


0.08 0 0.04 0.08 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1:2,586 

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Planning and Building Department

Application for Design Review by the County Coastside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063  
Mail Drop PLN 122 ■ 650.363.4161 ■ FAX 650.363.4849

Permit #: PLN 2017-00294

Other Permit #: \_\_\_\_\_

Applicant Information

Applicant:

Name: RUSS DOTTER

Address: 4801 PARK BLVD.  
OAKLAND, CA. Zip: 94602

Phone, W: 510-530-9231 H: 928-816-0102

Email: dottersol@gmail.com

Owner (if different from Applicant):

Name: AMBER FORKE

Address: 642 JOHNSTON AVE. #3  
HALF MOON BAY, CA Zip: \_\_\_\_\_

Phone, W: 408-656-2786

Email: Arforke@gmail.com

Architect or Designer (if different from Applicant):

Name: SAME - DOTTER & SOLFJELD ARCHITECTURE & DESIGN

Address: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_ H: \_\_\_\_\_ Email: \_\_\_\_\_

Project Site Information

Project location:

APN: 037-287-030

Address: 991 SAN RAMON AVE.  
MOSS BEACH, CA. Zip: \_\_\_\_\_

Zoning: R1 9105

Parcel/lot size: 7,943.663 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe): \_\_\_\_\_

Project:

- New Single Family Residence: 1,982 sq. ft
- Addition to Residence: \_\_\_\_\_ sq. ft
- Other: \_\_\_\_\_

Describe Project:

NEW SINGLE FAMILY RESIDENCE  
1,982 sq ft INCLUDING 483 sq ft  
GARAGE. 2 BEDROOM, 2 BATH  
HOUSE

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

**5. Material and Finish of Proposed Buildings - Standards**

Fill in Blanks:	Material	Color/Finish	Check if matches existing
		(If different from existing, attach sample)	
a. Exterior walls	STUCCO / 1X8 CEDAR SIDING	STUCCO - PAINT	<input type="checkbox"/>
b. Trim	2X2 CEDAR TRIM	SIDING & TRIM - CLEAR SEALER	<input type="checkbox"/>
c. Windows	WOOD/CLAD WINDOWS	ANODIZED ALUM. CLADDING	<input type="checkbox"/>
d. Doors	WOOD/CLAD FRENCH DRs	ANODIZED ALUM. CLADDING	<input type="checkbox"/>
e. Roof	STANDING BEAM METAL	CHARCOAL GREY	<input type="checkbox"/>
f. Chimneys	CORTEN METAL PANELS	COR TEN RUSTED	<input type="checkbox"/>
g. Decks & railings	NONE		<input type="checkbox"/>
h. Stairs	CONC. STEPS	NATURAL SMOOTH	<input type="checkbox"/>
i. Retaining walls	NONE		<input type="checkbox"/>
j. Fences	1X6 CEDAR BOARDS SPACED 1" APART	CLEAR SEALER	<input type="checkbox"/>
k. Accessory buildings			<input type="checkbox"/>
l. Garage/Carport	1X8 CEDAR SIDING	CLEAR SEALER	<input type="checkbox"/>

**6. Required Findings**

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

**7. Signatures**

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: Amber Forker Applicant: [Signature]

Date: 7/17/17 Date: 7-17-17

**Environmental Information Disclosure Form**

PLN 2017-0029 RECEIVED

BLD \_\_\_\_\_

JUL 19 2017

Project Address: 991 SAN RAMON AVE.  
MOSS BEACH, CA

Name of Owner: AMBER M. FORKLEY  
Address: 642 JOHNSTON ST. #3  
HALF MOON BAY Phone: 408-696-2786

Assessor's Parcel No.: 031 - 287 - 030

Name of Applicant: RUSS DOTTER  
Address: 4801 PARK BLVD.  
OAKLAND CA. Phone: 910-930-9231

Zoning District: R-1 SID9

**Existing Site Conditions**

Parcel size: 7,943.66 sq ft

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). IT IS PRESENTLY A BARE LOT, RELATIVELY FLAT WITH NO TREES ON LOT

**Environmental Review Checklist**

**1. California Environmental Quality Act (CEQA) Review**

Yes	No	Will this project involve:
	X	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	X	b. Construction of a new multi-family residential structure having 5 or more units?
	X	c. Construction of a commercial structure > 2,500 sq.ft?
	X	d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
X		e. Land clearing or grading? <b>FOUNDATION GRADING ONLY</b> If yes, please state amount in cubic yards (c.y.): Excavation : _____ c.y. Fill: _____ c.y.
	X	f. Subdivision of land into 5 or more parcels?
	X	g. Construction within a State or County scenic corridor?
	X	h. Construction within a sensitive habitat?
X		i. Construction within a hazard area (i.e. seismic fault, landslide, flood)? <b>SEISMIC FAULT</b>
	X	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

GRADING WILL BE FOR FOUNDATION ONLY - NO SITE GRADING. THE PROPERTY IS IN MOSS BEACH WHICH IS IN A SEISMIC FAULT AREA.

Signature required on reverse →



## 2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
	X	a. Construction outside of the footprint of an existing, legal structure?
	X	b. Exterior construction within 100-feet of a stream?
	X	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
	X	d. Land-use within a riparian area?
	X	e. Timber harvesting, mining, grazing or grading?
	X	f. Any work inside of a stream, riparian corridor, or shoreline?
	X	g. Release or capture of fish or commerce dealing with fish?

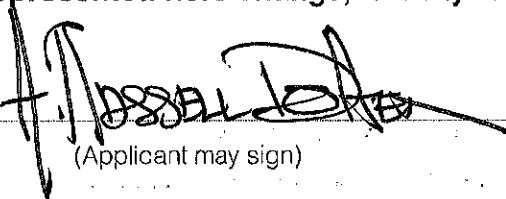
Please explain any "Yes" answers:

## 3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
	X	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
	X	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:



(Applicant may sign)

Date:

7-19-17

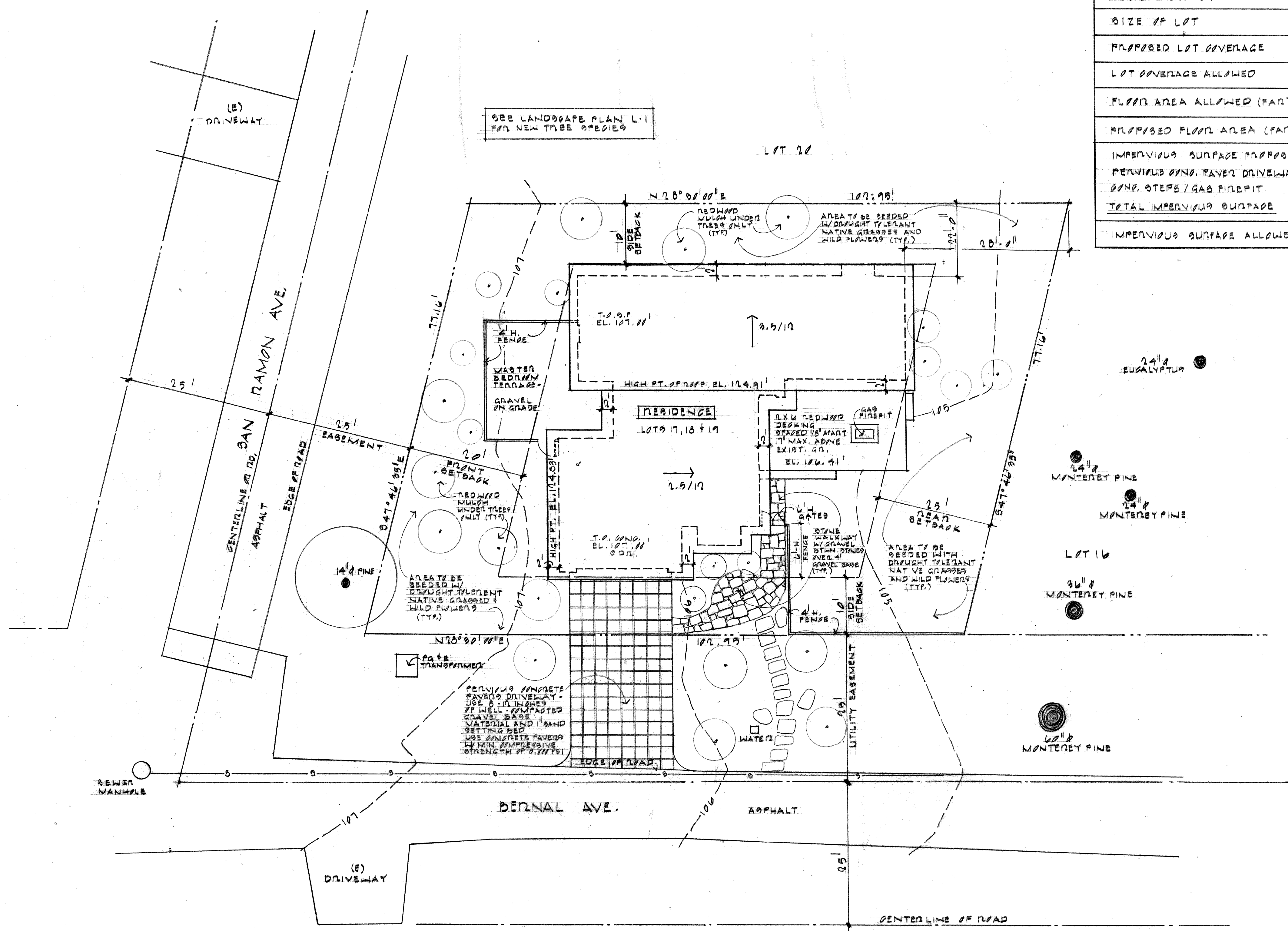
REVISIONS	BY

**Dotter & Solfield**  
 Architecture + Design  
 4801 PARK BOULEVARD  
 OAKLAND, CALIFORNIA 94602  
 PHONE 510 530 9231 FAX 510 530 9233

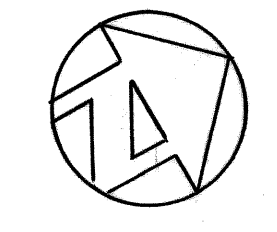
**FOLKE RESIDENCE**  
 991 SAN RAMON AVE., MOSS BEACH, CA.

Date	9-27-17
Scale	
Drawn	
Job	
Sheet	A 1
Of	1
Sheets	

APPROXIMATE PARCEL #	
ADDRESS	991 SAN RAMON AVE., MOSS BEACH, CA.
OWNER'S NAME	AMBER FORKE
PROPOSED USE	SINGLE FAMILY RESIDENCE
ZONE DISTRICT	R-1 0115
SIZE OF LOT	7,943.66 sq ft
PROPOSED LOT COVERAGE	1,987 sq ft
LOT COVERAGE ALLOWED	1,986 sq ft MAX.
FLOOR AREA ALLOWED (FAR)	3,819.95 sq ft MAX.
PROPOSED FLOOR AREA (FAR)	1,982 sq ft
IMPERVIOUS SURFACE PROPOSED	
PERVIOUS CONC. PAVED DRIVEWAY	0 sq ft
CONC. STEPS / GAS FIREPIT	25.5 sq ft
TOTAL IMPERVIOUS SURFACE	25.5 sq ft
IMPERVIOUS SURFACE ALLOWED	794 sq ft



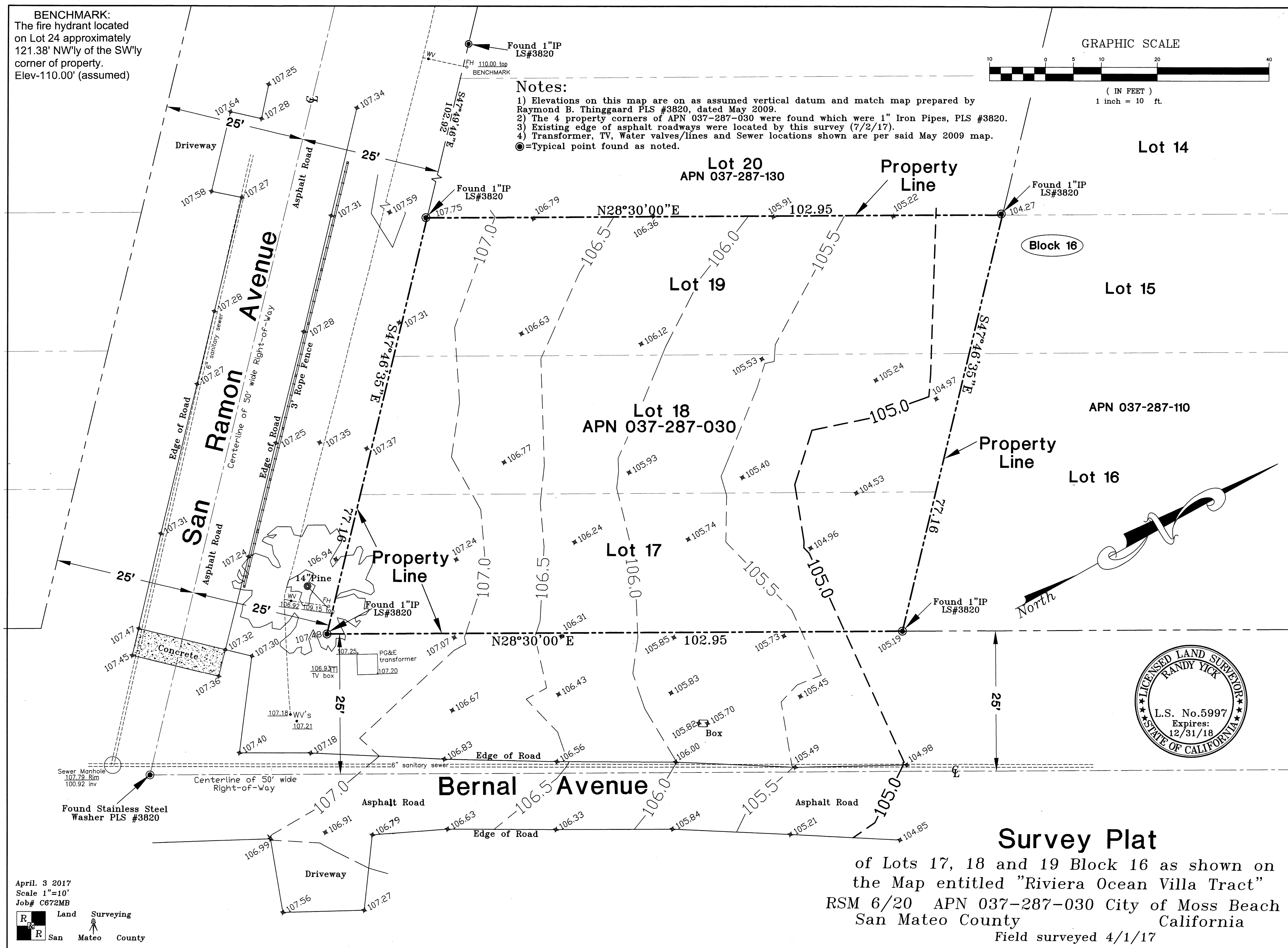
**SITE PLAN**  
 DWF PLAN 1/2" = 1'



REVISIONS	BY

**Dotter & Soljeld**  
 Architecture + Design  
 4801 PARK BOULEVARD 94602  
 OAKLAND CALIFORNIA  
 PHONE 510 530 9231 FAX 510 530 9223

**FORKE RESIDENCE**  
 111 SAN RAMON AVE., MOSS BEACH, CA.

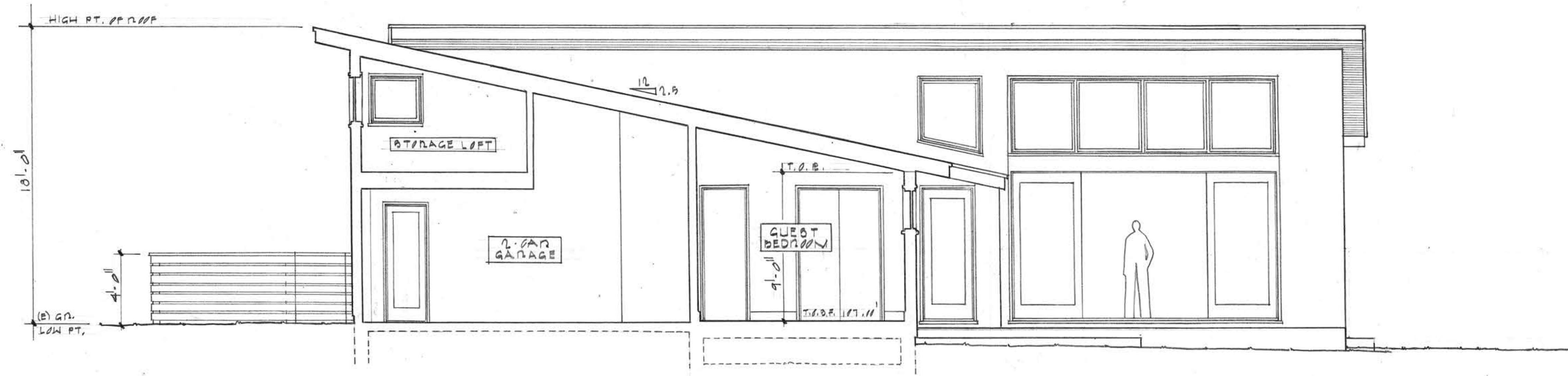


Date	9-20-17
Scale	
Drawn	
Job	
Sheet	5-1
Of	Sheets

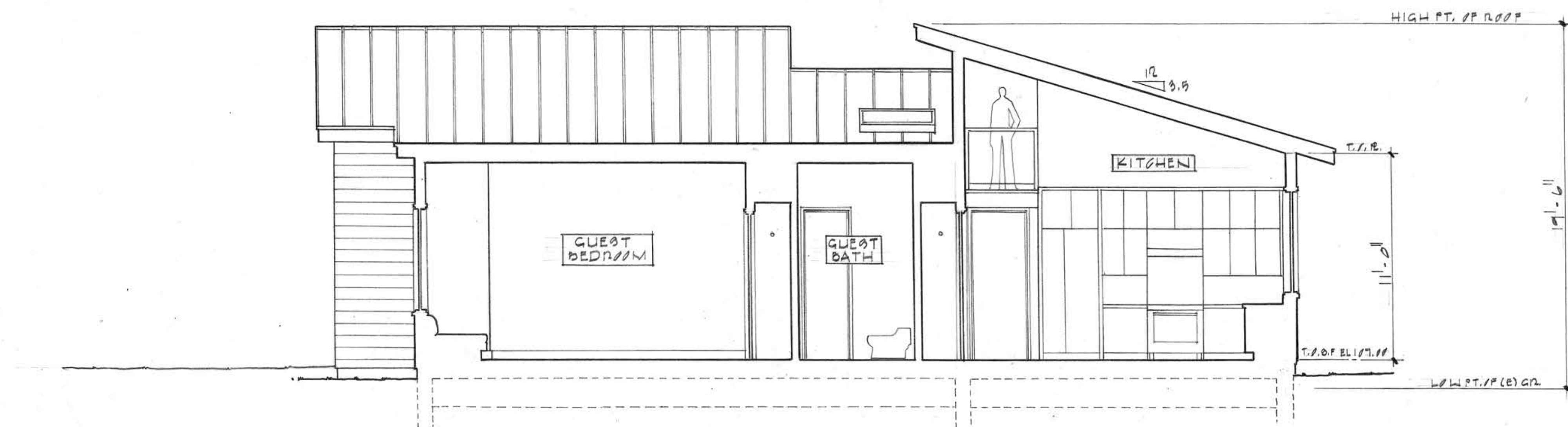








SECTION THRU GARAGE - GUEST BEDROOM  
1/4" = 1'-0"



SECTION THRU GUEST BEDROOM - KITCHEN  
1/4" = 1'-0"

REVISIONS	BY

**Dotter & Solfield**  
 Architecture + Design  
 4801 PARK BOULEVARD  
 OAKLAND, CALIFORNIA 94602  
 PHONE 510 530 9231 FAX 510 530 9223

FONKE RESIDENCE  
 991 SAN RAMON AVE., MOSS BEACH, CA.

Date 9-20-17  
 Scale  
 Drawn  
 Job  
 Sheet  
 Of A3 Sheets







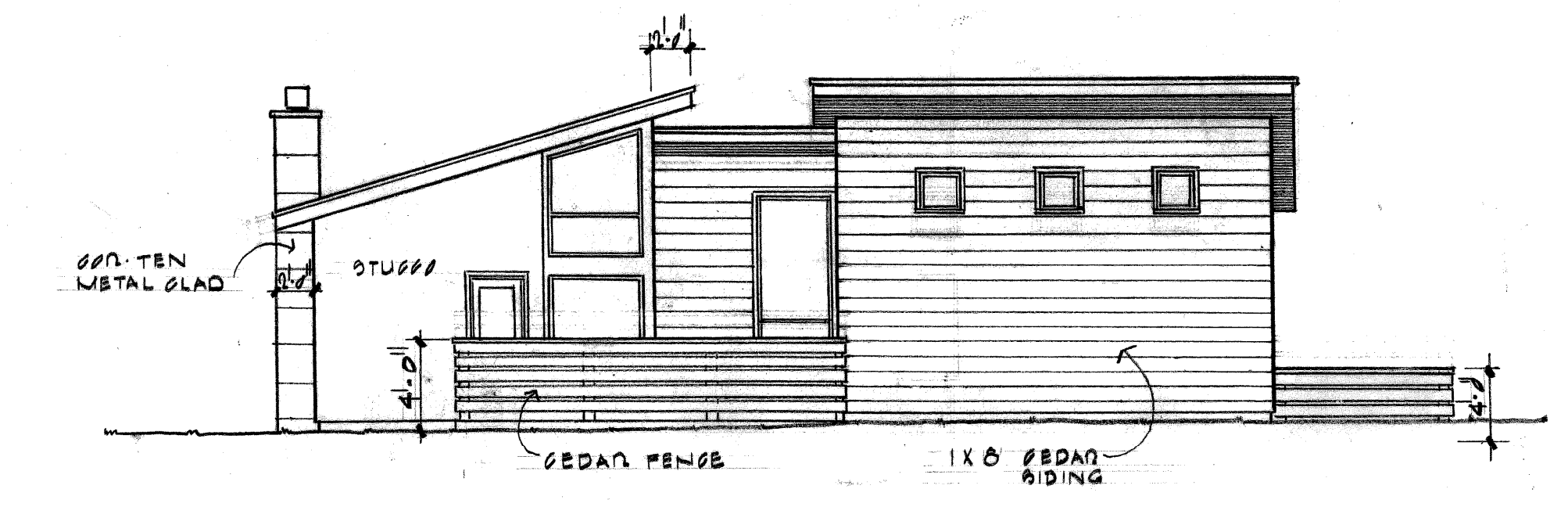




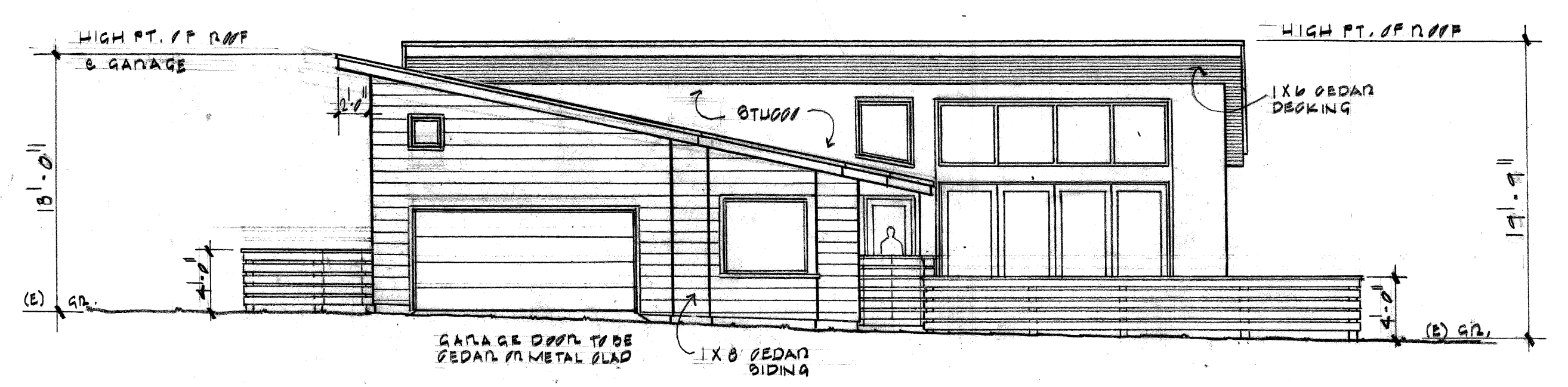
REVISIONS	BY

**Dotter & Solfeld**  
 Architecture + Design  
 4801 PARK BOULEVARD  
 OAKLAND, CALIFORNIA 94602  
 PHONE 510 530 9231 FAX 510 530 9223

**FORK RESIDENCE**  
 991 SAN RAMON AVE., M/33 BEACH, CA.

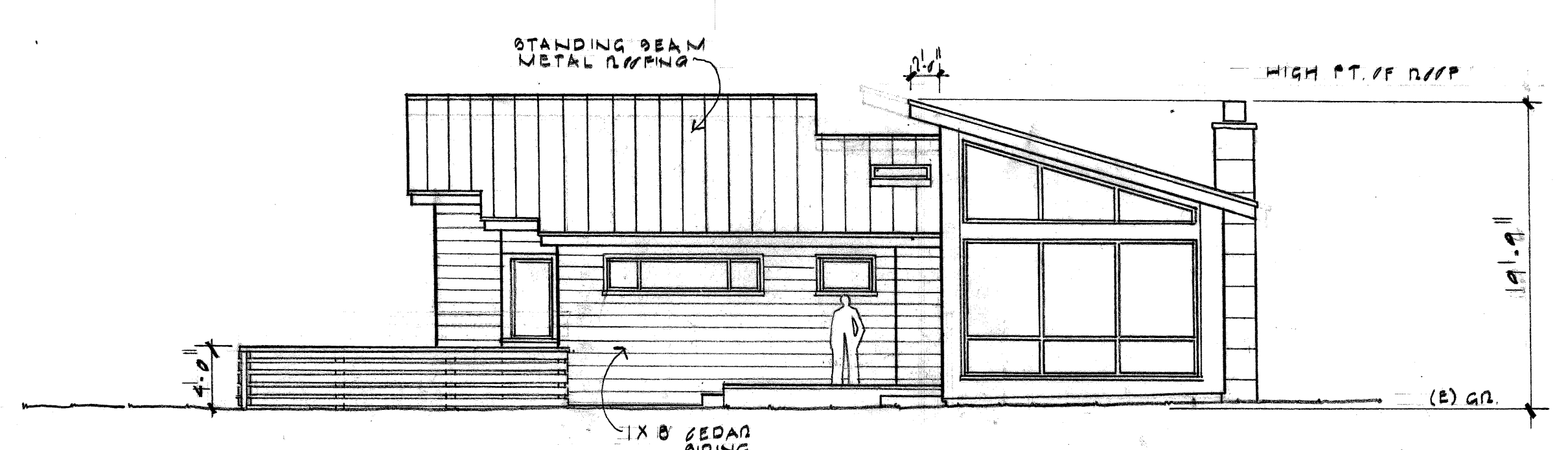


SOUTH ELEVATION  
 1/8" = 1'-0"

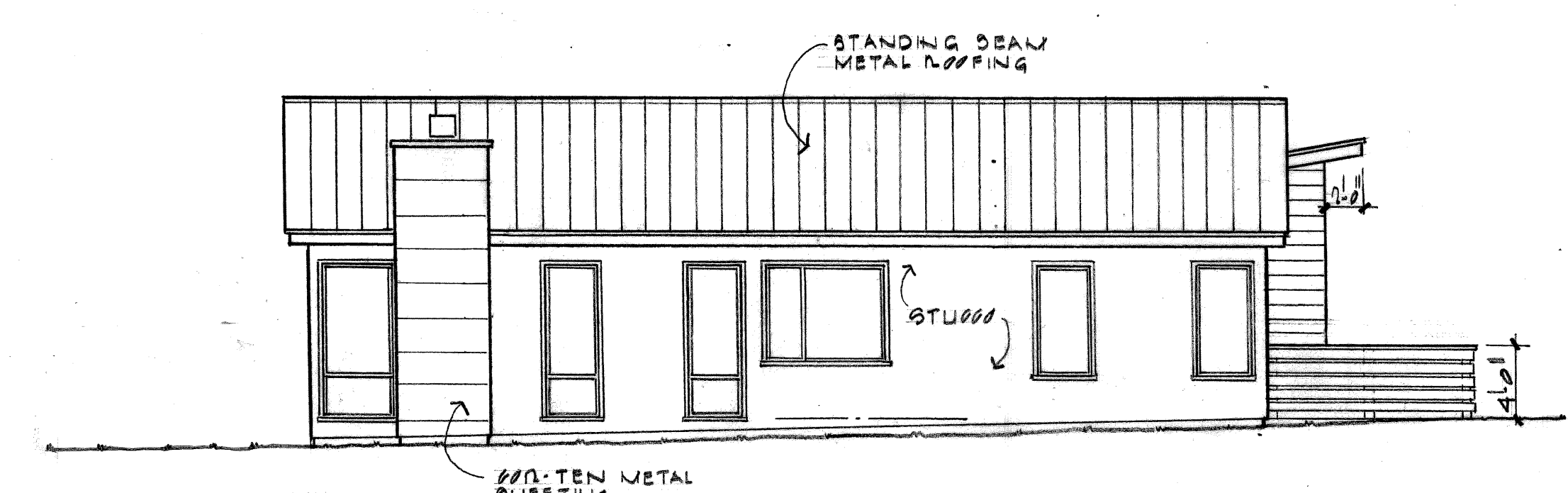


EAST ELEVATION  
 1/8" = 1'-0"

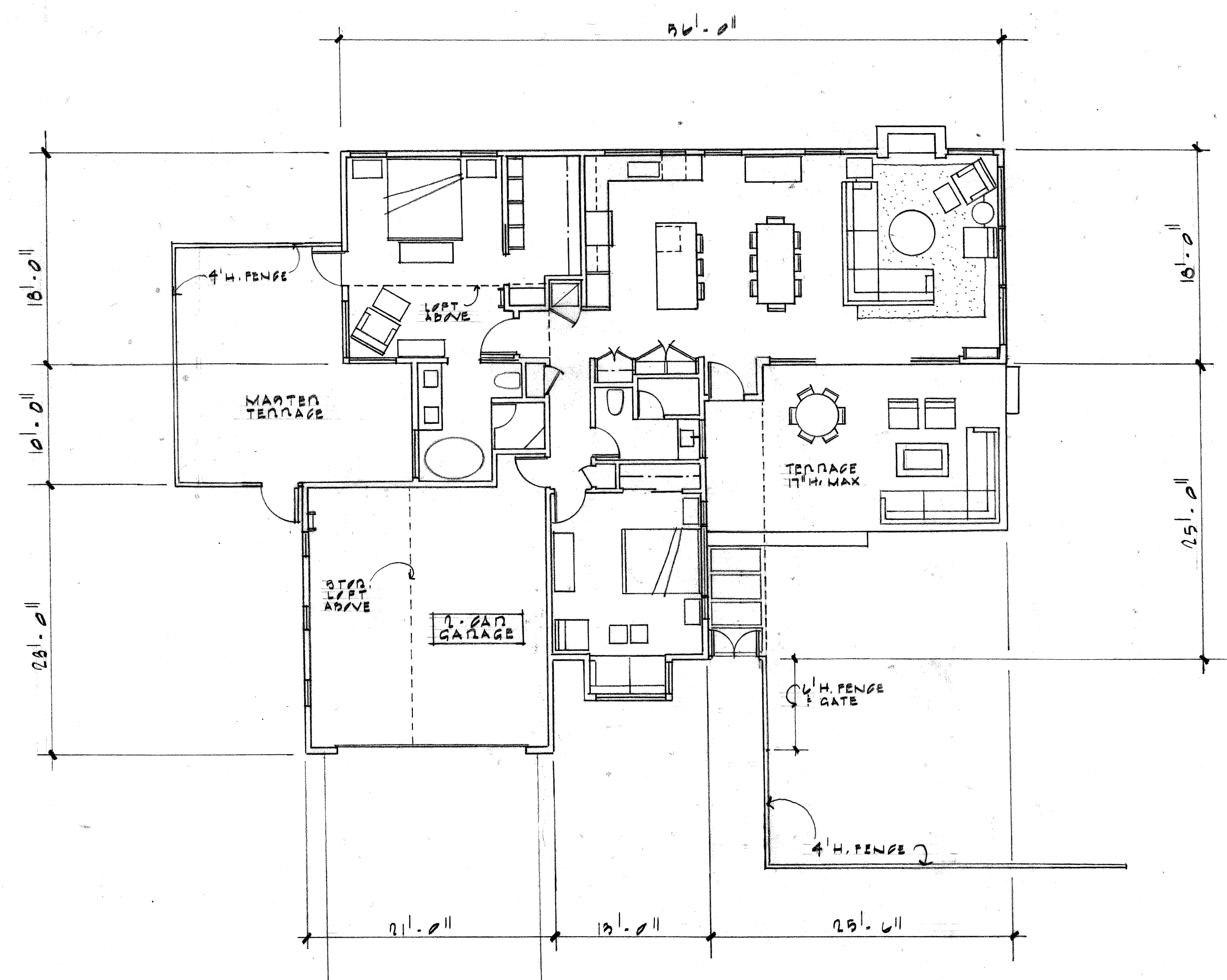
ALL WINDOWS TO BE WOOD W/ METAL FLASHING



NORTH ELEVATION  
 1/8" = 1'-0"



WEST ELEVATION  
 1/8" = 1'-0"



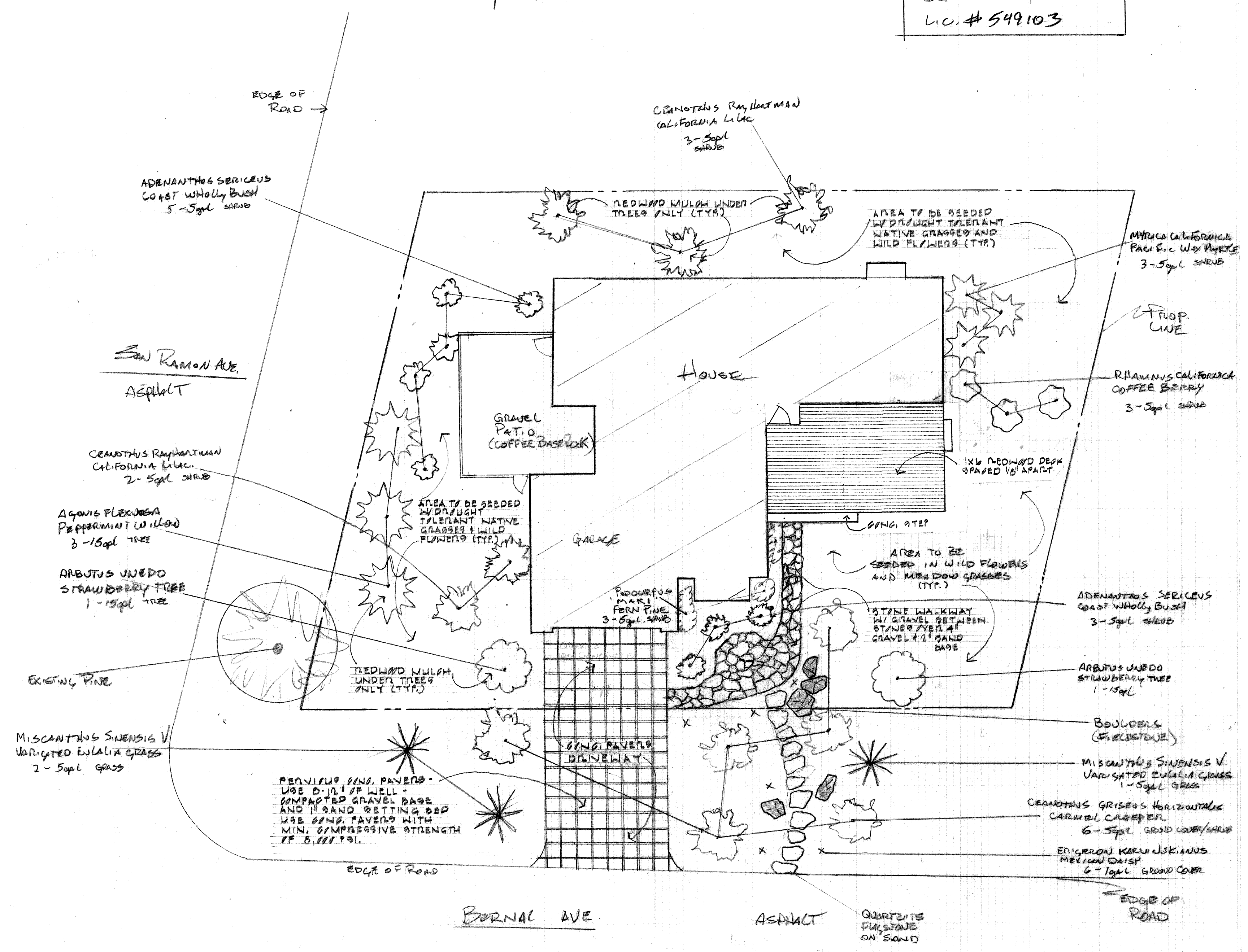
FLOOR PLAN  
 1/8" = 1'-0"

Date	9-20-17
Scale	
Drawn	
Job	
Sheet	A6
Of	Sheets



FORKE RESIDENCE  
 991 SAN RAMON AVE.  
 MOSS BEACH, CA.  
 7/8/17

FLORA FARM  
 340 PURISSIMA ST.  
 HALF MOON BAY  
 CA 94019  
 LIC. # 549103



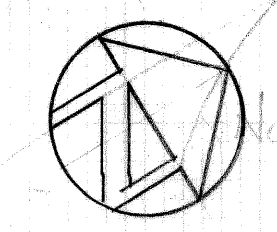
PERVIOUS PAVEMENT -  
 USE 0.125" S.P. WELL -  
 COMPACTED GRAVEL BASE  
 AND 1" SAND SETTING BED  
 USE 0.125" S.P. WITH  
 MIN. COMPRESSIVE STRENGTH  
 OF 8,000 P.S.I.

\* ALL PLANTINGS TO BE  
 HAND WATERED

TOTAL PLANTS  
 5 - 15qpl  
 31 - 5qpl  
 6 - 1qpl

\* LOT TO BE SEEDD W/  
 DROUGHT TOLERANT  
 NATIVE GRASSES AND  
 WILD FLOWERS  
 REDWOOD MULCH UNDER  
 TREES (TYP.)

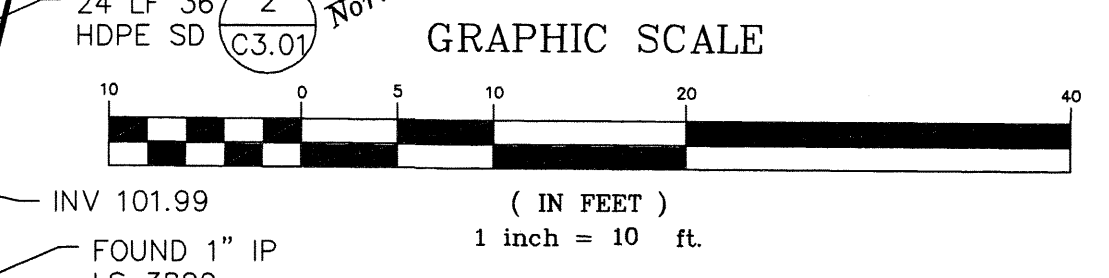
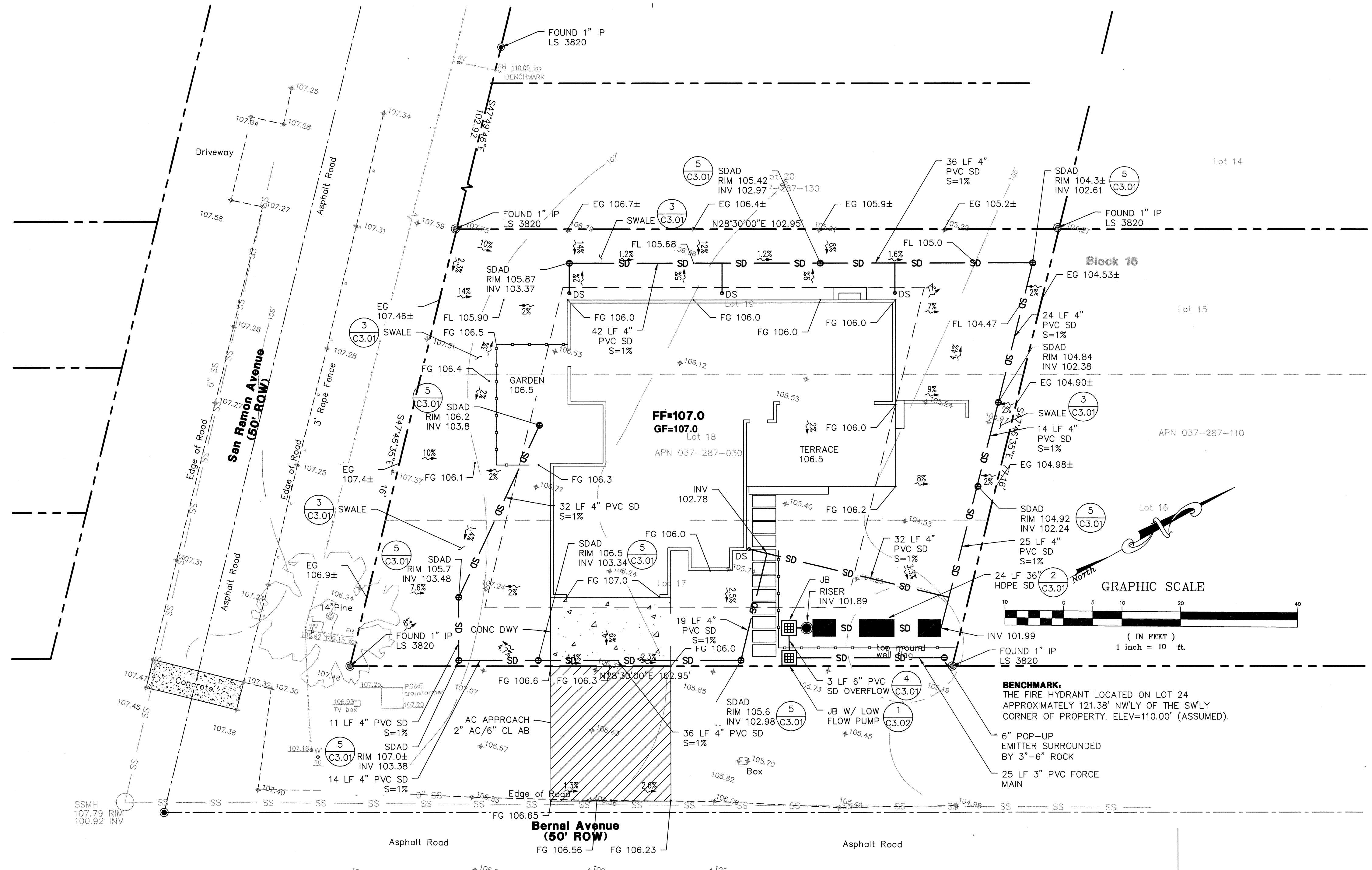
LANDSCAPE PLAN  
 10' = 1"



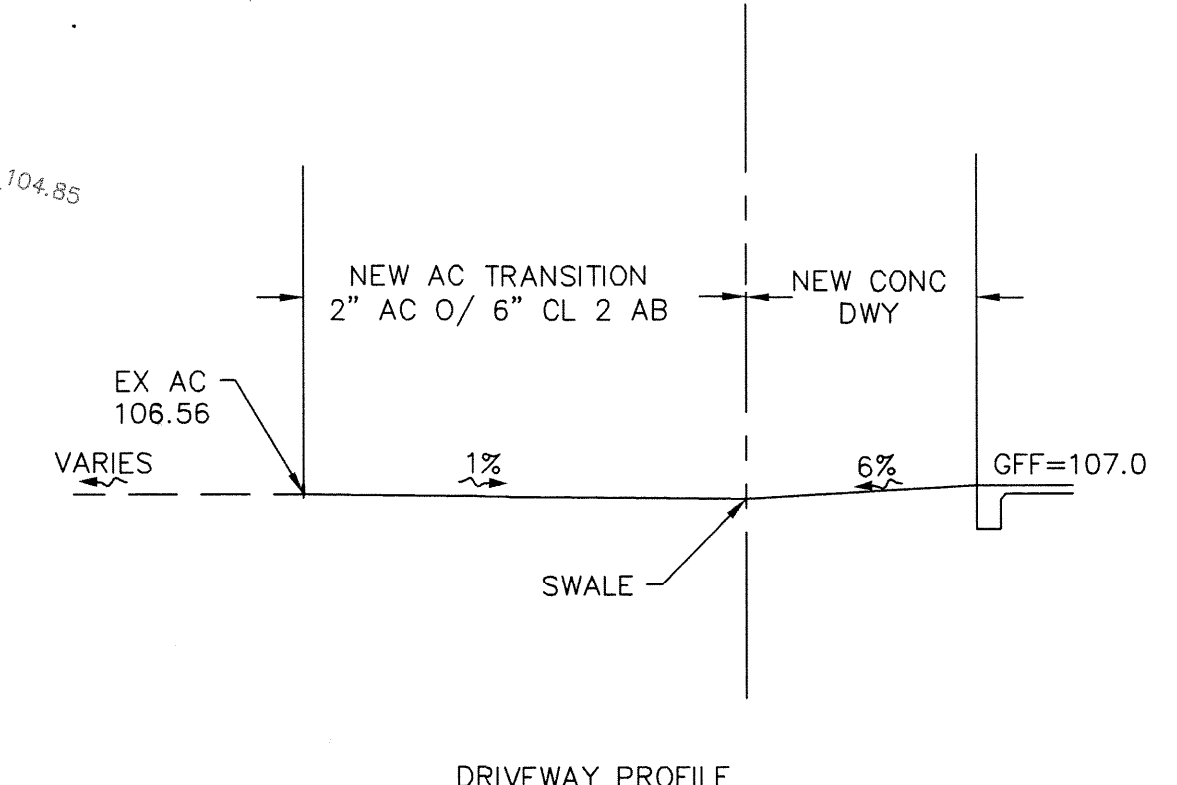
REVISIONS	BY

FORKE RESIDENCE  
 991 SAN RAMON AVE., MOSS BEACH, CA.

Date	9.20.17
Scale	
Drawn	
Job	
Sheet	1
Of	1
	Sheets



**BENCHMARK:**  
 THE FIRE HYDRANT LOCATED ON LOT 24  
 APPROXIMATELY 121.38' NW'LY OF THE SW'LY  
 CORNER OF PROPERTY. ELEV=110.00' (ASSUMED).



**ROUNDHOUSE INDUSTRIES, INC.**  
 900 ROSITA ROAD  
 PACIFICA, CA 94044  
 650.303.0495

**GRADING AND DRAINAGE PLAN**

No.	Revisions	Approved

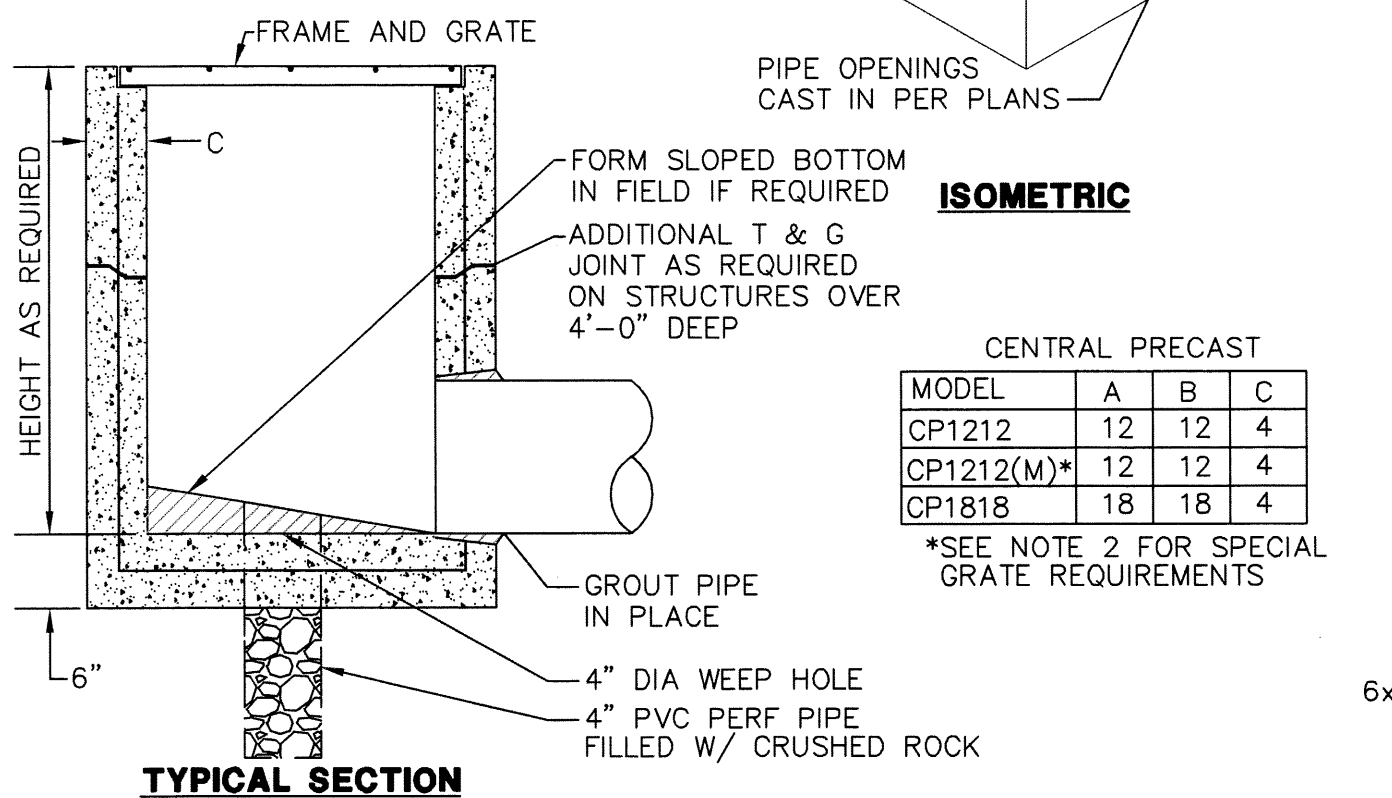
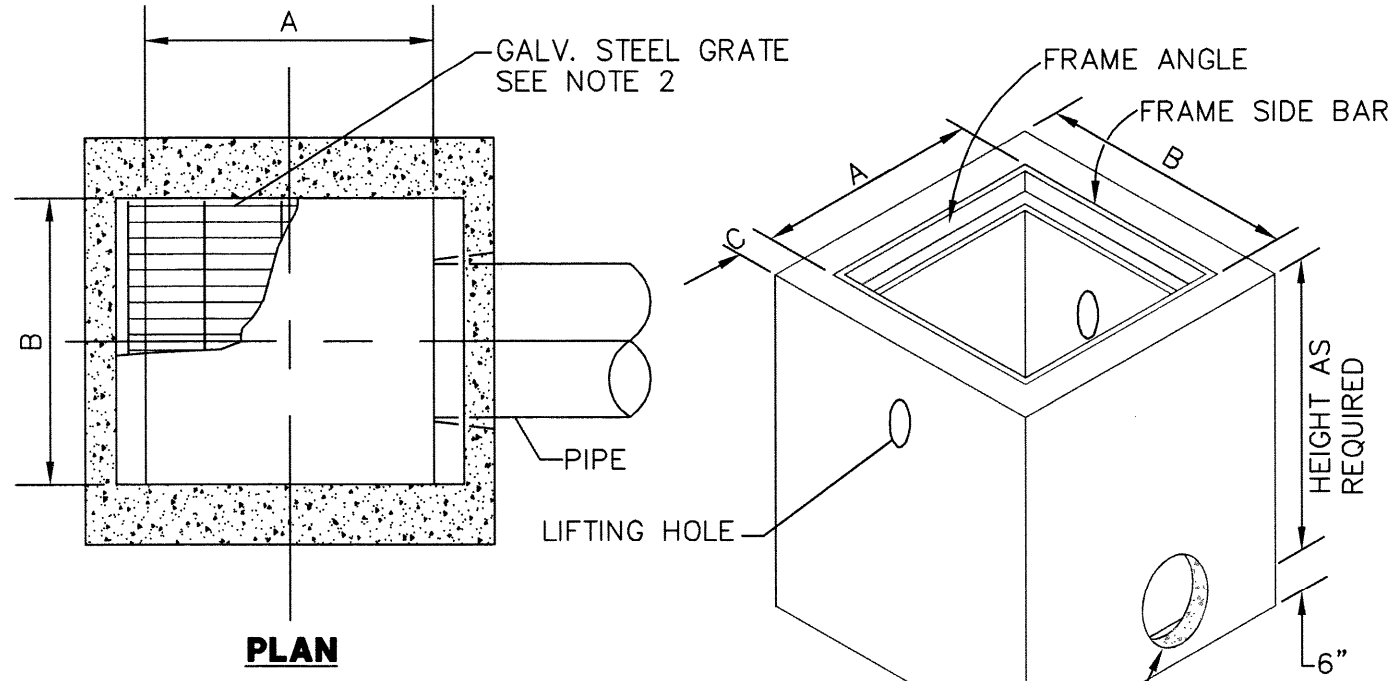
**AMBER FORKE**  
 991 SAN RAMON AVENUE  
 MOSS BEACH, CA



DATE: 6.19.17  
 SCALE: 1"=10'  
 DRAWN: MO  
 JOB NO: 2017-026

SHEET  
**C2.01**





NOTES:

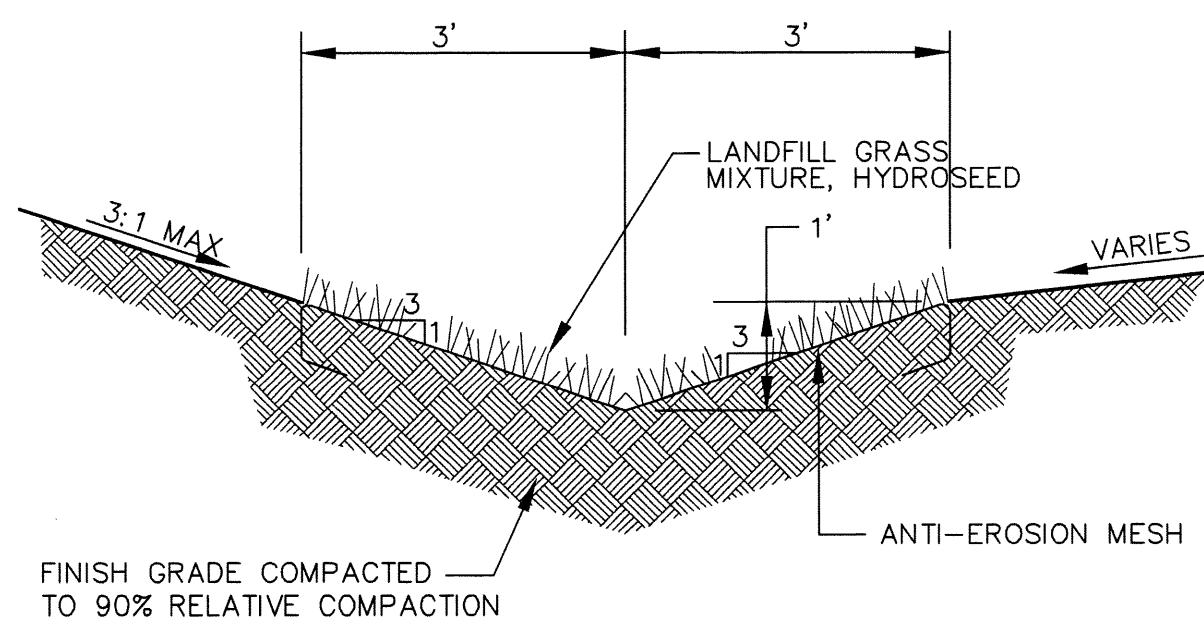
- CATCH BASIN SHALL BE CENTRAL PRECAST DI OR EQUAL.
- FRAMES AND GRATES SHALL BE STANDARD UNLESS DESIGNATED (M). GRATES DESIGNATED (M) SHALL BE NEENAH R-4990-CX TYPE P GRATE W/ MATCHING FRAME OR EQUAL.

**1** JUNCTION BOX

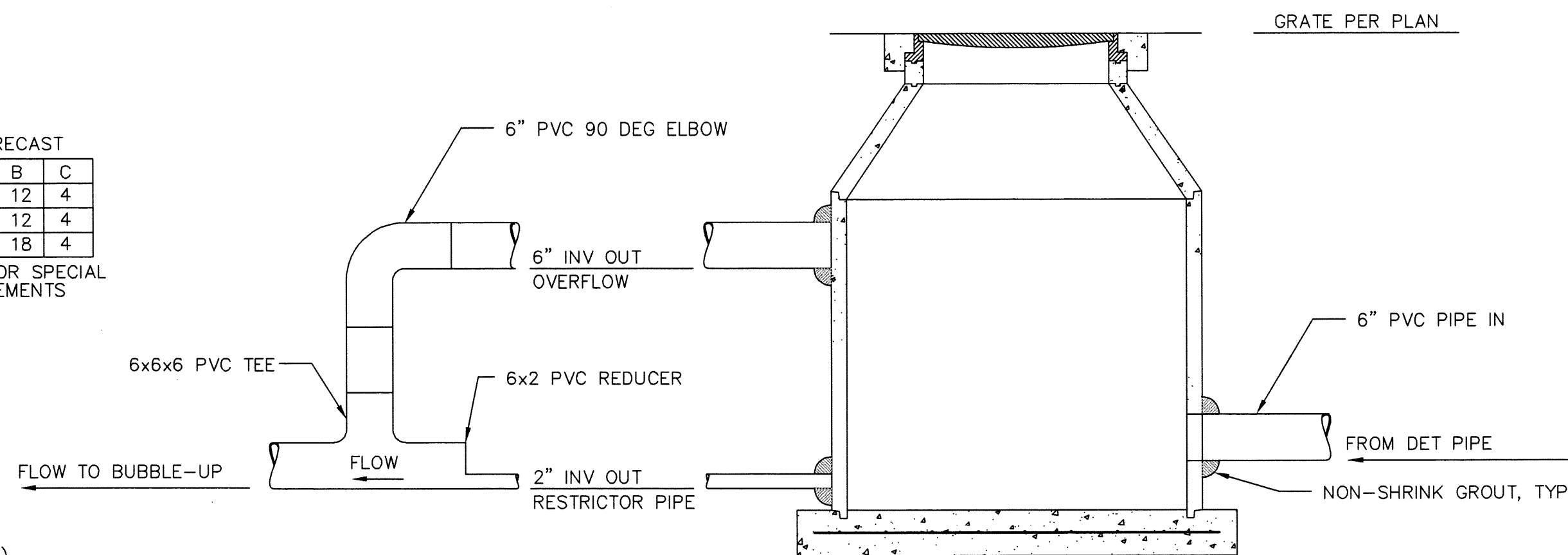
CENTRAL PRECAST

MODEL	A	B	C
CP1212	12	12	4
CP1212(M)*	12	12	4
CP1818	18	18	4

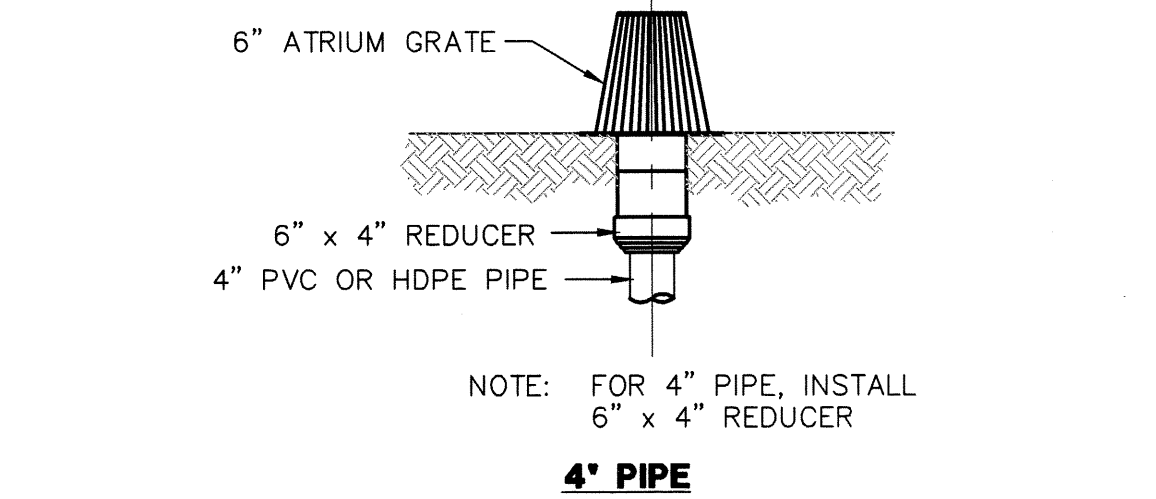
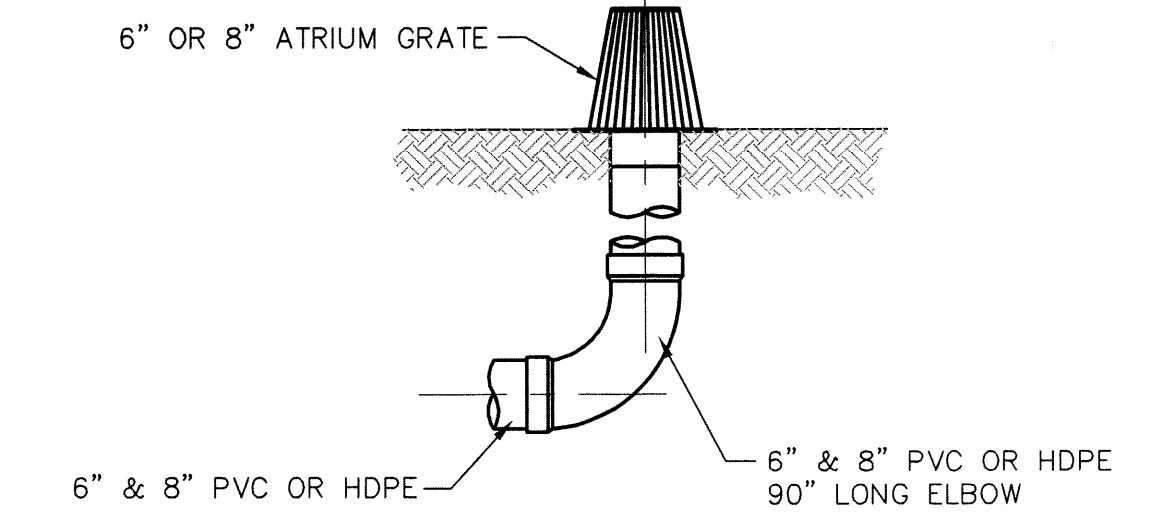
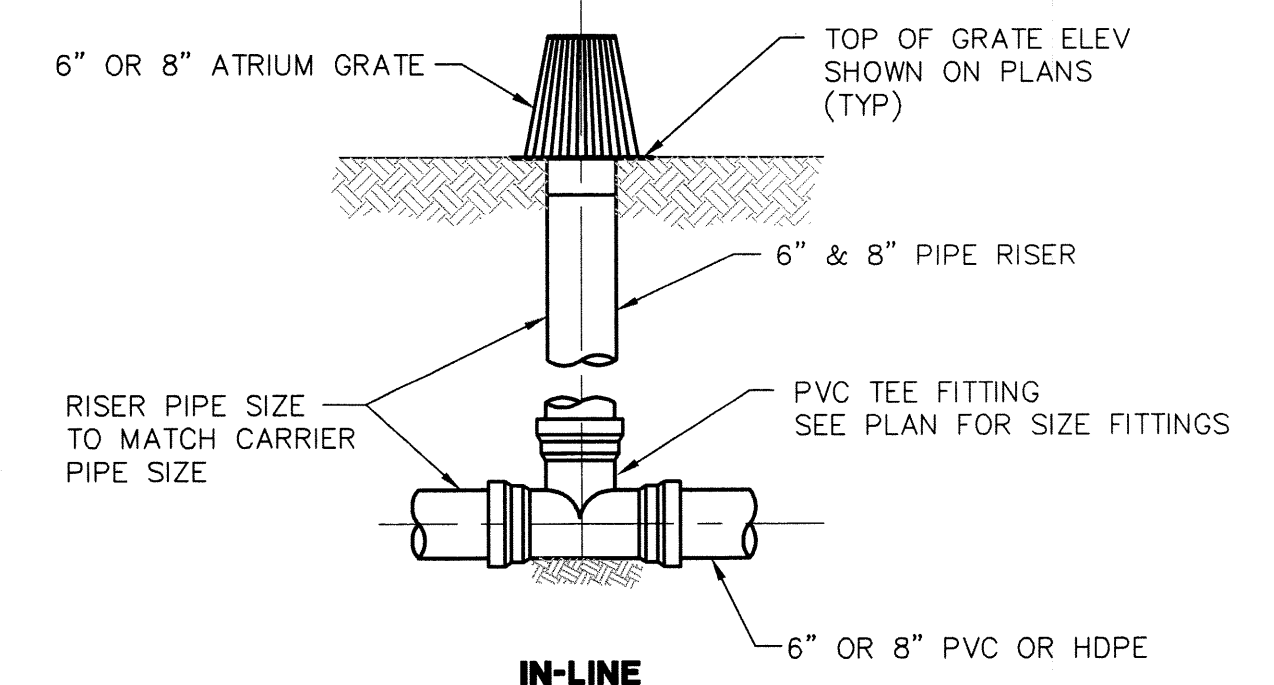
\*SEE NOTE 2 FOR SPECIAL GRATE REQUIREMENTS



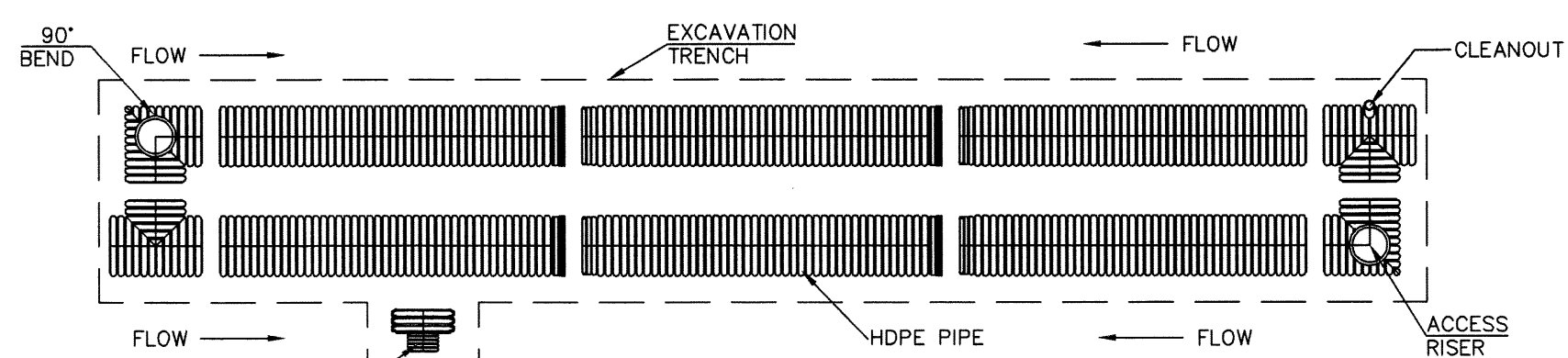
**3** GRASS LINED SWALE  
NTS



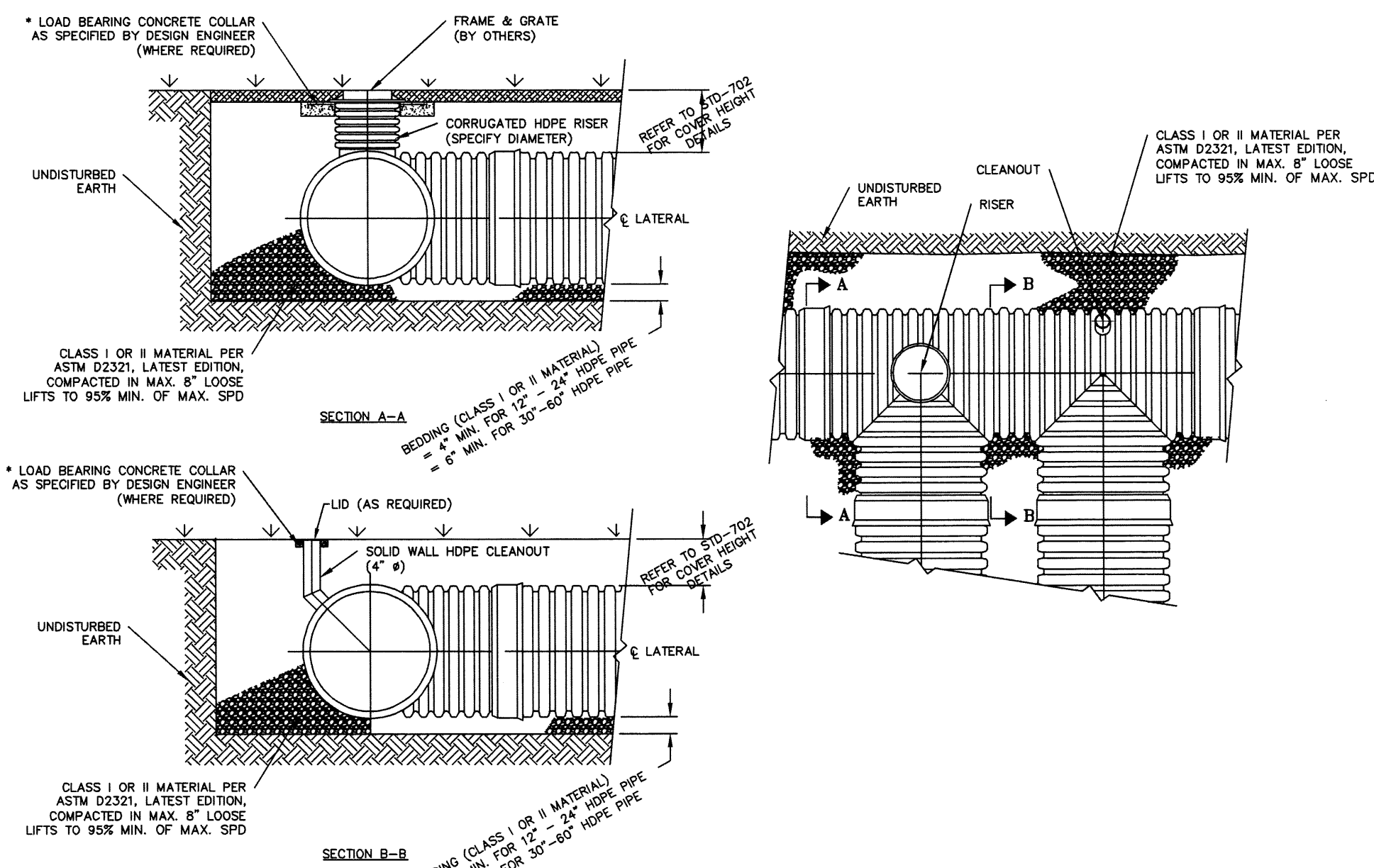
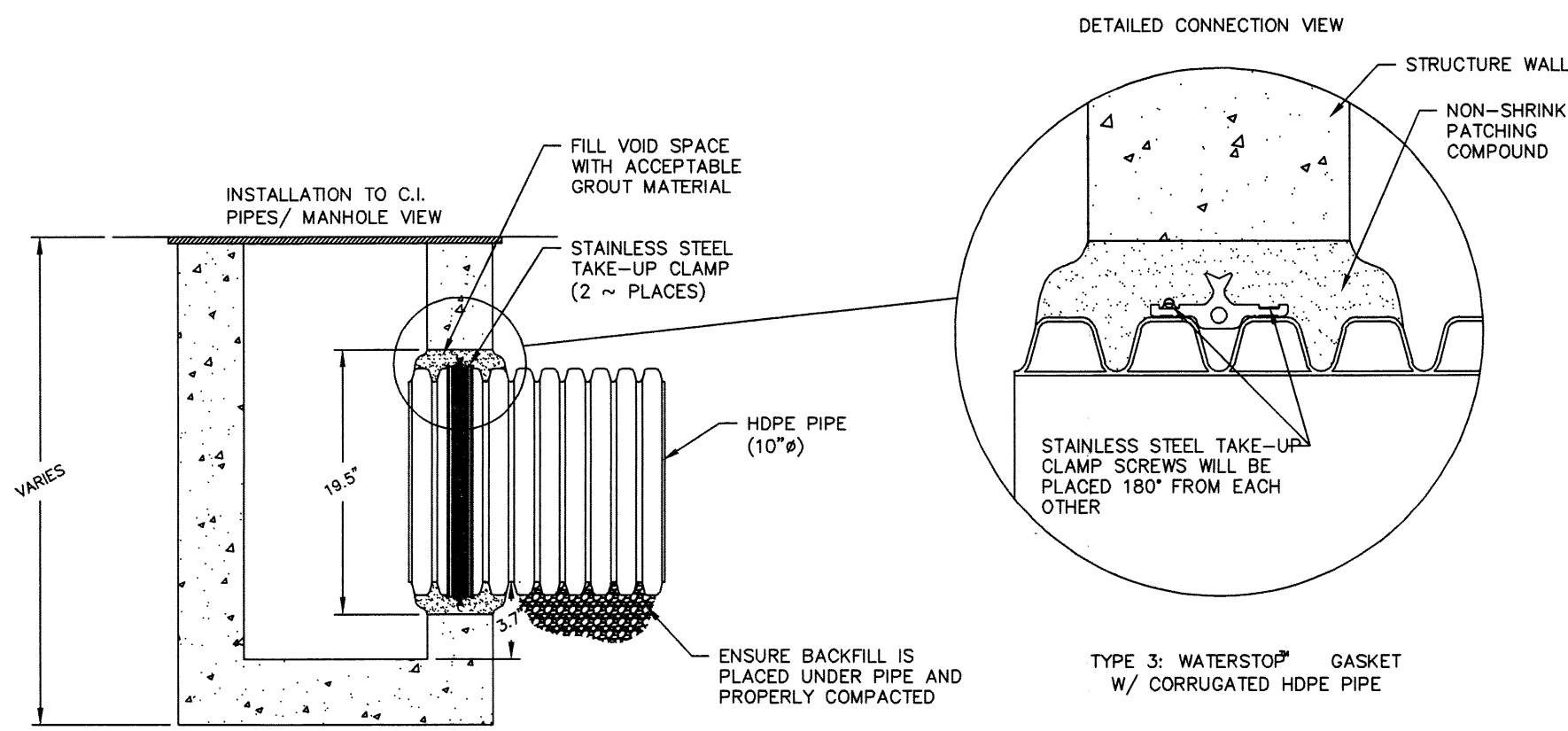
**4** OVER FLOW AND RESTRICTOR  
SCALE: NTS



**5** AREA DRAINSW/ ATRIUM GRATE  
NTS



NOTES:  
1. FOR INSTALLATION RECOMMENDATIONS, SEE STD-702 "TYPICAL RET/DET CROSS-SECTION DETAIL" AND STD-703 "TYPICAL RET/DET/CLEANOUT DETAIL"



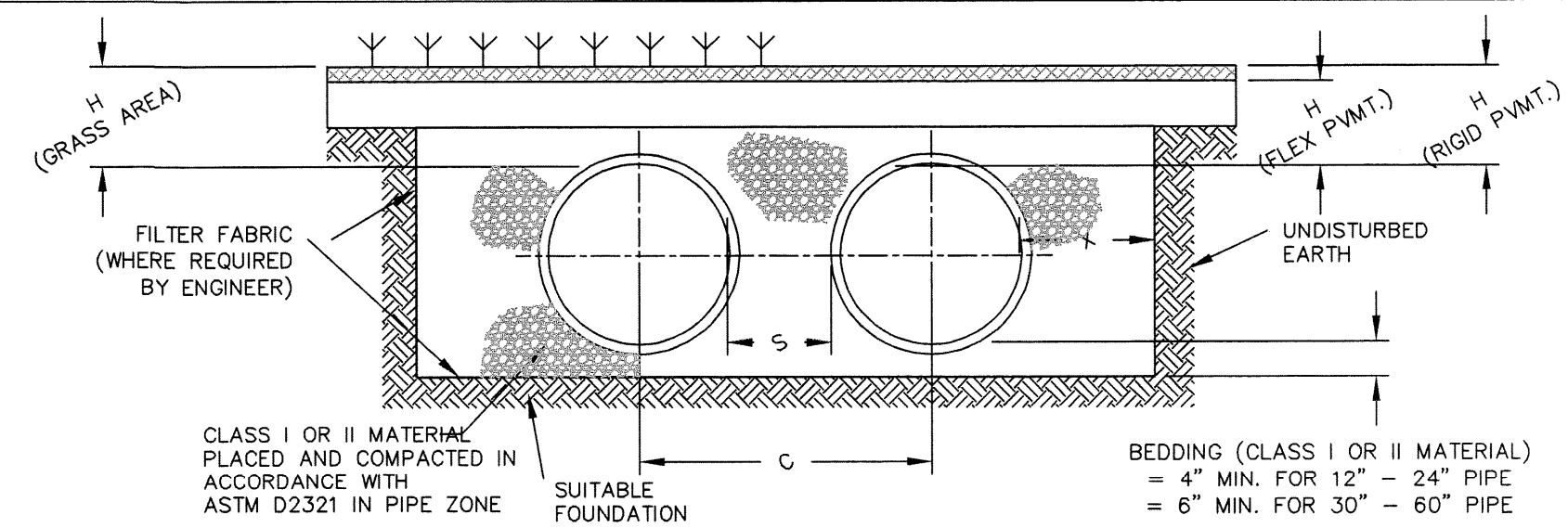
#2007 HANCOR

HANCOR, INC. HAS PREPARED THIS DETAIL BASED ON INFORMATION PROVIDED TO HANCOR. THIS DRAWING IS INTENDED TO DEPICT THE COMPONENTS AS REQUESTED. HANCOR HAS NOT PERFORMED ANY ENGINEERING OR DESIGN SERVICES FOR THIS PROJECT, NOR HAS HANCOR INDEPENDENTLY VERIFIED THE INFORMATION SUPPLIED. THE INSTALLATION DETAILS PROVIDED HEREIN ARE GENERAL RECOMMENDATIONS AND ARE NOT SPECIFIC FOR THIS PROJECT. THE DESIGN ENGINEER SHALL REVIEW THESE DETAILS PRIOR TO CONSTRUCTION. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THE DETAILS PROVIDED HEREIN MEETS OR EXCEEDS THE APPLICABLE NATIONAL, STATE, OR LOCAL REQUIREMENTS AND TO ENSURE THAT THE DETAILS PROVIDED HEREIN ARE ACCEPTABLE FOR THIS PROJECT.

REV	DESCRIPTION	T/R	DATE	CHK'D
1	UPDATED DRAWING	TJR	03/13/07	OKS

TYPICAL RET/DET RISER/CLEAN-OUT DETAIL  
DRAWING NUMBER: STD-703

Hancor  
401 OLIVE ST.  
FINDLAY, OHIO 45839



NOTES:

- ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
- ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
- MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED. SEE ASTM D2321.
- FILTER FABRIC: A GEOTEXTILE FABRIC MAY BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: SUITABLE MATERIAL SHALL BE CLASS I OR II. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).
- INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I OR II IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.

NOMINAL DIAMETER	NOMINAL O.D.	TYPICAL SPACING "C"	TYPICAL SPACING "C"	TYPICAL SIDE WALL "X"	H (NON-TRAFFIC)	H (TRAFFIC)
12"	14.5"	1"	25.4"	8"	12"	12"
(300 MM)	(368 MM)	(279 MM)	(645 MM)	(203 MM)	(292 MM)	(292 MM)
15"	18"	1 1/2"	28.9"	8"	12"	12"
(375 MM)	(457 MM)	(292 MM)	(734 MM)	(203 MM)	(292 MM)	(292 MM)
18"	21"	1 3/4"	33.9"	9"	12"	12"
(450 MM)	(533 MM)	(330 MM)	(862 MM)	(229 MM)	(292 MM)	(292 MM)
24"	28"	1 3/4"	40.7"	10"	12"	12"
(600 MM)	(711 MM)	(330 MM)	(1034 MM)	(254 MM)	(292 MM)	(292 MM)
30"	36"	1 3/4"	53.1"	18"	12"	12"
(750 MM)	(914 MM)	(457 MM)	(1347 MM)	(457 MM)	(292 MM)	(292 MM)
36"	42"	2 1/2"	63"	12"	12"	12"
(900 MM)	(1067 MM)	(599 MM)	(1600 MM)	(457 MM)	(292 MM)	(292 MM)
42"	48"	2 1/2"	71.9"	18"	12"	24"
(1050 MM)	(1219 MM)	(610 MM)	(1826 MM)	(457 MM)	(292 MM)	(610 MM)
48"	54"	2 1/2"	78.5"	18"	12"	24"
(1200 MM)	(1372 MM)	(635 MM)	(1994 MM)	(457 MM)	(292 MM)	(610 MM)
60"	67"	2 1/2"	90"	18"	12"	24"
(1500 MM)	(1702 MM)	(610 MM)	(2286 MM)	(457 MM)	(292 MM)	(610 MM)

REV	DESCRIPTION	T/R	DATE	CHK'D
1	ADDED PIPE O.D. & "C" DIMENSION	TJR	05/24/07	OKS

TYPICAL RET/DET CROSS SECTION DETAIL  
DRAWING NUMBER: STD-702

Hancor  
401 OLIVE ST.  
FINDLAY, OHIO 45839

**2** DETENTION PIPES

ROUNDHOUSE INDUSTRIES, INC.  
900 ROSITA ROAD  
PACIFICA, CA 94044  
650.303.0495

DETAILS

AMBER FORKE  
991 SAN RAMON AVENUE  
MOSS BEACH, CA



DATE: 6.19.17

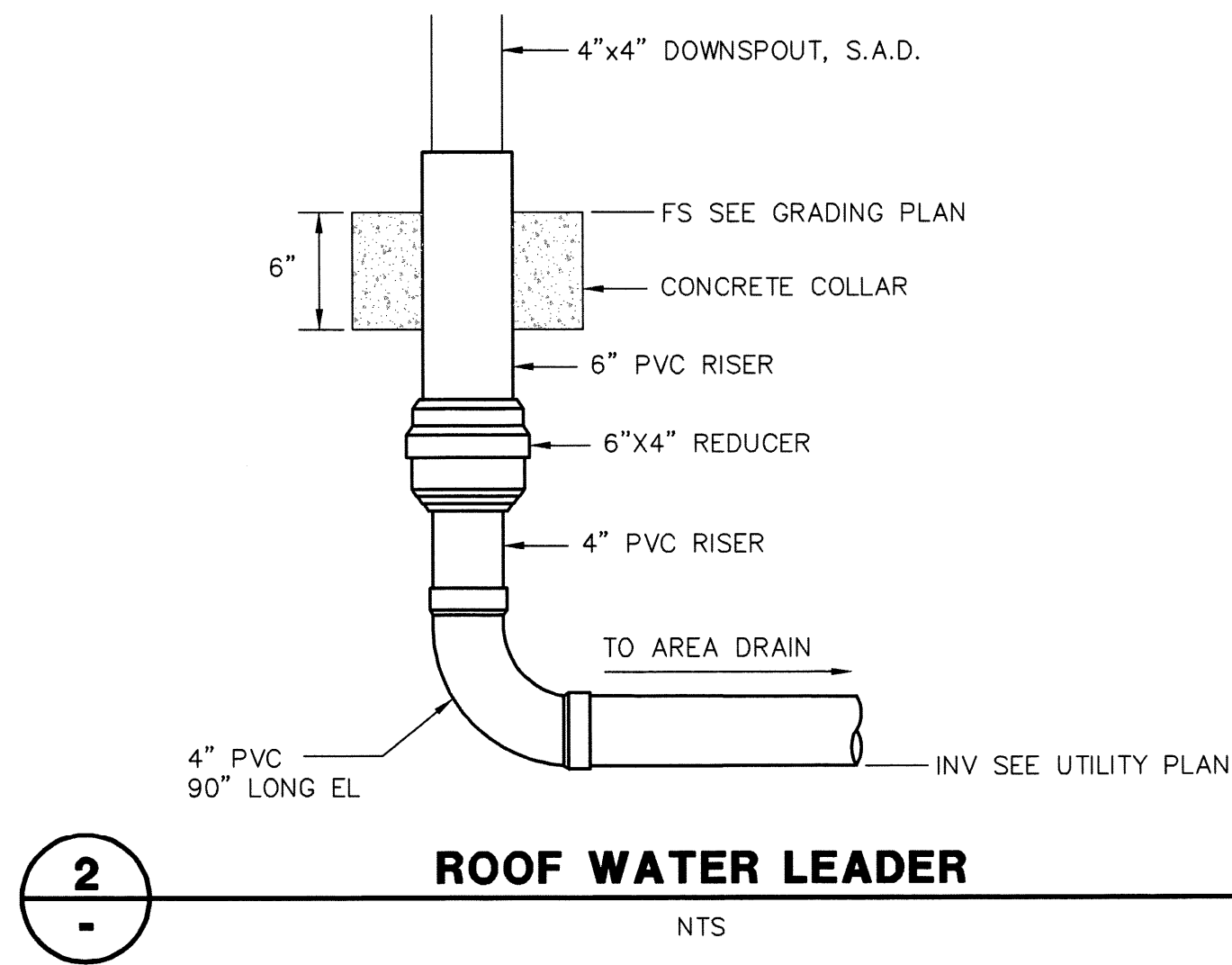
SCALE: AS SHOWN

DRAWN: MO

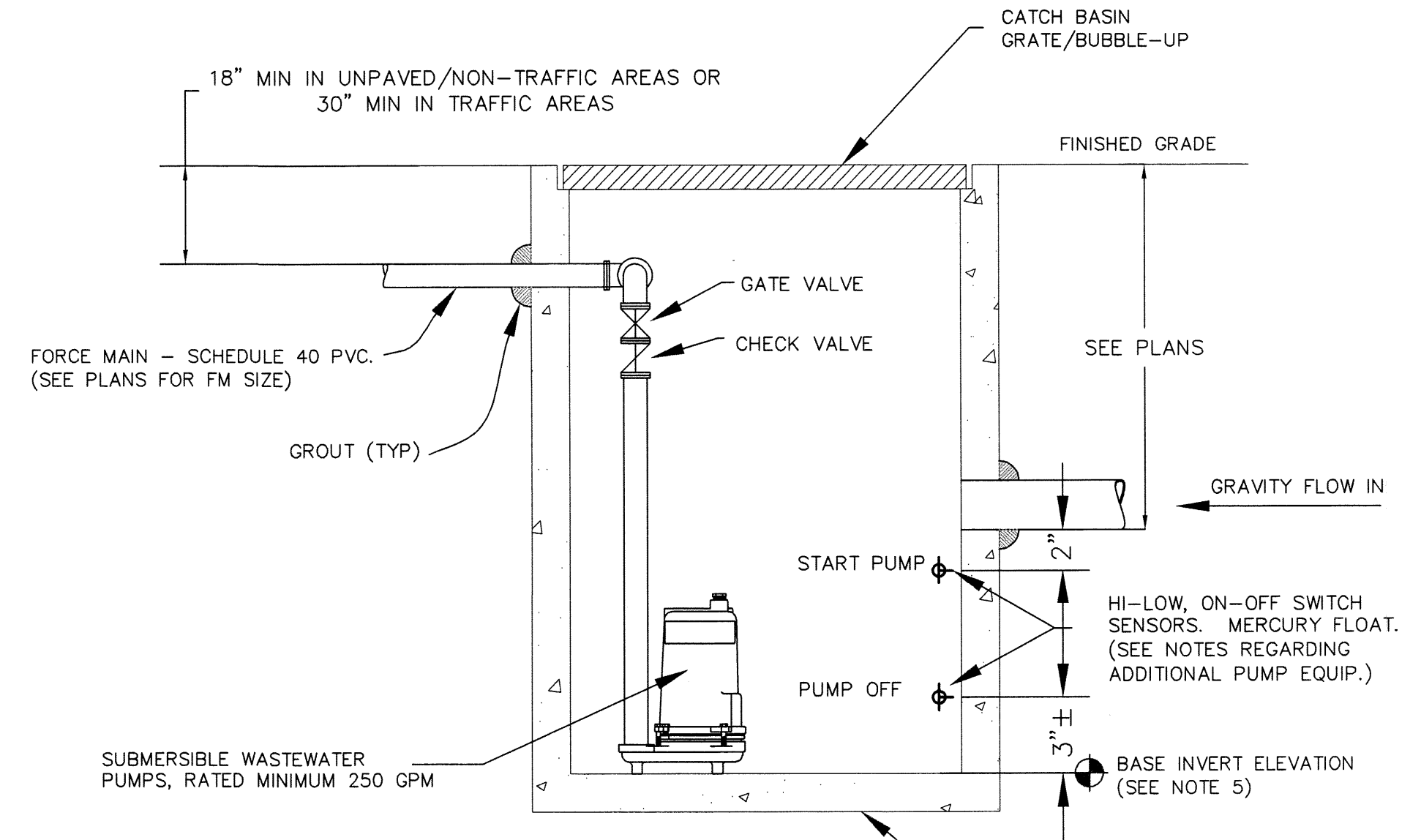
JOB NO: 2017-026

SHEET

C3.01



**2**  
-  
**ROOF WATER LEADER**  
NTS



**NOTE:** ADDITIONAL EQUIPMENT FOR PUMP

1. INSTALL PUMP(S) PER MANUFACTURES RECOMMENDATIONS.
2. CONTRACTOR SHALL SUPPLY A COMPLETELY SELF-CONTAINED SIMPLEX MOTOR CONTROL PANEL. THE CONTROL PANEL SHALL PROVIDE SHORT CIRCUIT AND OVERLOAD PROTECTION FOR THE PUMP.
3. PROVIDE HIGH-WATER ALARM SYSTEM.
4. PROVIDE BENTONITE PASTE AT ALL PIPE CONNECTIONS TO PUMP BASIN. INSTALL RAISED/EXPOSED (3" MAXIMUM) #4 REBAR AROUND PERIMETER OF PUMP BASE TO PROTECT SUMP PUMP FROM SETTLED DEBRIS.
5. CONTRACTOR SHALL FIELD VERIFY ACTUAL BASE ELEVATION BASED ON FINAL FIELD CONDITIONS.
6. PUMP MAINTENANCE REQUIREMENTS (MINIMUM): CLEAN STORM DRAIN BASIN AND PUMP OF DEBRIS EVERY SIX MONTHS.

**1**  
-  
**STORM WATER QUALITY SUMP PUMP**  
NTS

**ROUNDHOUSE INDUSTRIES, INC.**  
900 ROSITA ROAD  
PACIFICA, CA 94044  
650.303.0495

**DETAILS**

Approved

Revisions

No.

**AMBER FORKE**  
991 SAN RAMON AVENUE  
MOSS BEACH, CA



DATE: 6.19.17

SCALE: AS SHOWN

DRAWN: MO

JOB NO: 2017-026

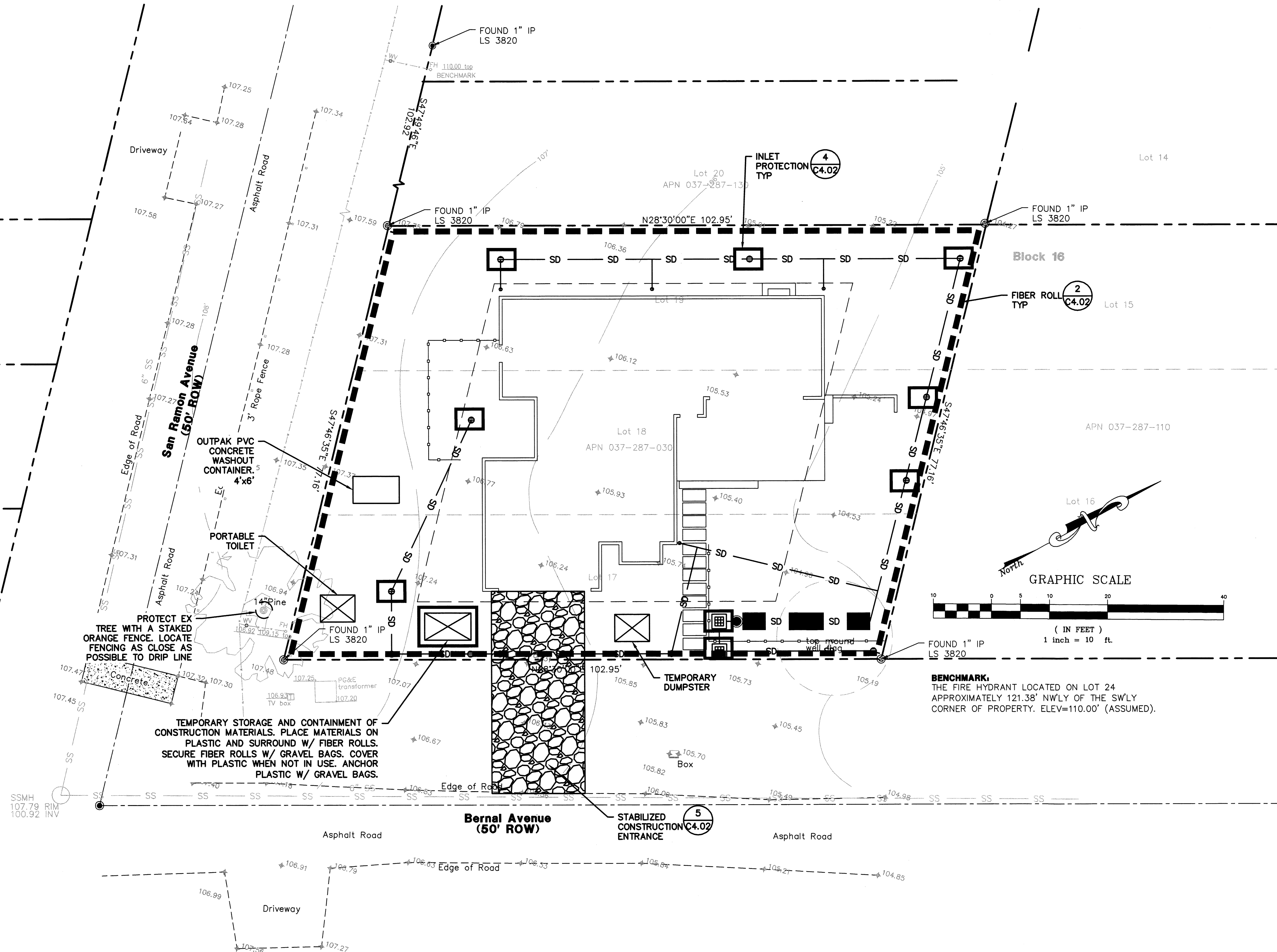
SHEET

**C3.02**



COUNTY EROSION NOTES:

- COVER TEMPORARY STOCKPILES USING ANCHORED PLASTIC SHEETING.
- EROSION CONTROL POINT OF CONTACT IS MIKE O'CONNELL, P.E. - CELL - 650.303.0495.
- PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH MOVING ACTIVITIES AND CONSTRUCTION.
- MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEARROUND.
- STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER, CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN ALL NECESSARY PERMITS. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED/LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
- AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHOD/STRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
- PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS ARE REQUIRED ON WEEKENDS AND DURING RAIN EVENTS: (LIST LOCATIONS) THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE ETC. SHALL NOT BE ENLARGED OR 'RUN OVER'.
- CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON SITE DURING THE 'OFF SEASON'. DUST CONTROL IS REQUIRED YEAR ROUND.
- EROSION CONTROL MATERIALS SHALL BE STORED ON SITE.
- USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE.
- THE TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING OR GRUBBING IS STARTED.
- AN INSPECTION TO VERIFY THE INSTALLATION OF EROSION CONTROL MEASURES IS REQUIRED PRIOR TO BUILDING PERMIT ISSUANCE.



**ROUNDHOUSE INDUSTRIES, INC.**  
 900 ROSITA ROAD  
 PACIFICA, CA 94044  
 650.303.0495

**EROSION CONTROL PLAN**

No.	Revisions	Approved

**AMBER FORKE**  
 991 SAN RAMON AVENUE  
 MOSS BEACH, CA



DATE: 6.19.17

SCALE: 1"=10'

DRAWN: MO

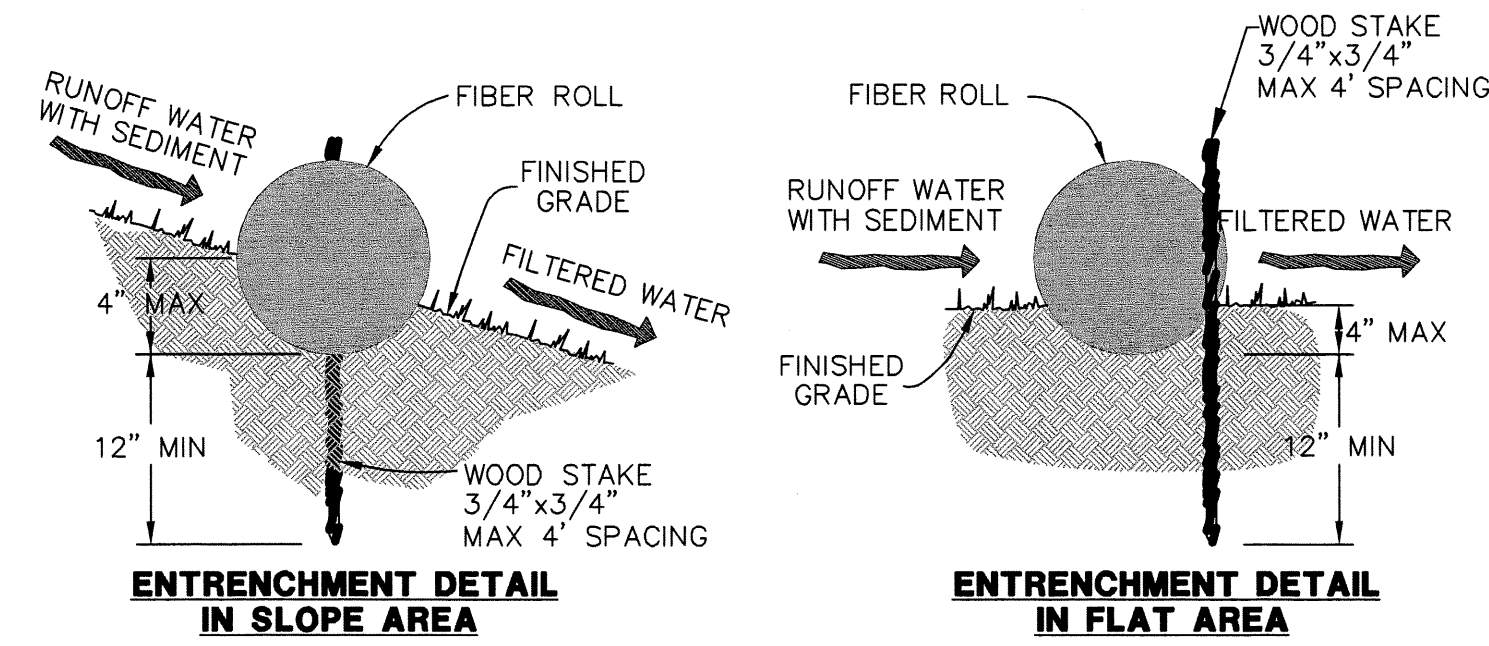
JOB NO: 2017-026

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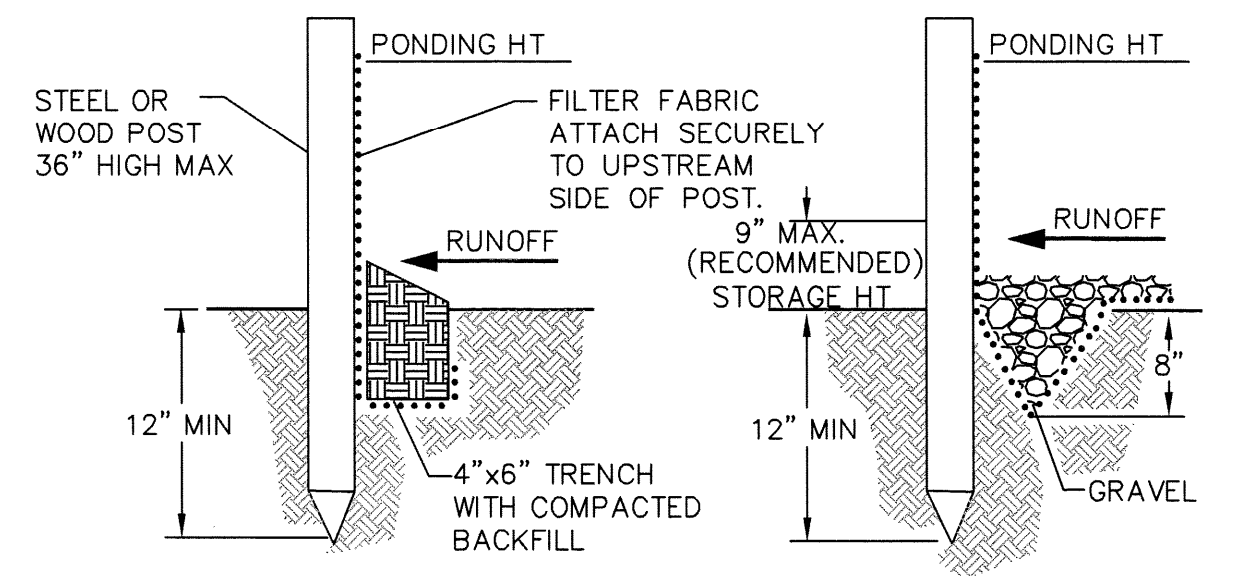
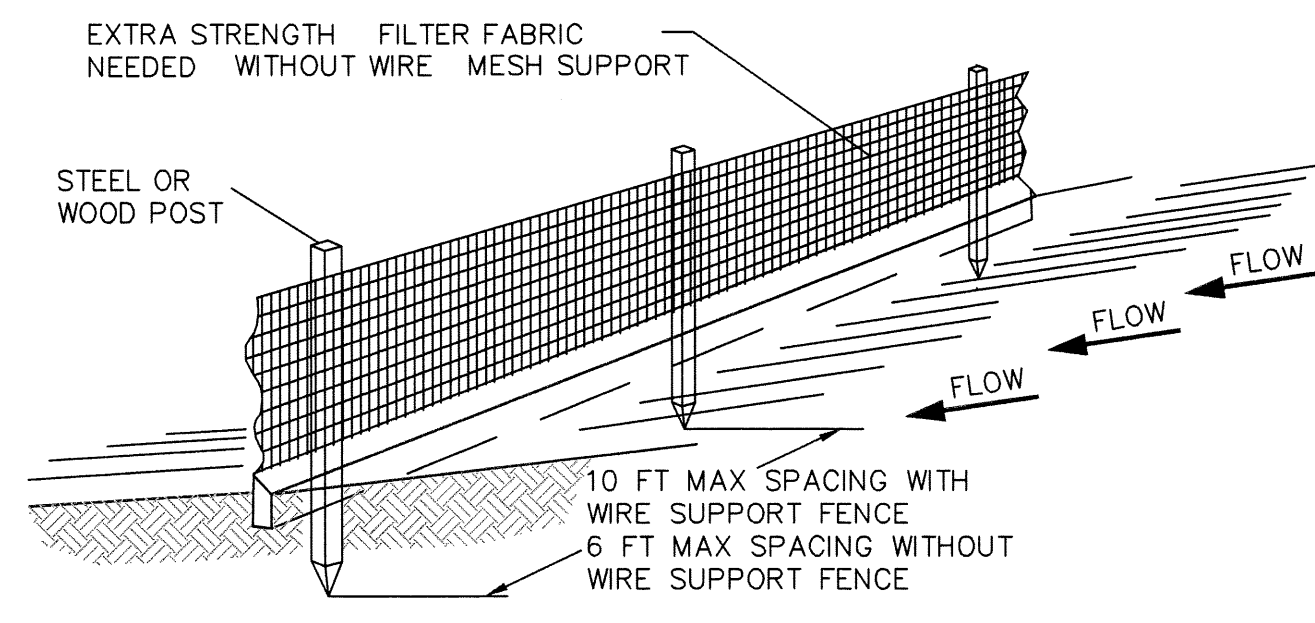
**EROSION & SEDIMENT CONTROL NOTES**

1. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. IN GENERAL, THE CONTRACTOR IS RESPONSIBLE FOR KEEPING SEDIMENT-LADEN STORM RUN OFF FROM LEAVING THE SITE. FIBER ROLLS, SAND BAGS, AND SILT FENCES SHALL BE USED BY THE CONTRACTOR ON AN AS NEEDED BASIS TO INHIBIT SILT FROM LEAVING THE SITE AND ENTERING THE STORM DRAIN SYSTEM. ALL EXISTING, TEMPORARY, OR PERMANENT CATCH BASINS SHALL USE ONE OF THE SEDIMENT BARRIERS SHOWN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES TO PUBLIC AND/OR PRIVATELY OWNED AND MAINTAINED ROADS CAUSED BY THE CONTRACTOR'S GRADING ACTIVITIES, AND SHALL BE RESPONSIBLE FOR THE CLEANUP OF ANY MATERIAL SPILLED ON ANY PUBLIC ROAD ON THE HAUL ROUTE. ADJACENT PUBLIC ROADS SHALL BE CLEANED AT THE END OF EACH WORKING DAY.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE OPERABLE FROM OCTOBER 1 TO APRIL 15 OR UNTIL VEGETATION IS ESTABLISHED ON DISTURBED SURFACES.
4. DURING THE RAINY SEASON, ALL PAVED AREAS ARE TO BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE IS TO BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
5. BORROW AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION
6. ALL EROSION CONTROL FACILITIES MUST BE MONITORED AS REQUIRED IN THE SWPPP. ALL SLOPES SHALL BE REPAIRED AS SOON AS POSSIBLE WHEN DAMAGED.
7. CONTROL MEASURES (TARPS, STRAW WATTLES, SILT FENCES ETC.) TO ENSURE SILT DOES NOT LEAVE THE SITE OR ENTER THE STORM DRAIN SYSTEM.
8. ALL TRUCK TIRES SHALL BE CLEANED PRIOR TO EXITING THE PROPERTY.
9. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES
10. DURING PERIODS WHEN STORMS ARE FORECASTED -
  - A. EXCAVATED SOILS SHOULD NOT BE PLACED IN STREETS OR ON PAVED AREAS.
  - B. ANY EXCAVATED SOILS SHOULD BE REMOVED FROM THE SITE BY THE END OF THE DAY.
  - C. WHERE STOCKPILING IS NECESSARY, USE A TARPULIN OR SURROUND THE STOCKPILED MATERIAL WITH FIBER ROLLS, SILT FENCE, OR OTHER RUNOFF CONTROLS
  - D. USE INLET SEDIMENT BARRIERS FOR STORM DRAINS ADJACENT TO THE STOCKPILED SOIL.
  - E. THOROUGHLY SWEEP ALL PAVED AREAS EXPOSED TO SOIL EXCAVATION AND PLACEMENT.
11. DURING PERIODS WHEN STORMS ARE NOT FORECASTED -
  - A. PREVENT STOCKPILED MATERIAL FROM ENTERING THE STORM DRAIN SYSTEM.
  - B. THOROUGHLY REMOVE LOOSE SOIL VIA SWEEPING FOLLOWING REMOVAL OF DIRT.
12. OPEN SPACE AREAS ARE TO BE PLANTED BY SEPTEMBER 15. IF THIS CONDITION IS NOT MET, CONTRACTOR SHALL SUBMIT AN EROSION CONTROL PLAN TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL.
13. DURING CONSTRUCTION, THE MAINTENANCE OF SUMMERTIME DRAINAGE THROUGH THE SITE IS THE RESPONSIBILITY OF THE CONTRACTOR.
14. MAINTENANCE, MONITORING, AND INSPECTION SHALL BE CONDUCTED ACCORDING TO BEST MANAGEMENT PRACTICES. TRAINING OF INSPECTION PERSONNEL WILL BE CONDUCTED PRIOR TO IMPLEMENTATION OF THE MONITORING PROGRAM. THE MONITORING PROGRAM SHALL INCLUDE REGULAR SITE INSPECTIONS AND REPORTS. MONITORING FORMS AND COMPLIANCE CERTIFICATION SHALL BE PROVIDED TO THE OWNER AND ENGINEER BY JULY 1 FOR THE PREVIOUS YEARS ACTIVITIES.



- NOTES:**
1. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" TO 4" DEEP, DUG ON CONTOUR.
  2. ADJACENT ROLLS SHALL TIGHTLY ABUT.
  3. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.

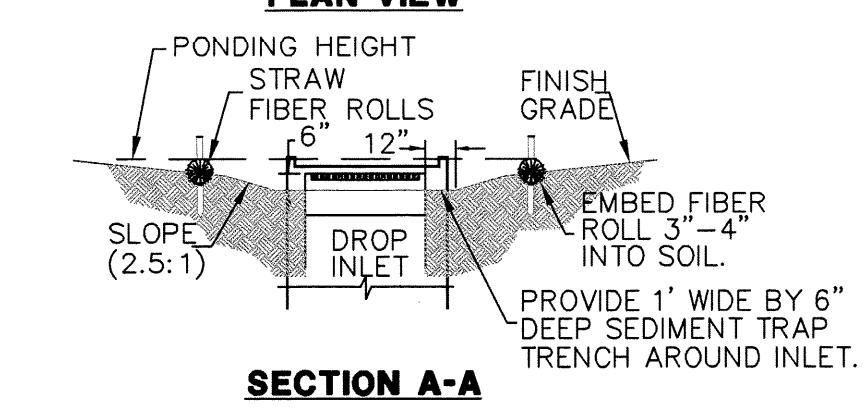
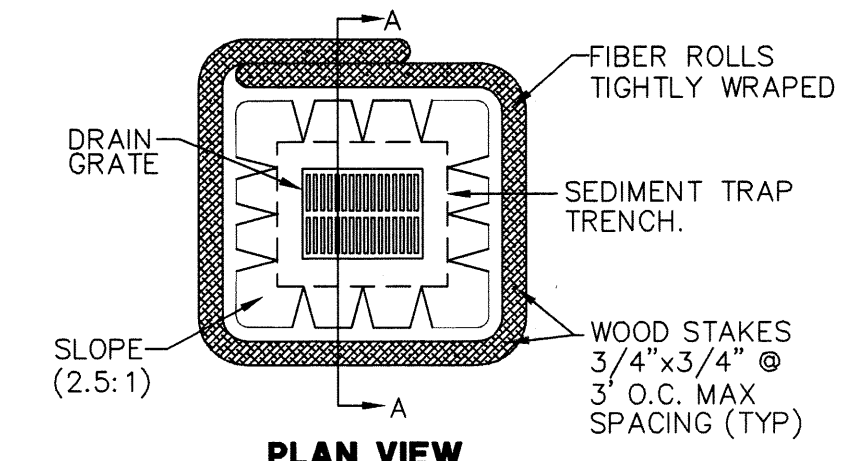
**2 FIBER ROLL DETAIL**  
NTS



**STANDARD DETAIL TRENCH WITH NATIVE BACKFILL**  
**ALTERNATE DETAIL TRENCH WITH GRAVEL**

- NOTES:**
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
  2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
  3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

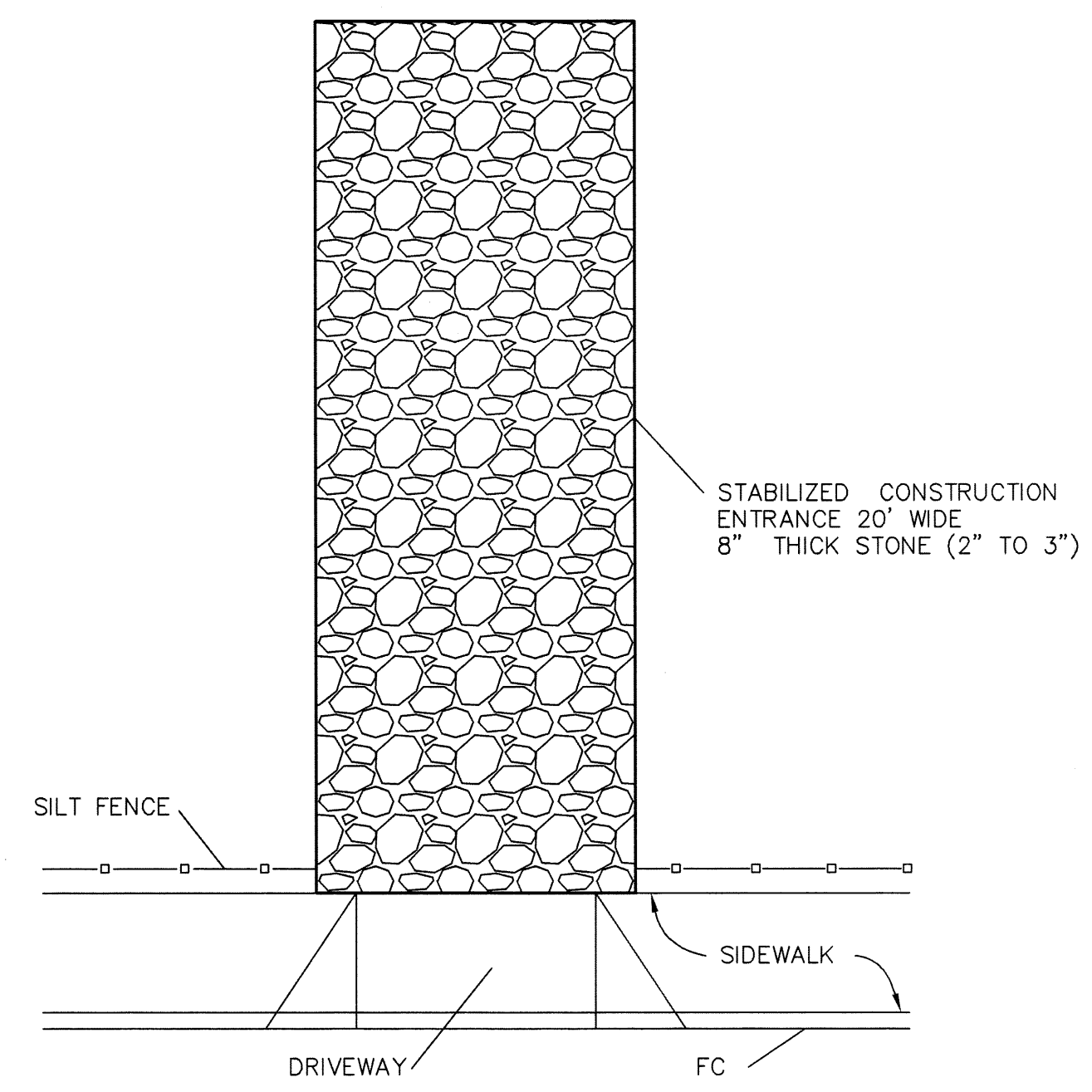
**3 SILT FENCE**  
NTS



- NOTES:**
1. PLACE FIBER ROLLS AROUND ALL INLETS, NEW & EXISTING, TO WHICH RUNOFF FROM CONSTRUCTION AREA WILL DRAIN. (FIBER ROLLS ARE TUBES MADE FROM STRAW BOUND W/ PLASTIC NETTING. THEY ARE APPROX 8" DIA AND 20 - 30 FT LONG.)
  2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 3"-4" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.
  3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.

(TIME FRAME: AREA DRAINS - BETWEEN AREA DRAIN INSTALLATION AND PROJECT COMPLETION  
CURB INLETS - BETWEEN CURB INLET INSTALLATION AND FINAL PAVING OPERATIONS)

**4 SEDIMENT BARRIER**  
NTS



**5 STABILIZED CONSTRUCTION ENTRANCE**  
NTS

**1 EROSION CONTROL NOTES**  
NTS

**ROUNDHOUSE INDUSTRIES, INC.**  
900 ROSITA ROAD  
PACIFICA, CA 94044  
650.303.0495

**EROSION CONTROL NOTES AND DETAILS**

**AMBER FORKE**  
991 SAN RAMON AVENUE  
MOSS BEACH, CA



DATE: 6.19.17  
SCALE: AS SHOWN  
DRAWN: MO  
JOB NO: 2017-026

SHEET  
**C4.01**



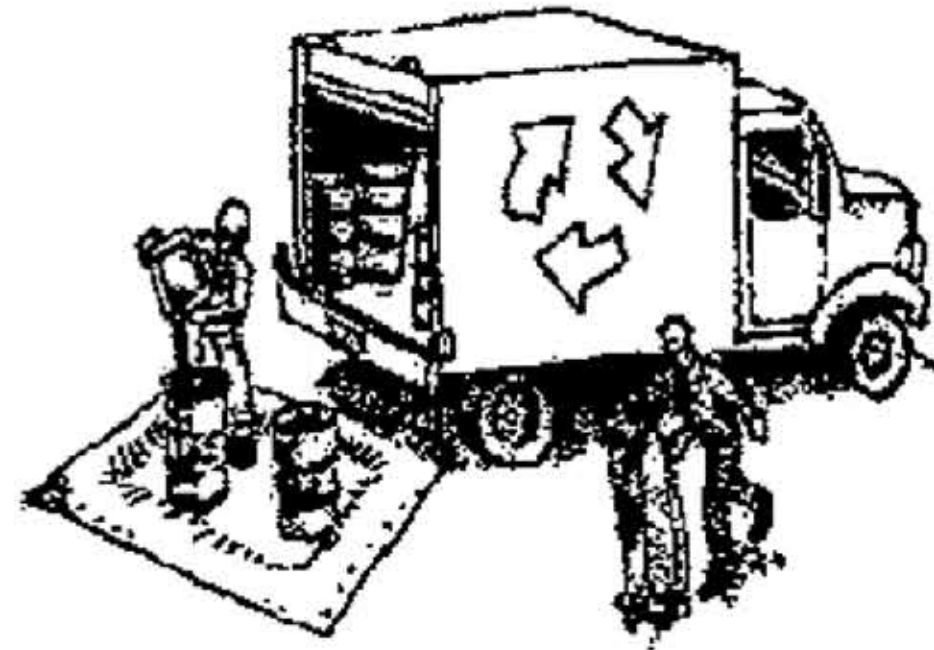


SAN MATEO COUNTYWIDE  
**Water Pollution  
Prevention Program**  
Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



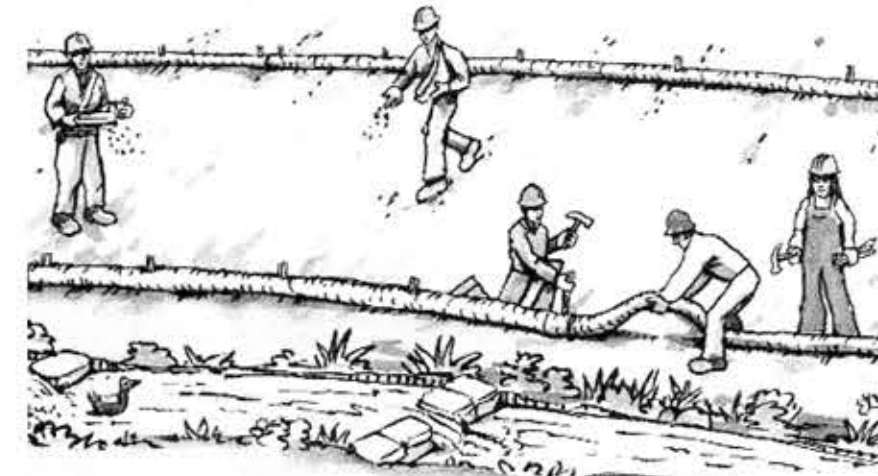
### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work

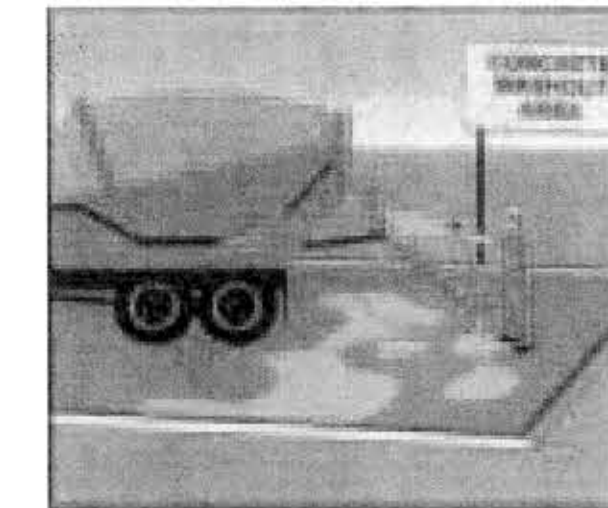


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



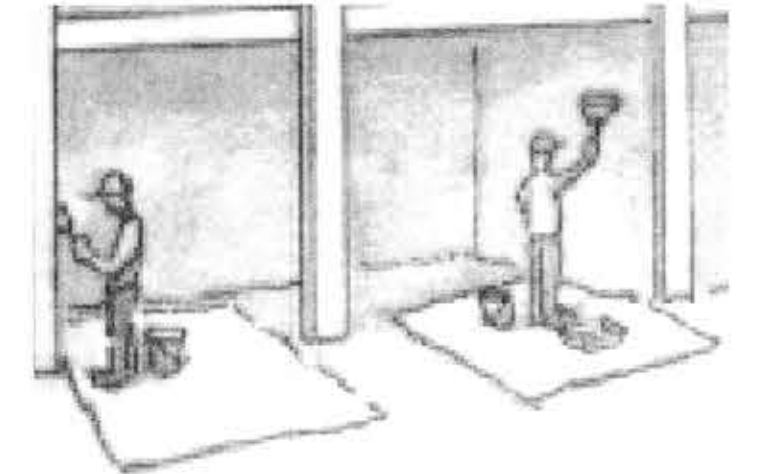
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

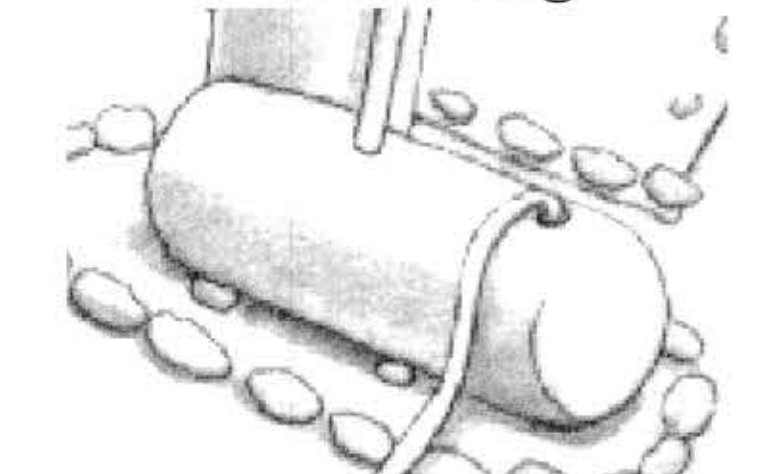
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**





ROOFING :  
Standing Seam Metal Roof  
Berridge - Charcoal Grey



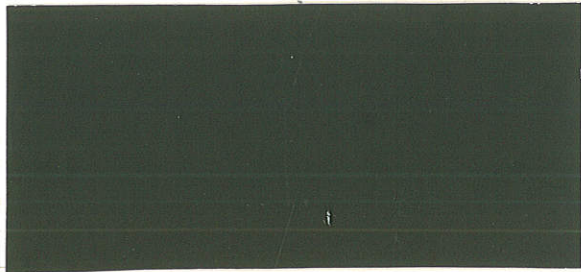
EXTERIOR STUCCO WALLS :  
Benjamin Moore  
Inner Balance #1522



EXTERIOR CEDAR SIDING WALLS &  
WINDOW & DOOR TRIM :  
seal w/ natural sealer



WINDOWS, FRENCH AND SLIDING DOORS :  
Eagle - Wood / Metal Cladding  
Anodized Aluminum



ROOF TRIM :  
Benjamin Moore  
Dragon's Breath #1547

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JUL 19 2017

Santa Clara County  
Planning Division



CHIMNEY METAL CLADDING :  
Cor Ten Rusted Metal Panels

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