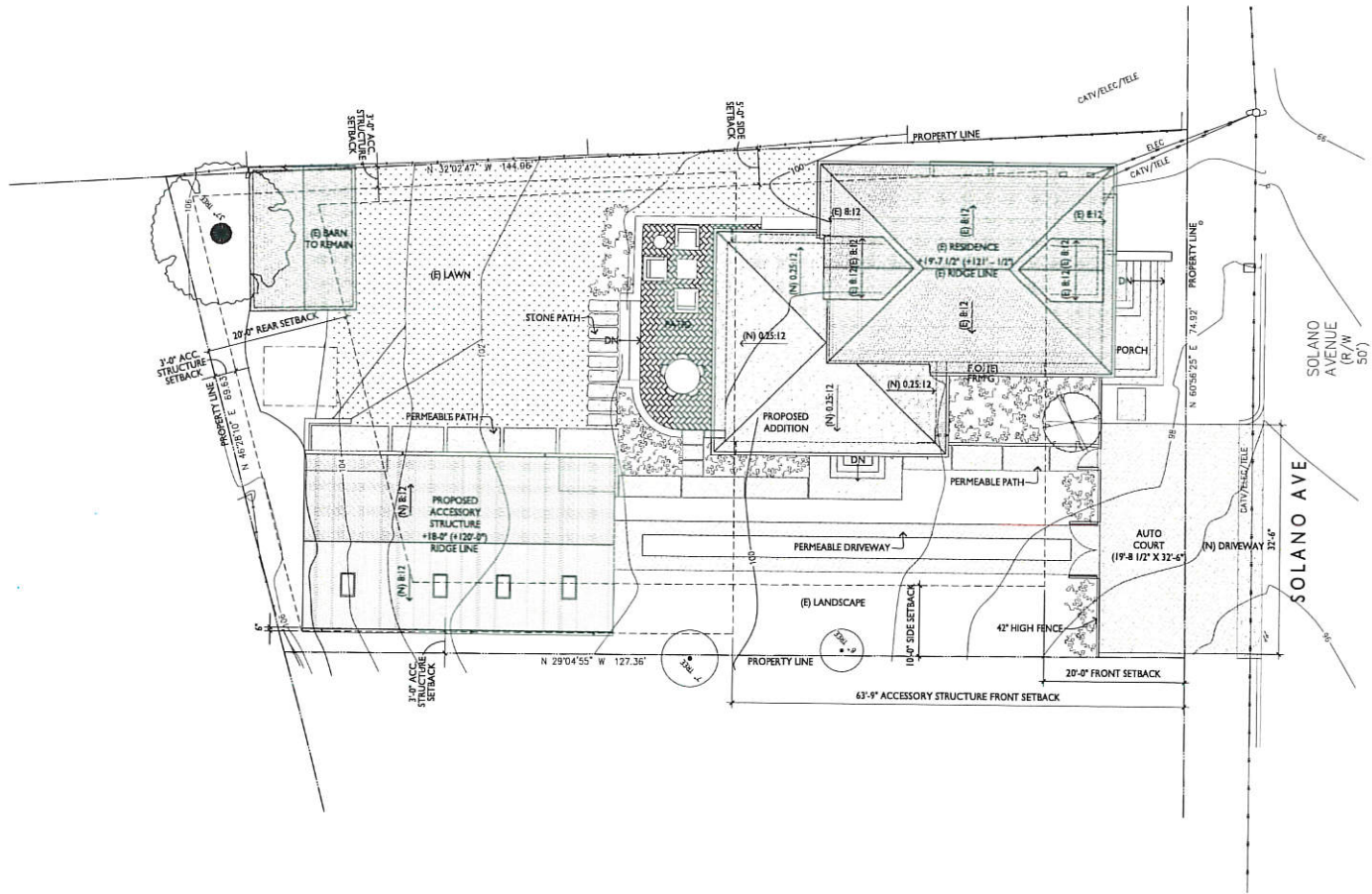


2 AI.1 EXISTING / DEMO. SIDE (WEST) ELEVATION



1 AI.1 EXISTING / DEMO. FRONT (SOUTH) ELEVATION





1 SITE PLAN
AI.2



ROSSI / BIGELOW
 247 SOLANO AVENUE
 EL GRANADA, CALIFORNIA
 APN: 047-072-270

Date	
Drawn By	
Checked By	
Project No.	23812
Drawn	
Date	11/28/2017
Scale	CONCEPTUAL ASB

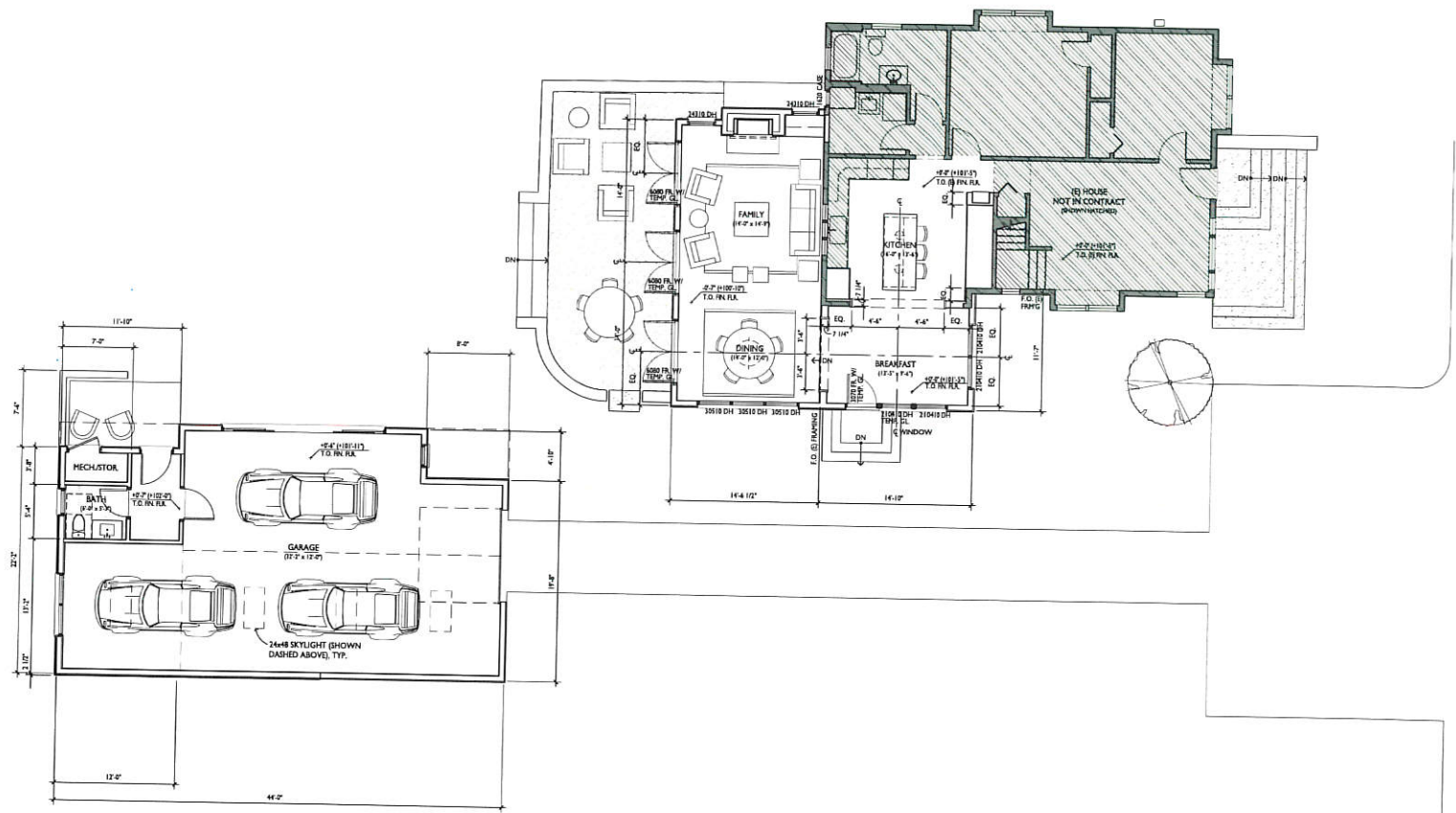
SITE PLAN

SCALE: 1/8" = 1'-0"

AI.2

PLAN LEGEND

- (N) WOOD FRAMING
- (E) WALLS TO REMAIN



ARCANUM
 ARCHITECTURE, INC.
 1000 S. MAIN ST., SUITE 100
 ANAHEIM, CA 92805
 TEL: 714.440.1111
 WWW.ARCANUMARCHITECTURE.COM

ROSSI / BIGELOW
 247 SOLANO AVENUE
 EL GRANADA, CALIFORNIA
 APN: 047-072-270

SOLANO AVE

Date:	
Drawn By:	
Checked By:	
Project No.:	11882017
Client:	CONCEPTUAL AIA

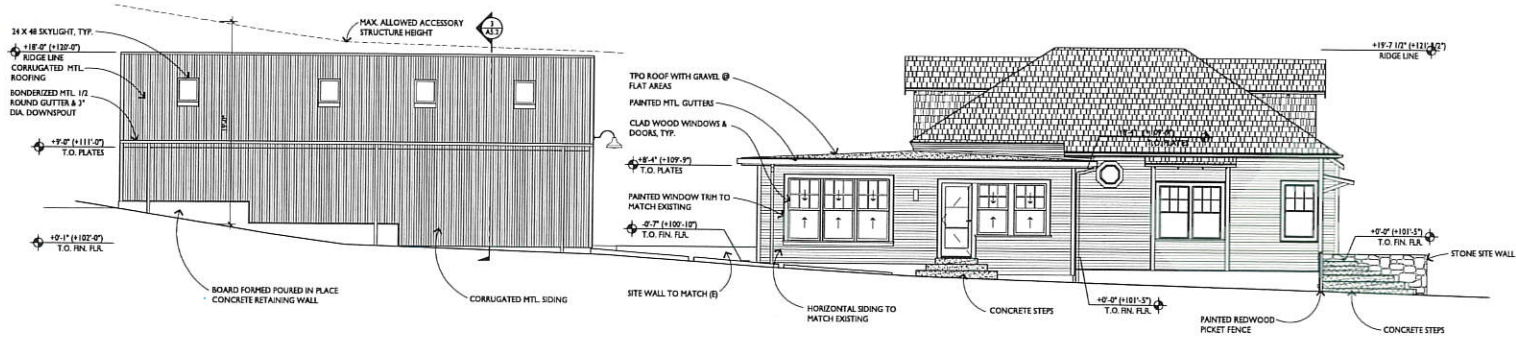
PROPOSED PLANS

SCALE: 3/16" = 1'-0"

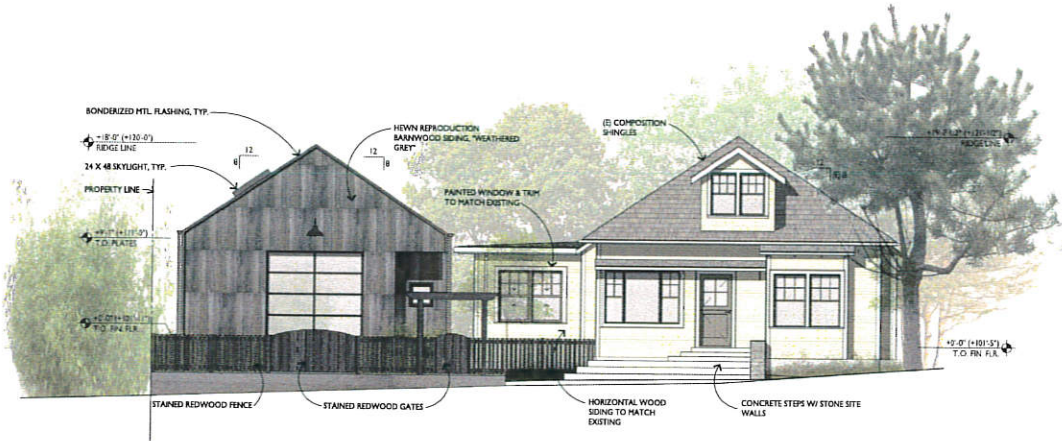
A2.1

1 A2.1 PROPOSED ACCESSORY STRUCTURE 1000 SF

1 A2.1 PROPOSED RESIDENCE PLAN 1634 SF



2
 A5.1 PROPOSED SIDE / WEST ELEVATION



1
 A5.1 PROPOSED FRONT / SOUTH ELEVATION

Date	
Drawn By	
Checked By	
Project No.	12026
Date	11/28/2017
Sheet	CONCEPTUAL A5.1

EXTERIOR ELEVATIONS

SCALE: 3/16" = 1'-0"

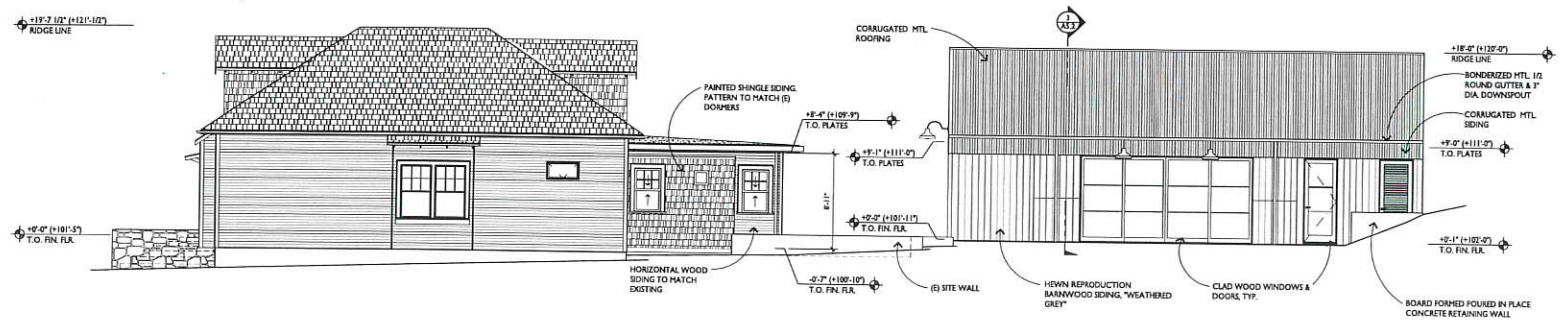
A5.1

Date	
Drawn By	
Checked By	13551
Project No.	
Date	11/28/2017
Work	CONCEPTUAL AREA

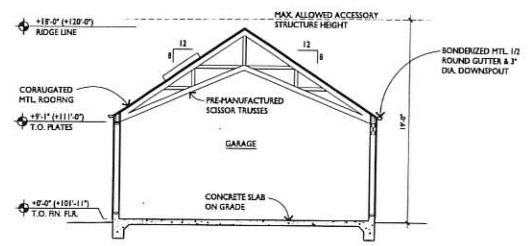
EXTERIOR ELEVATIONS

SCALE 3/16" = 1'-0"

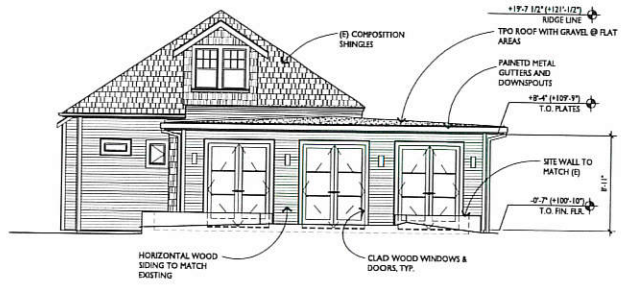
A5.2



2 PROPOSED SIDE / EAST ELEVATION
 AS.2



3 PROPOSED ACCESSORY STRUCTURE SECTION
 AS.2



1 PROPOSED REAR / NORTH ELEVATION
 AS.2



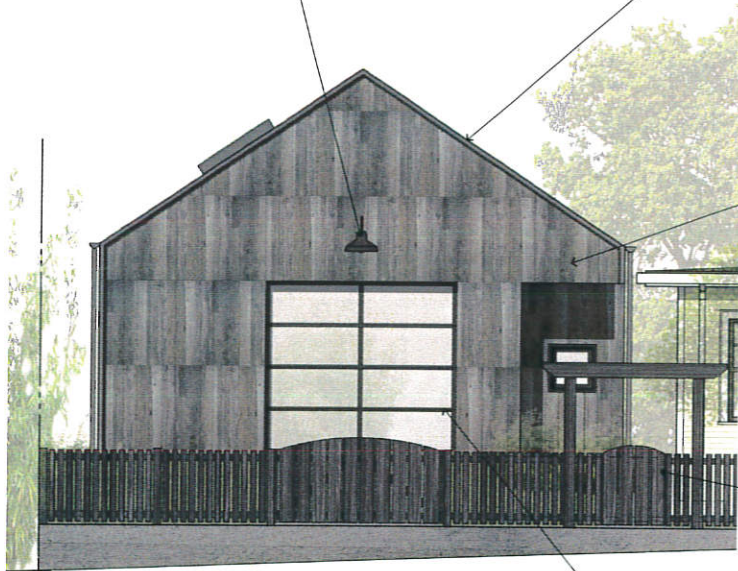
EXTERIOR LIGHTING: LSI ABOLITE LED STANDARD DOME
RD 200 - BRONZE

ROOFING: FLASHING & SIDING
GUTTERS & DOWN SPOUTS TO MATCH

EXTERIOR: STAINED RECLAIMED SIDING

FENCING: STAINED CEDAR / REDWOOD

WINDOWS AND DOORS: METAL CLAD
WOOD WINDOWS



1 NORTH BARN ELEVATION



ARCANUM

247 Solano Avenue
El Granada, CA 94027
415.333.4400
www.arcanum.com

ROSSI / BIGELOW
247 SOLANO AVENUE
EL GRANADA, CALIFORNIA
APN: 047-072-270

Date	
Drawn By	
Checked By	
Project No.	0001
Date	11.28.2017
Scale	CONCEPTUAL ARCH

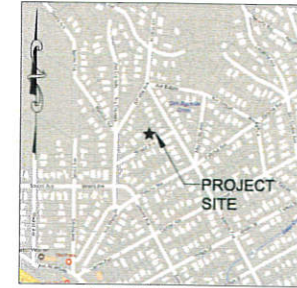
MATERIAL BOARD

SCALE: 3/8" = 1'-0"

ROSSI/BIGELOW RESIDENCE 247 SOLANO AVENUE EL GRANADA (SMCO), CA 94019



VICINITY MAP
N.T.S.



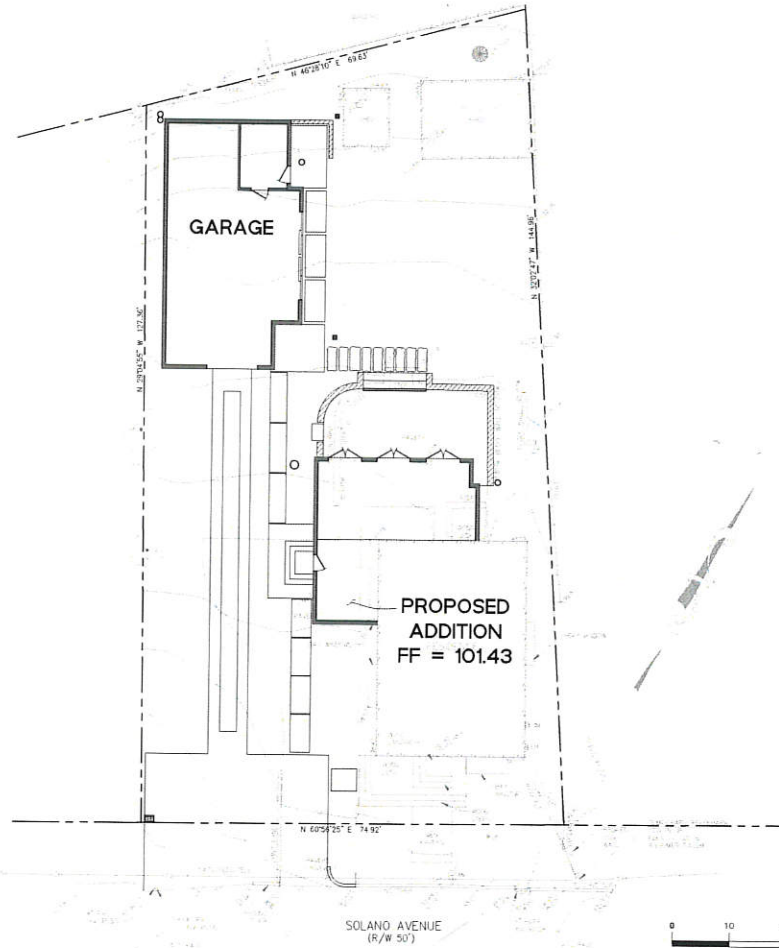
LOCATION MAP
N.T.S.

ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
BFP	BACK FLOW PREVENTION DEVICE
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CIP	CAST IRON PIPE
CCNC	CONCRETE
DD	DECK DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE
DG	DECOMPOSED GRANITE
DIP	DUCTILE IRON PIPE
DS	ROOF DOWN SPOUT
DWV	DRIVEWAY
(E)	EXISTING
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FE	FACE OF CURB ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
HW	HEATED WATER LINE
HW	PIPE INVERT ELEVATION
JT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LP	LOW POINT
(N)	NEW
PVI	POST INDICATOR VALVE
POC	POINT OF CONNECTION
RM	RIM ELEVATION
S	SLOPE
SAP	SEE ARCHITECTURAL PLANS
SD	STORM SUB DRAIN
SDDCO	STORM SUB DRAIN CLEANOUT
SD	STORM DRAIN
SDDCO	STORM DRAIN CLEANOUT
SGR	SEE GEOTECHNICAL REPORT
SIB	SIDE INLET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SFP	SEE PLUMBING PLANS
SS	SANITARY SEWER
SBCO	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TP	TOP OF WALL ELEVATION
TYP	TYPICAL
VD	PIPE VERTICAL DROP
W	DOMESTIC WATER LINE
WM	WATER METER

EARTHWORK QUANTITIES	
CUT	110 C.Y.
FILL	50 C.Y.
TOTAL TO BE MOVED	160 C.Y.
BALANCE	60 C.Y. CUT (OFF-HAUL)

EARTHWORK QUANTITIES SHOWN ABOVE ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL CALCULATE THEIR OWN EARTHWORK QUANTITIES, AND USE THEIR CALCULATIONS FOR BIDDING AND COST ESTIMATING PURPOSES.



EXISTING	PROPOSED	LEGEND:
		SANITARY SEWER
		STORM DRAIN
		STORM SUB-DRAIN (PERFORATED PIPE)
		TRANSITION FROM PERF. PIPE TO SOLID PIPE
		FORCE MAIN
		FIRE WATER LINE
		DOMESTIC WATER SERVICE
		IRRIGATION SERVICE
		NATURAL GAS
		ELECTRIC
		JOINT TRENCH
		FENCE
		CLEAN OUT
		DOUBLE DETECTOR CHECK VALVE
		POST INDICATOR VALVE
		VALVE
		METER BOX
		STREET LIGHT
		AREA DRAIN
		CATCH BASIN
		FIRE HYDRANT
		FIRE DEPARTMENT CONNECTION
		BENCHMARK
		MANHOLE
		SIGN
		DOWNSPOUT
		SPLASH BLOCK
		CONTOURS
		PROPERTY LINE
		SETBACK

SHEET INDEX

SHEET NO.	DESCRIPTION
C-0	TITLE SHEET
C-1	NOTES SHEET
C-2	GRADING AND UTILITY PLAN
C-3	EROSION AND SEDIMENT CONTROL PLAN
C-3.1	TREE PROTECTION PLAN
C-3.2	BEST MANAGEMENT PRACTICES (BMP)
C-4	DETAIL SHEET

HYDROLOGY

(E) IMPERVIOUS AREA	(N) IMPERVIOUS AREA	REQUIRED STORAGE VOL.	STORAGE VOL. PROVIDED
3,297 SF	4,900 SF	175 CF	212 CF



FALCON ENGINEERING AND CONSTRUCTION, INC.
1683 27th Street
El Granada, CA 94019
Tel: 650.378.8848
Fax: 650.378.1188
www.falconeng.com

REVISIONS	DATE



TITLE SHEET
ROSSI/BIGELOW RESIDENCE
247 SOLANO AVENUE
EL GRANADA (SMCO), CA 94019

Date: 11/20/2017
Scale: AS SHOWN
Design: AJP
Check: TRL
Drawing Number: C-0
PEC Job No.: PEC 17-122



PLN 2017-994

CAUTION:

- 1. THE LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS PLAN WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS ADVISED THAT ONLY AN EXCAVATION WILL REVEAL THE TYPE, EXTENT, SIZE, LOCATION AND DEPTH OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. THE CONTRACTOR SHALL VERIFY LOCATION AND DEPTH PRIOR TO ANY EXCAVATION OR IMPROVEMENT.
- 2. CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. PHONE: (800) 944-2444. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND SHALL CLEARLY MARK AND THEN PRESERVE THESE MARKERS FOR THE DURATION OF CONSTRUCTION OF ALL TELEPHONE, DATA, STREET LIGHT, SIGNAL LIGHT AND POWER FACILITIES THAT ARE IN OR NEAR THE AREA OF CONSTRUCTION PRIOR TO BEGINNING ANY WORK ON THIS SITE.
- 3. THESE DRAWINGS DO NOT ADDRESS CONTRACTOR MEANS AND METHODS OF CONSTRUCTION OR PROCESSES THAT MAY BE ASSOCIATED WITH ANY TOXIC SOILS IF FOUND ON SITE. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL CITY AND COUNTY STANDARDS AND APPROPRIATE REGULATIONS IF TOXIC SOILS ARE ENCOUNTERED OR SUSPECTED OF BEING CONTAMINATED.

GENERAL SITE NOTES:

- 1. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING ON THIS WORK AND CONSIDER THE EXISTING CONDITIONS AND SITE CONSTRAINTS IN THE BID. CONTRACTOR SHALL BE IN THE POSSESSION OF AND FAMILIAR WITH ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS AND SPECIFICATIONS PRIOR TO SUBMITTING A BID.
- 2. THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
- 3. ALL WORK ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS AND SPECIFICATIONS.
- 4. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL BE CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND INDEMNIFY AND HOLD THE OWNER, THE CONSULTING ENGINEER AND THE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE CONSULTING ENGINEER.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE JOB SITE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT UNAUTHORIZED PERSONS ON THE JOB SITE BY PROVIDING A CONSTRUCTION FENCE AROUND THE ENTIRE AREA OF DEMOLITION AND CONSTRUCTION, INCLUDING ALL STAGING AND STORAGE AREAS. CONSTRUCTION FENCE SHALL BE A MINIMUM OF 4" HIGH GALVANIZED CHAIN LINK WITH GREEN WHISKEYER FABRIC ON THE OUTSIDE OF THE FENCE.
- 7. EXISTING PEDESTRIAN WALKWAYS, BIKE PATHS AND ACCESSIBLE PATHWAYS SHALL BE MAINTAINED, WHERE FEASIBLE, DURING CONSTRUCTION.
- 8. IF A CONFLICT ARISES BETWEEN THE SPECIFICATIONS AND THE PLAN NOTES, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- 10. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT IF ONE EXISTS.

EXISTING CONDITIONS:

- 1. EXISTING TOPOGRAPHIC SURVEYS PERFORMED BY MACLEOD AND ASSOCIATES ON JULY 7, 2017 (JOB #22). GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
- 2. CLIENT AGREES TO HOLD ENGINEER HARMLESS FROM ANY AND ALL OCCURRENCES RESULTING FROM THE NEGLIGENCE OF THE CLIENT SUPPLIED TOPOGRAPHIC AND/OR BOUNDARY SURVEY (PREPARED BY OTHERS).

SURVEYOR'S NOTES:

BENCHMARK:
TEMPORARY BENCHMARK
800 IN DI.
ELEV. = 100.00
ASSUMED DATUM

RECORD DRAWINGS:

- 1. THE CONTRACTOR SHALL KEEP UP-TO-DATE AND ACCURATE A COMPLETE RECORD SET OF PRINTS OF THE CONTRACT DRAWINGS SHOWING EVIDENCE CHANGED FROM THE ORIGINAL DRAWINGS MADE DURING THE COURSE OF CONSTRUCTION INCLUDING EXACT FINAL LOCATION, ELEVATION, SIZES, MATERIALS, AND DESCRIPTION OF ALL WORK. RECORDS SHALL BE "FIELD-NEED" ON A SET OF CONSTRUCTION PLAN DRAWINGS. A COMPLETE SET OF CORRECTED AND COMPLETED RECORD DRAWING PRINTS SHALL BE SUBMITTED TO THE OWNER PRIOR TO FINAL ACCEPTANCE.

SITE MAINTENANCE

- 1. UPON PROJECT COMPLETION THE OWNER SHALL BE SOLELY RESPONSIBLE TO ROUTINELY INSPECT AND MAINTAIN ALL ON-SITE STORM DRAIN FACILITIES. STORM DRAIN FACILITIES INCLUDE: ROOF GUTTERS AND DOWNSPOUTS, SURFACE DRAINS, SEDIMENTATION BASIN, DETENTION TANK AND DISCHARGE POINTS (DOUBLE UP BOD), AND CLEANED AND/OR FLUSHED ON A BIENNIAL BASIS OR AS FOUND NECESSARY.

DEMOLITION NOTES :

- 1. PRIOR TO BEGINNING DEMOLITION WORK ACTIVITIES, CONTRACTOR SHALL INSTALL EROSION CONTROL, MEASURES OUTLINED IN THE EROSION CONTROL PLAN, BEFORE START.
- 2. THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
- 3. CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS, INCLUDING BUT NOT LIMITED TO, THE SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS AND REMOVAL AND DISPOSAL OF HAZARDOUS MATERIALS.
- 4. CONTRACTORS BID IS TO INCLUDE ALL VISIBLE SURFACE AND ALL SUBSURFACE FEATURES IDENTIFIED TO BE REMOVED OR ABANDONED IN THIS DOCUMENT.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR ENCLOSUREMENT, GRADING, DEMOLITION, AND DISPOSAL OF SAND MATERIALS AS REQUIRED BY PRIVACY, LOCAL AND STATE JURISDICTIONS. THE CONTRACTOR SHALL PAY ALL FEES ASSOCIATED WITH THE DEMOLITION WORK.
- 7. THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
- 8. BACKFILL ALL DEPRESSIONS AND TRENCHES FROM DEMOLITION. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS.
- 9. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- 10. THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS, UTILITIES AND STRUCTURES WHICH ARE TO REMAIN. ANY ITEMS DAMAGED BY THE CONTRACTOR OR HIS AGENTS OR ANY ITEMS REMOVED FOR JOB SITE SHALL BE REPLACED IN EQUAL OR BETTER CONDITION AS APPROVED BY THE OWNER.

- 11. COORDINATE ALL UTILITY SHUT-DOWN/CONDUIT LOCATIONS WITH APPROPRIATE DRAWINGS (ELECTRICAL, MECHANICAL, ARCHITECTURAL, ETC.) AND NOTIFY ALL UTILITIES AND THE CITY PRIOR TO THE START OF CONSTRUCTION. DEMOLITION. CONTRACTOR IS TO COORDINATE SERVICE INTERRUPTIONS WITH THE OWNER. DO NOT INTERRUPT SERVICES TO ADJACENT OFF-SITE OWNERS. ANY EXISTING UNDERGROUND UTILITY LINES TO BE ABANDONED, SHOULD BE REMOVED FROM WITHIN THE PROPOSED BUILDING ENVELOPE AND THEIR ENDS CAPTURED AS PART OF THE BUILDING CONSTRUCTION.
- 12. THIS PLAN IS NOT INTENDED TO BE A COMPLETE CATALOGUE OF ALL EXISTING STRUCTURES AND UTILITIES. THIS PLAN INTENDS TO DISCLOSE GENERAL INFORMATION KNOWN BY THE ENGINEER AND TO SHOW THE LIMITS OF THE AREA WHERE WORK WILL BE PERFORMED. THIS PLAN SHOWS THE EXISTING FEATURES TAKEN FROM A FIELD SURVEY, FIELD INVESTIGATIONS AND AVAILABLE INFORMATION. THIS PLAN MAY OR MAY NOT ACCURATELY REFLECT THE TYPE OR EXTENT OF THE ITEMS TO BE ENCOUNTERED AS THEY ACTUALLY EXIST. WHERE EXISTING FEATURES ARE NOT SHOWN, IT IS NOT KNOWN THAT THEY ARE NOT TO BE DEMOLISHED OR REMOVED. THE CONTRACTOR SHALL PERFORM A THOROUGH FIELD INVESTIGATION AND REVIEW OF THE SITE WITHIN THE LIMIT OF WORK SHOWN IN THIS PLAN SET TO DETERMINE THE TYPE, QUANTITY AND EXTENT OF ANY AND ALL ITEMS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXTENT OF EXISTING STRUCTURES AND UTILITIES AND QUANTITY OF WORK INVOLVED IN REMOVING THESE ITEMS FROM THE SITE.

TREE/PLANT PROTECTION NOTES:

- 1. PRIOR TO BEGINNING CONSTRUCTION ON SITE, CONTRACTOR SHALL IDENTIFY AND PROTECT EXISTING TREES AND PLANTS DESIGNATED AS TO REMAIN.
- 2. PROTECT EXISTING TREES TO REMAIN FROM SPILLED CHEMICALS, FUEL, OIL, MOTOR OIL, GASOLINE AND ALL OTHER CHEMICALLY NOXIOUS MATERIALS, AS WELL AS FROM PULPING OR CONTINUOUSLY RUNNING WATER. SHOULD A SPILL OCCUR, STOP WORK IN THAT AREA AND CONTACT THE CITY. THE ENGINEER/INSPECTOR IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIALS AS WELL AS MATERIAL CLEAN UP.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL TREES DESIGNATED TO REMAIN AND FOR MAINTENANCE OF RELOCATED TREES SPECIFICALLY CALLED OUT AS FEET AND INCHES.

HORIZONTAL CONTROL NOTES:

- 1. ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THEREOF UNLESS SPECIFICALLY CALLED OUT IN FEET AND INCHES.

PAVEMENT SECTION:

- 1. SEE STRUCTURAL DRAWINGS FOR BUILDING SLAB SECTIONS AND PAD PREPARATIONS.
- 2. SEE GEOTECHNICAL REPORT FOR ALL FLATWORK AND VEHICULAR PAVEMENT SECTION AND BASE REQUIREMENTS.
- 3. THE FINAL OR SURFACE LAYER OF ASPHALT CONCRETE SHALL NOT BE PLACED UNTIL ALL ON-SITE IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING ALL GRADING, AND ALL UNACCEPTABLE CONCRETE WORK HAS BEEN REMOVED AND REPLACED, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER AND/OR DEVELOPER'S CIVIL ENGINEER.
- 4. ALL PAVING SHALL BE IN CONFORMANCE WITH SECTION 26 "AGGREGATE BASE" AND SECTION 26 "ASPHALT CONCRETE" PER LATEST EDITION OF CALIFORNIA STANDARD SPECIFICATIONS.

GRADING NOTES:

- 1. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 1% UNLESS OTHERWISE NOTED ON THE PLANS. SLOPE LANDINGS 2% (1/4" PER FOOT) AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED ON PLANS. ANY AREAS ON THE SITE NOT CONFORMING TO THESE BASIC RULES DUE TO EXISTING CONDITIONS OR DISCREPANCIES IN THE RECORDS ARE TO BE REPORTED TO THE CIVIL ENGINEER PRIOR TO PROCEEDING WITH PLACEMENT OF BASE OR FLOOR OR FORMWORK FOR CURBS AND SIDEWALKS.
- 2. CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY, THE GEOTECHNICAL INVESTIGATION AND THE PROPOSED SURFACE THICKNESS AND BASE THE BID ACCORDINGLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM A REIMATE DETAIL AND THAT CONTRACT HAS BEEN ISSUED TO TAKE THE SITE FROM THE WAY IT IS AT THE TIME OF THE BID TO THE CONDITIONS DESCRIBED IN THIS DOCUMENT. BRING ANY DIFFERENCES BETWEEN THE STATE IN WHICH THE SITE IS DELIVERED TO THE CONTRACTOR AND THESE DOCUMENTS TO THE ATTENTION OF THE CIVIL ENGINEER.
- 3. ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE GEOTECHNICAL ENGINEER TO TAKE THE APPROPRIATE TESTS TO ENSURE COMPACTION VALUES.
- 4. IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.
- 5. DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE CIVIL ENGINEER.
- 6. SITE STRIPPINGS THAT CONTAIN ONLY ORGANIC MATERIAL, NO DEBRIS TRASH, BROKEN COKE, OR ROCKS GREATER THAN 1" IN DIAMETER MAY BE USED IN LANDSCAPE AREAS, EXCEPT FOR AREAS IDENTIFIED AS IMPORT TOP SOIL BY THE LANDSCAPE DRAWINGS. EXCESS STRIPPINGS SHALL BE REMOVED FROM SITE.
- 7. ROUGH GRADING TO BE WITHIN 3" TO 4" FINISH GRADES ARE TO BE WITHIN 60%, FINISH GRADING SHALL NOT CONSTRUCT ANY IMPROVEMENTS THAT WILL CAUSE WATER TO POND OR NOT MEET REQUIREMENTS IN GRADING NOTE 8.
- 8. THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADATIONS, AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRASSED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADATIONS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTORS SHALL BE REQUIRED TO CORRECT THE GRADATIONS, AT NO EXTRA COST TO THE CLIENT.
- 9. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND THE ENGINEER. PRIOR TO START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
- 10. THE CONTRACTOR SHALL ADJUST TO FINAL GRADE ALL EXISTING MANHOLES, CURB INLETS, CATCH BASINS, VALVES, MONUMENT COVERS, AND OTHER CASTINGS WITHIN THE WORK AREA TO FINAL GRADE IN PAVEMENT AND LANDSCAPE AREAS UNLESS NOTED.

STORM DRAIN NOTES:

- 1. USE DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 6" BELOW THE SURFACE. TAPE SHALL BE A BRIGHT COLOR AND IMPRINTED WITH "CAUTION-BURIED STORM DRAIN LINE BELOW".
- 2. PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH IN NON-TRAFFIC AREAS SHALL BE INSTALLED WITH A MINIMUM OF EIGHTEEN (18) INCHES OF COVER AND SHALL BE POLY(VINYL CHLORIDE (PVC) SDR 35. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS, 45° ELBOWS OR L-BOSS W/ELBOWS, 90° ELBOWS AND TEES ARE PROHIBITED.
- 3. PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH VEHICULAR TRAFFIC AREAS SHALL BE INSTALLED WITH A MINIMUM OF EIGHTEEN (18) INCHES OF COVER AND SHALL BE POLY(VINYL CHLORIDE (PVC) SDR 35 PIPE. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, CUTSIDE ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEES ARE PROHIBITED.
- 4. PAINT THE TOP OF THE CURBS ADJACENT TO EACH CATCH BASIN INSTALLED UNDER THIS WORK OR QUANTITY TO THIS SITE WITH THE WORDS "NO DUMPING" WRITING TO BE BLUE 4" HIGH LETTERS ON A PAINTED WHITE BACKGROUND.
- 5. ALL AREA DRAINS AND CATCH BASINS GRATED WITH PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.
- 6. DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT/ENGINEER.
- 7. WHERE FEASIBLE ALL DOWNSPOUTS SHALL DISCHARGE TO A SPLASHPOOL OR IMPROVED SURFACE AND FLOW TO LANDSCAPED FEATURES BEFORE ENTERING THE DRAINAGE SYSTEM. USE OF AREA DRAINS (RATHER THAN DIRECT CONNECTION TO DRAINAGE SYSTEM) TO COLLECT SURFACE WATER IS STRONGLY ENCOURAGED IN CONFORMANCE WITH COUNTY WUE C.3 REQUIREMENTS. OTHERWISE, DOWNSPOUTS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM WITH 4" PVC SDR 35 PIPE WHERE SHOWN ON PLANS. SEE ARCHITECTURE PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.
- 8. CONTRACTOR SHALL INSTALL RAIN GUTTER GUARDS OR WIRE MESH ON ALL ROOF GUTTERS TO REDUCE THE AMOUNT TO LEAVES AND DEBRIS FROM ENTERING THE STORM DRAIN SYSTEM.
- 9. INSTALL SEPARATE SUB-DRAIN SYSTEM BEHIND RETAINING WALLS PER GEOTECHNICAL REPORT AND CONNECT TO STORM DRAIN SYSTEM AS SHOWN.

GENERAL UTILITY SYSTEM NOTES :

- 1. UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS AND EXTENT BASED UPON FIELD OBSERVATION ONLY. NO GUARANTEE IS MADE TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, LOCATION AND DEPTH OF ALL THE UTILITIES AND CROSSINGS TO ENSURE THEY ARE CORRECTLY SHOWN. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN EXCAVATING AND SHALL PROTECT ALL EXISTING UTILITIES FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS.
- 2. CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATIONS OF EXISTING UTILITIES AS DETERMINED DURING THE DEMOLITION WORK, AND ALL PROPOSED UTILITIES SHOWN ON THE CIVIL, ELECTRICAL, JOINT TRENCH AND FIRE SPRINKLER DRAWINGS.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.
- 4. CONTRACTOR SHALL REPLACE ALL COVERS AND GRATE LOBS FOR MANHOLES, VALVES, CATCH BASINS, ETC. WITH VEHICULAR-RATED STRUCTURES IN ALL TRAFFIC ACCESSIBLE AREAS.
- 5. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL, FILL OR PLACE STEEL PLATING WITH APPROPRIATE OUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MAK ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
- 6. ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
- 7. CLEAN OUTS, CATCH BASINS, MANHOLES, AREA DRAINS AND UTILITY VALVES ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING. FLOW/WORK, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED ON DRAWINGS. APPROXIMATELY CONTRACTOR SHALL STATE LOCATIONS OF ABOVE GROUND UTILITY EQUIPMENT (BACKFLOW PREVENTOR, TRANSFORMER, UTILITY METERS, ETC.) AND MEET WITH OWNER TO REVIEW LOCATION PRIOR TO INSTALLATION.
- 8. ALL UTILITY SYSTEMS (SANITARY SEWER, STORM DRAIN, WATER SYSTEM, ETC.) ARE DELINEATED IN A SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE ALL FITTINGS, ACCESSORIES AND WORK NECESSARY TO COMPLETE THE UTILITY SYSTEM SO THAT IT IS FULLY FUNCTIONING FOR THE PURPOSE INTENDED.
- 9. CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK. ALL WORK FOR STORM AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT TO ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONNECTION FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UP STREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY. CONTRACTOR SHALL VERIFY LOCATION OF SANITARY SEWER LATERAL WITH OWNER PRIOR TO CONSTRUCTION.
- 10. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITIES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT HORIZONTAL AND VERTICAL CLEARANCE. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE CIVIL ENGINEER PRIOR TO INSTALLATION.
- 11. VERTICAL SEPARATION REQUIREMENTS:
A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY LINES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE EXISTING SANITARY SEWER PIPELINES.
WHERE NEW WATER PIPELINES ARE REQUIRED TO CROSS UNDER EXISTING UNDER AND SANITARY SEWER PIPELINES, THE MINIMUM VERTICAL SEPARATION SHALL BE 12 INCHES. WATER LINE PIPE ENDS SHALL BE INSTALLED TO CLOSER THAN 1/2" MINIMUM HORIZONTAL DISTANCE FROM CENTERLINE OF UTILITY CROSSINGS, WHERE FEASIBLE.

- HORIZONTAL SEPARATION REQUIREMENTS:
A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE 3 FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 18" MINIMUM UNLESS OTHERWISE NOTED. WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90° ANGLE AND WATER LINES SHALL BE A MINIMUM OF 12" ABOVE TOP OF SANITARY SEWER LINES.
A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT SHALL BE 3 FEET.

SANITARY SEWER NOTES:

- 1. USE DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 6" BELOW THE SURFACE. TAPE SHALL BE A BRIGHT COLOR AND IMPRINTED WITH "CAUTION-BURIED SANITARY SEWER LINE BELOW".
- 2. ALL SEWER SHALL BE IN CONFORMANCE WITH THE CITY OR APPROPRIATE SANITARY SEWER DISTRICT.
- 3. PUBLIC AND PRIVATE SANITARY SEWER MAIN AND SERVICE LINE 4-INCH THROUGH 18-INCH WITH A MINIMUM OF TWENTY FOUR (24) INCHES OF COVER SHALL BE POLY(VINYL CHLORIDE (PVC) SDR 35 GREEN SEWER PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF CALIFORNIA STANDARD SPECIFICATIONS WITH GLEED UNITS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR 45° ELBOWS, 90° ELBOWS AND TEES ARE PROHIBITED.
- 4. ALL LATERALS SHALL HAVE A CLEANOUT AT FACE OF BUILDING, AT THE PROPERTY LINE AND AS SHOWN ON PLANS PER THE CITY STANDARD OR APPROPRIATE SANITARY SEWER DISTRICT.
- 5. IF (B) SEWER LATERAL IS TO BE USED, CONTRACTOR SHALL CONDUCT WATER PRESSURE TEST AND VIDEO INSPECTION ON THE ENTIRE SECTION OF EXISTING LATERAL FROM HOUSE TO SEWER MAIN. CONTRACTOR SHALL PERFORM ANY NECESSARY CLEANING AND/OR REPAIRS WITHIN THE LATERAL AND AT THE CONNECTION.

WATER SYSTEM NOTES:

- 1. USE DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 6" BELOW THE SURFACE. TAPE SHALL BE A BRIGHT COLOR AND IMPRINTED WITH "CAUTION-BURIED WATER LINE BELOW".
- 2. ALL WATER SEWER CONNECTIONS, INCLUDING BUT NOT LIMITED TO WATER VALVES TEMPORARY AND PERMANENT AIR RELEASE VALVES AND BLOW OFF VALVES, SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OR APPLICABLE WATER DISTRICT STANDARDS.
- 3. CONTRACTOR SHALL SIZE AND INSTALL ALL NEW DESIGN BUILD DOMESTIC IRRIGATION AND FIRE WATER LINES IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM-CALIFORNIA PLUMBING AND FIRE CODES. (ALL FIXTURE UNIT COUNTS SHALL BE REVIEWED AND APPROVED BY THE CITY BUILDING AND/OR WATER DEPARTMENT PRIOR TO CONSTRUCTION.)
- 4. ALL WATER LINES SHALL BE INSTALLED WITH 30" MINIMUM COVER.
- 5. PUBLIC AND PRIVATE WATER MAIN AND WATER SERVICE LINE THROUGH 12-INCH SHALL BE POLY(VINYL CHLORIDE (PVC) AND SHALL MEET ANWA C900, 12-INCH SHALL BE POLYETHYLENE GLYCOL (PE) WITH EPDM GASKETS. BONA FITTINGS AND FUSION EPDM COATED GATE VALVES. ALL JOINTS SHALL BE FACTORY MANUFACTURED WITH BELL AND SPIGOT ENDS AND RUBBER GASKETS.
- 6. ALL WATER LINES 2" OR SMALLER SHALL BE TYPE K COPPER WITH SILVER BRAZED JOINTS. CONTRACTOR TO VERIFY PRESSURES FROM EXISTING LINES ARE ADEQUATE TO SERVICE BUILDINGS AS SPECIFIED BY THE PLUMBING PLANS.
- 7. CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE APPROVED BY THE CITY. THE CONTRACTOR SHALL PAY THE ACTUAL COSTS OF CONSTRUCTION. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, PREPARE THE SITE, FURNISH ALL MATERIALS, INSTALL TAPPING TEES, VALVE AND ALL THRUST BLOCKS, BACKFILL, RESTORE THE SURFACE, AND CLEAN UP. THE CITY WILL PROVIDE THE CONTRACTOR WITH A LIST OF APPROVED CONTRACTORS FOR MAKING WET TAPS.
- 8. ALL WATER VALVES SHALL BE CLOSURED, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COLLECTING AND DELIVERING WATER SAMPLES FOR ANALYSIS TO A CITY APPROVED LAB.
- 10. ALL ON AND OFF-SITE LANDSCAPE IRRIGATION SYSTEMS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS AND SHALL BE CONNECTED TO THE EXISTING UNDER NEW WATER SYSTEM AND METERED ACCORDINGLY.
- 11. INSTALL CITY APPROVED PRESSURE REGULATOR AND REDUCED BACKFLOW PREVENTOR ON WATER LINE AT ENTRANCE TO BUILDING. REFERENCE PLUMBING PLANS FOR MORE DETAIL.

FIRE PROTECTION NOTES:

- 1. CONTRACTOR SHALL INSTALL THE DESIGN BUILD FIRE SERVICE LINE, BACKFLOW PREVENTOR, SPRINKLERS AND EQUIPMENT IN ACCORDANCE WITH THE FIRE PROTECTION CONSULTANT'S PLAN AND SPECIFICATIONS, LATEST EDITION OF THE UNIFORM-CALIFORNIA FIRE CODE AND CITY/TOWN STANDARDS.
- 2. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUIRED BY THE LOCAL FIRE MARSHAL, INCLUDING ANGLES, THRUST BLOCKS, VALVES, FIRE HYDRANTS, FRYN, FOSS, BACKFLOW ASSEMBLIES, FLEXIBLE CONNECTIONS, VALVES, ETC.
- 3. SHOP DRAWINGS SHALL BE SUBMITTED TO THE LOCAL FIRE MARSHAL, THE RATING AGENCY AND THE PROJECT MANAGER, ALLOWING TIME FOR REVIEW AND ACCEPTANCE, PRIOR TO START OF WORK.
- 4. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO ORDERING MATERIALS, FABRICATING SYSTEMS OR ANY INSTALLATION.
- 5. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND EQUIPMENT LOCATIONS. RISER LOCATIONS ARE SHOWN ON ARCHITECTURAL AND PLUMBING DRAWINGS AND ARE TO BE COORDINATED WITH ACTUAL FIELD CONDITIONS.

REVISIONS: [Table with 2 columns: NO., DESCRIPTION]

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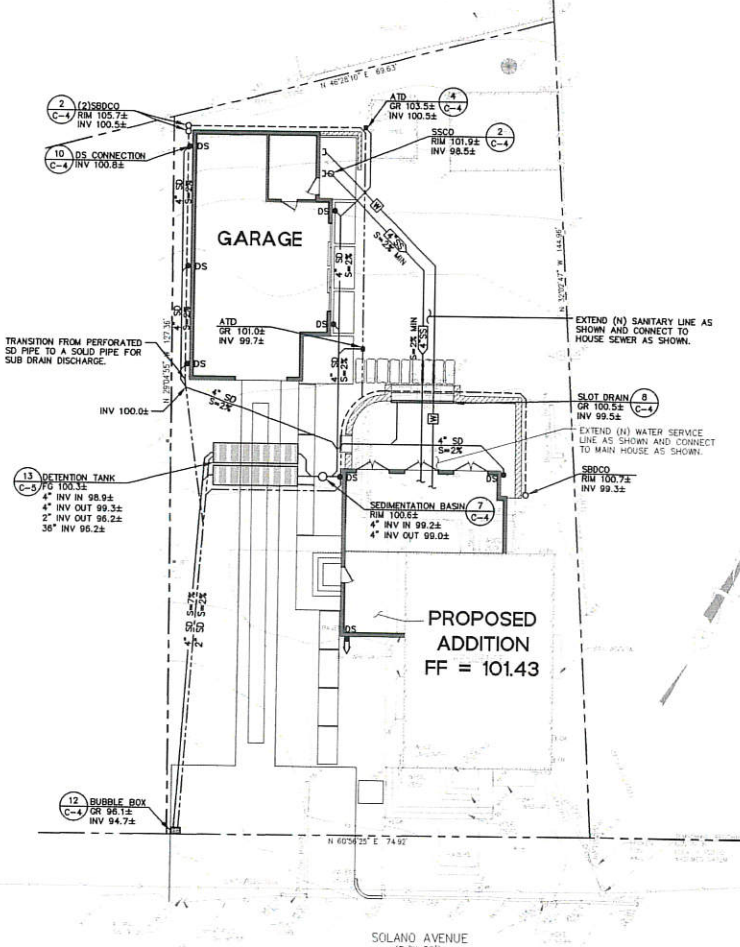
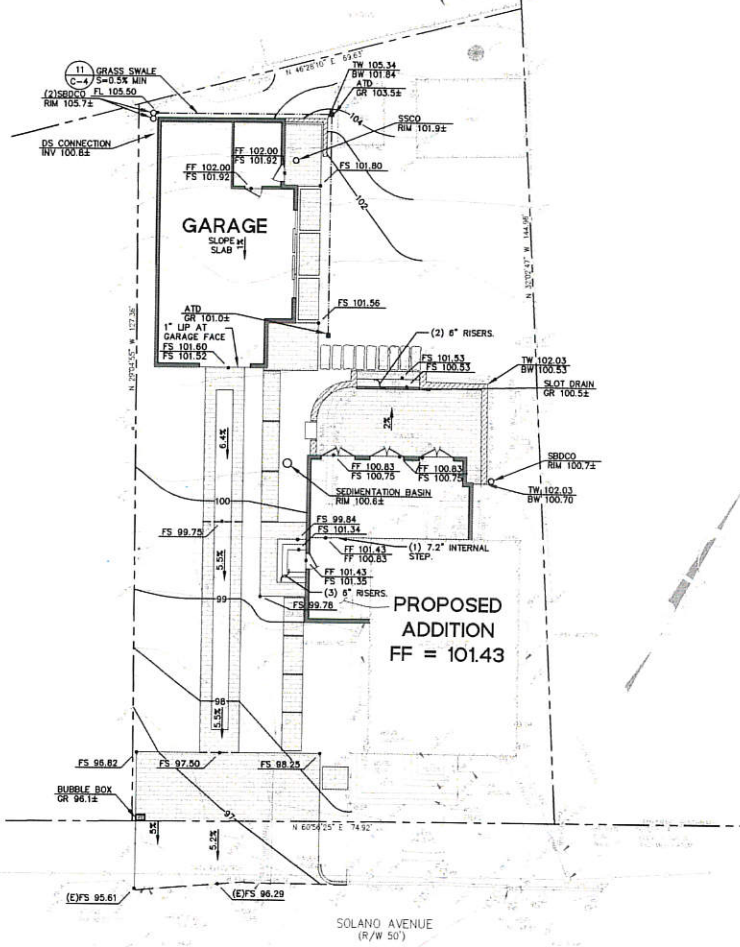
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NOTES SHEET
ROSSI/BIGELOW RESIDENCE
247 SOLANO AVENUE
EL GRANADA (SMCO, CA 94019)

Date: 11/20/2017
Scale: NONE
Design: AJP
Check: TRL
Drawing Number: C-1
PEC 17-122



GRADING PLAN

UTILITY PLAN



PAVEMENT LEGEND:

SEE GEOTECHNICAL REPORT IF ONE EXISTS FOR EXACT PAVEMENT SECTIONS AND OVER-EXCAVATION REQUIREMENTS. SEE ARCHITECTURAL PLANS FOR EXACT MATERIAL SELECTION.

-  PAVERS
PAVER UNIT OVER A THIN LEVELING COURSE OF SAND OVER 6" MIN OF CLASS II AGGREGATE BASE. INSTALL PER MANUFACTURERS RECOMMENDATIONS. COLOR AND TYPE TO BE APPROVED BY THE OWNER PRIOR TO INSTALLATION. INSTALL EDGE CONSTRAINT SUCH AS A FLUSH CURB. S&P.
-  AC PAVING
3" OF AC PAVING OVER 6" MIN OF CALTRANS CLASS II AGGREGATE BASE ROCK.

SEE SHEET C-0 FOR LEGEND AND SHEET C-1 FOR NOTES



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DATE:	
REVISIONS:	

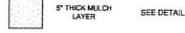


GRADING AND UTILITY PLAN
ROSSI/BIGELOW RESIDENCE
247 SOLANO AVENUE
EL GRANADA (SMCO, CA 94019)

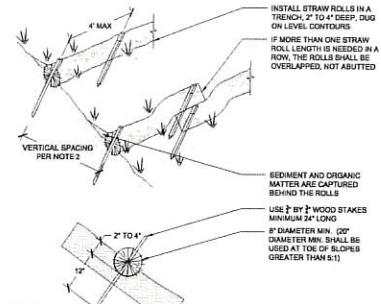
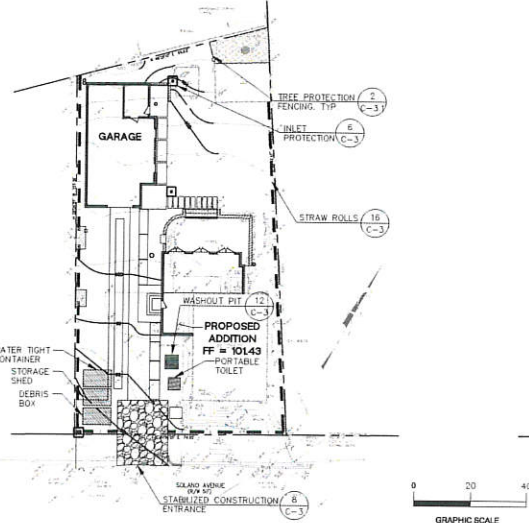
Date: 11/20/2017
Scale: 1" = 10'
Design: AJP
Check: TRL
Drawing Number: C-2
FIG. JOB No. PEC 17-122

EC POINT OF CONTACT: TO BE DETERMINED
CONSTRUCTION SCHEDULE: ANTICIPATED CONSTRUCTION DURATION 18 MONTHS

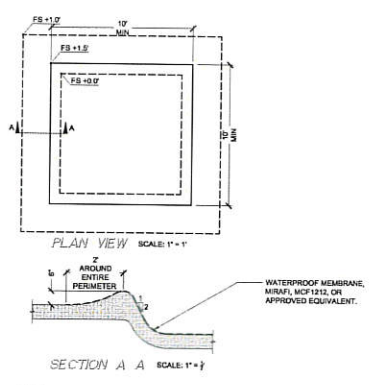
LEGEND:



SEE DETAIL



- NOTES:**
1. INSTALL SUCH THAT RUNOFF WILL NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL. TURN ENDS UP SLIGHTLY TO PREVENT RUNOFF FROM GOING AROUND ROLL.
 2. SPACE STRAW ROLLS AS FOLLOWS:
 - SLOPE OF 4:1 OR FLATTER = 20 FEET APART
 - SLOPE BETWEEN 4:1 AND 2:1 = 15 FEET APART
 - SLOPE OF 2:1 OR GREATER = 10 FEET APART
 3. INSPECT AND REPAIR STRAW ROLLS AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE.
 4. IN LESS OF STRAW ROLL INSTALLATION AROUND PROJECT PERIMETER, CONTRACTOR HAS OPTION TO PRESERVE A NATURAL VEGETATED BUFFER 3 FOOT MINIMUM IN WIDTH OR A 6 INCH HIGH BERM.

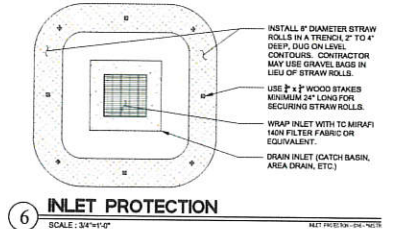


- NOTES:**
1. LOCATE AWAY FROM STORM DRAIN INLETS, DRAINAGE FACILITIES, OR WATERCOURSES. DO NOT DISCHARGE WASH WATER TO STORM DRAINS OR WATERCOURSES.
 2. BERM UP EDGES AS SHOWN IN SECTION A-A TO CONTAIN WASH WATERS AND TO PREVENT RUNOFF AND RUNOFF.
 3. IF WASH WATER REACHES WITHIN 3" OF THE TOP OF BERM, CONTRACTOR SHALL UTILIZE SUMP PUMP AND DESLTING BASIN TO REMOVE SEDIMENT LADEN WASH WATER.

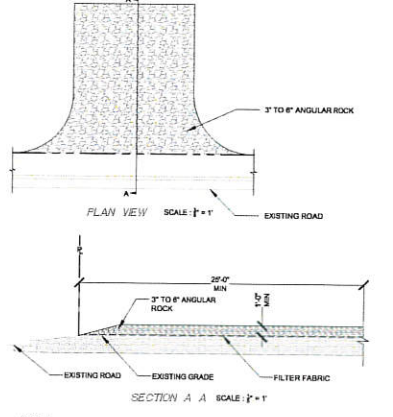


EROSION AND SEDIMENTATION CONTROL NOTES:

1. ALL EROSION CONTROL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED, BY OCTOBER 15 AND SHALL CONTINUE IN EFFECT UNTIL APRIL 30 OR UNTIL INSTALLATION OF THE PERMANENT SITE IMPROVEMENTS.
2. CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN WHICH ARE SCHEMATIC MINIMUM REQUIREMENTS, THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF THE EROSION CONTROL SYSTEM SO THAT IT WORKS WITH THE CONTRACTOR'S ANTICIPATED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
3. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED, AS REQUIRED, AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS PRIOR TO ANTICIPATED STORMS AND AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
4. AS SOON AS PRACTICAL FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS IN THE STREET AND FROM THE EROSION CONTROL SEDIMENT BASINS AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
5. NECESSARY EROSION CONTROL MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
6. THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL MEASURES AND FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS.
7. WATER TRUCKS SHALL BE PRESENT AND IN USE AT THE CONSTRUCTION SITE. ALL PORTIONS OF THE SITE SUBJECT TO BLOWING DUST SHALL BE WATERED AS OFTEN AS DEEMED NECESSARY BY CONDITIONS WIND AND/OR THE DISTRICT IN ORDER TO INSURE PROPER CONTROL OF BLOWING DUST FOR THE DURATION OF THE PROJECT.
8. WHEEL WASHERS SHALL BE INSTALLED AND USED TO CLEAN ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE. IF WHEEL WASHERS CANNOT BE INSTALLED, TILES OR TRACKS OF ALL TRUCKS AND EQUIPMENT SHALL BE WASHED OFF BEFORE LEAVING THE CONSTRUCTION SITE.
9. THE CONTRACTOR SHALL DEMONSTRATE DUST SUPPRESSION MEASURES, SUCH AS REGULAR WATERING, WHICH SHALL BE IMPLEMENTED TO REDUCE EMISSIONS DURING CONSTRUCTION AND GRADING IN A MANNER MEETING THE APPROVAL OF THE CONSTRUCTION MANAGER. THIS SHALL ASSIST IN REDUCING SHORT-TERM IMPACTS FROM PARTICLES WHICH COULD RESULT IN NUISANCES THAT ARE PROHIBITED BY RULE 403 (FUGITIVE DUST).



6 INLET PROTECTION
SCALE: 3/4"=1'-0"



- NOTES:**
1. PROVIDE A FANNED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET.



EROSION AND SEDIMENTATION CONTROL NOTES CONT.:

10. GRADING OR ANY OTHER OPERATIONS THAT CREATES DUST SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT DUST CONTROL FOR THE ENTIRE PROJECT SITE AT ALL TIMES. THE SITE SHALL BE WATERED AS NECESSARY TO PREVENT DUST NUISANCE. THE EVENT THAT THE CONTRACTOR REQUESTS TO USE ADEQUATE MEASURES TO CONTROL DUST, THE HOME OWNER RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
11. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA VEHICLE TRAFFIC, SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED TO THE PUBLIC RIGHT-OF-WAY. ACCIDENTAL DEPOSITINGS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
12. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER. COVER STOCKPILED MATERIAL WITH WOODEN OR TARPANLUM UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING COVER THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
13. ANY SLOPES WITH DISTURBED SOILS OR DENIED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
14. ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS SHALL BE COVERED WITH TARPANLUM OR OTHER EFFECTIVE COVERS.
15. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
16. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE. NEVER CLEAN MACHINERY, EQUIPMENT OR TOOLS INTO A STREET, COURT OR STORM DRAIN.
17. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND.
18. CLEAN UP ALL SPILLS USING DRY METHODS.
19. CALL 911 IN CASE OF A HAZARDOUS SPILL.

20. SMPs AS OUTLINED IN, BUT NOT LIMITED TO, CALIFORNIA STORM WATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA, JANUARY 2003, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THE PROJECT. ALL CONSTRUCTION IMPROVEMENTS SHALL adhere TO THESE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM BEST MANAGEMENT PRACTICES TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE CITY OR COUNTY STORM DRAIN SYSTEMS. ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTORS.

21. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
22. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN AND HOME OWNER. THE ADJACENT STREET SHALL BE KEPT CLEAN OF DEBRIS, WITH DIRT AND OTHER NUISANCES BEING CONTROLLED AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. METHOD OF MATERIALS WITHIN THE RIGHT-OF-WAY IS PERMITTED.

23. UPON SATISFACTORY COMPLETION OF THE WORK, THE ENTIRE WORK SITE SHALL BE CLEANED BY THE CONTRACTOR AND LEFT WITH A SMOOTH AND NEATLY GRADED SURFACE FREE OF CONSTRUCTION WASTE, RUBBISH, AND DEBRIS OF ANY NATURE.
24. THE CONTRACTOR SHALL ADHERE TO SMPs (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OF COUNTY STORM DRAIN SYSTEMS.

25. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INCISION OF ANY WORK ON-SITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED TO THE PUBLIC RIGHT-OF-WAY.
26. THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH BERMS IN CONJUNCTION WITH PROPERLY INSTALLED INLET FILTERS.

27. SILT FENCES AND FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15 AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUALLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO ENSURE THEIR PROPER FUNCTION.
28. PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.

29. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENuded AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
30. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
31. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.

32. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DRAINING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMITS(S) AS NECESSARY.
33. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
34. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
35. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED PAVED AREAS.
36. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE, CLEAN OFF-SITE WHEELS AND SIDEWALKS USING DRY SWEEPING METHODS.

37. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
38. PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS IS REQUIRED ON WEEKENDS AND DURING RAIN EVENTS: (LIST LOCATIONS)
39. THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE ETC., SHALL NOT BE ENLARGED OR "RUN OVER".

40. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF SEASON".
41. DUST CONTROL IS REQUIRED YEAR-ROUND.
42. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
43. USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.

SEE SHEET C-0 FOR LEGEND AND SHEET C-1 FOR NOTES



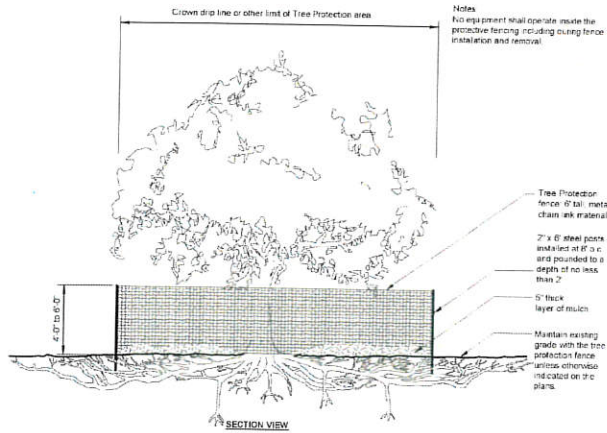
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DATE	REVISIONS



EROSION AND SEDIMENT CONTROL PLAN
ROSS/BIGELOW RESIDENCE
247 SOLANO AVENUE
EL GRANADA (SMCO), CA 94019

Date: 11/20/2017
 Scale: AS SHOWN
 Design: AJP
 Check: TRL
 Drawing Number: C-3
 PEG and No: PEC 17-122

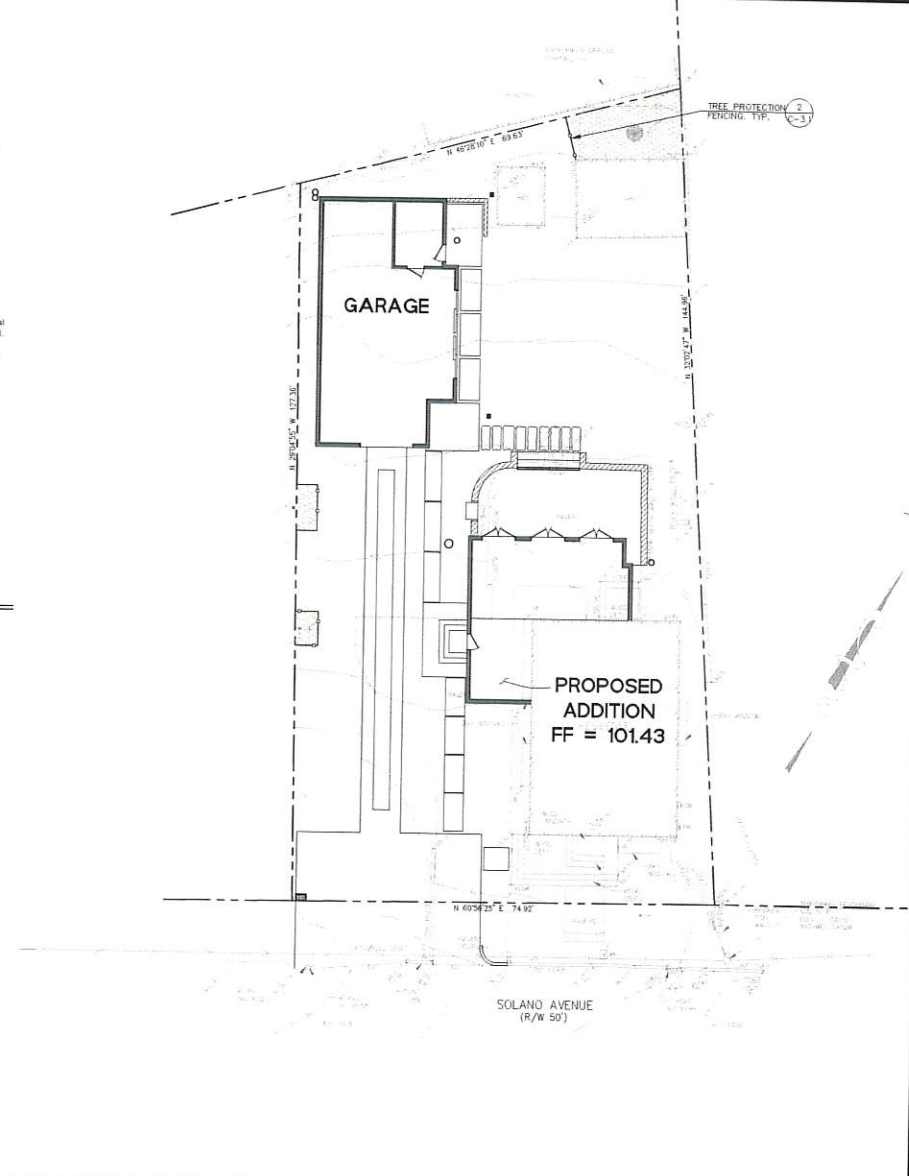


2 TREE PROTECTION

TREE/PLANT PROTECTION NOTES:

1. PRIOR TO BEGINNING CONSTRUCTION ON SITE, CONTRACTOR SHALL IDENTIFY AND PROTECT EXISTING TREES AND PLANTS DESIGNATED AS TO REMAIN.
2. PROTECT EXISTING TREES TO REMAIN FROM SPILLED CHEMICALS, FUEL OIL, MOTOR OIL, GASOLINE AND ALL OTHER CHEMICALLY INJURIOUS MATERIAL, AS WELL AS FROM FLOODING OR CONTINUOUSLY RUNNING WATER. SHOULD A SPILL OCCUR, STOP WORK IN THAT AREA AND CONTACT THE CITY'S ENGINEER/INSPECTOR IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIAL AS WELL AS MATERIAL CLEAN UP.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL TREES DESIGNATED TO REMAIN AND FOR MAINTENANCE OF RELOCATED TREES STOCKPILED DURING CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REPLACE TREES THAT DIE DUE TO LACK OF MAINTENANCE.
4. ALL TREE PROTECTION FENCING SHALL BE INSTALLED PER THE ARBORIST IF ONE EXISTS.

LEGEND:



SEE SHEET C-0 FOR LEGEND AND SHEET C-1 FOR NOTES



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 TREC@PrecisionEC.com

DATE:	
REVISIONS:	



TREE PROTECTION PLAN
 ROSSI/BIGELOW RESIDENCE
 247 SOLANO AVENUE
 EL GRANADA (SMCO, CA 94019)

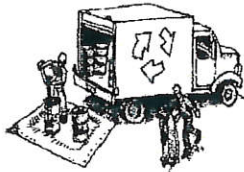
Date: 11/20/2017
 Scale: 1" = 10'
 Design: AJP
 Check: TRL
 Drawing Number: C-3.1

PEC Job No. PEC 17-122

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gypsum board, pipe, etc.).
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately, and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as filter rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells.
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



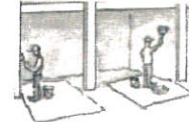
- Store concrete, grout and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

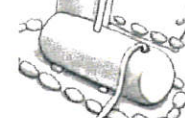
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



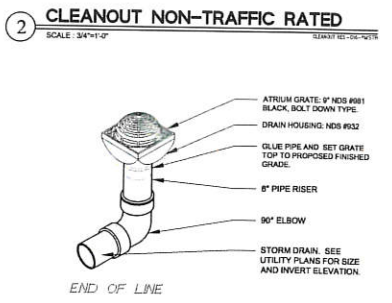
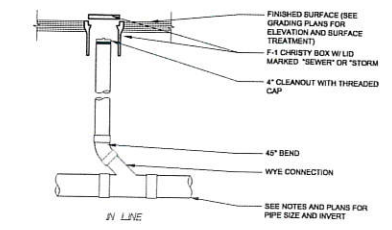
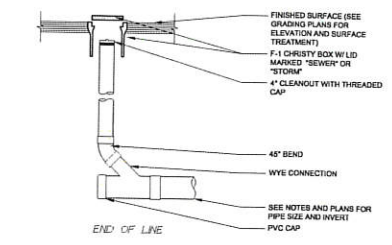
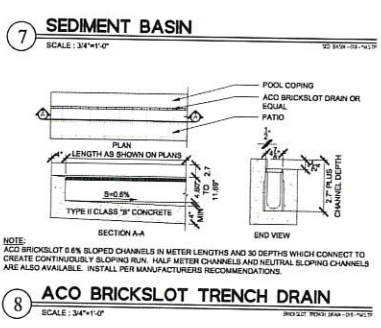
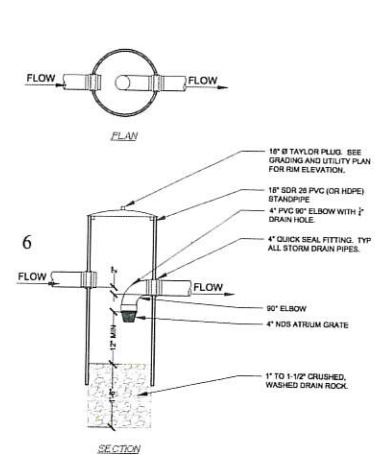
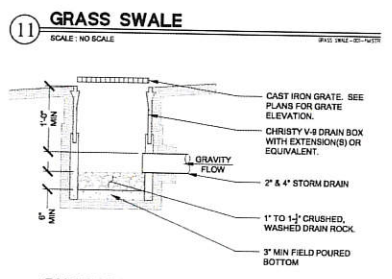
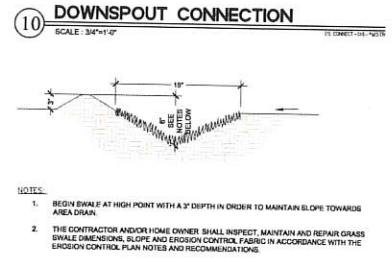
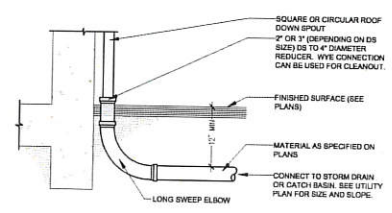
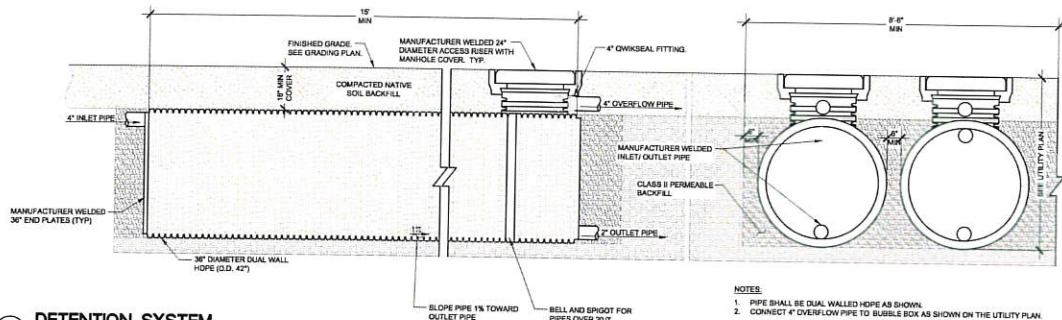
- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

DATE:	
REVISIONS:	



Date:	11/20/2017
Issue:	NONE
Design:	AJP
Check:	TRL
Drawing Number:	C-3.2
PREC and No.:	PEC 17-122



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DATE: _____

REVISIONS:

PROFESSIONAL SEAL
STATE OF CALIFORNIA
DIA
7256
11/20/2017

DETAIL SHEET
ROSS/BIGELOW RESIDENCE
247 SOLANO AVENUE
EL GRANADA (SMCO, CA 94019)

Date: 11/20/2017
Scale: AS SHOWN
Design: AJP
Check: TRL
Drawing Number: C-4
PEC Job No: PEC 17-122