WILMINGTON RESIDENCE
REMODEL/ADDITION
930 WILMINGTON WAY
EMERALD HILLS, CALIFORNIA

CALGREEN MANDATORY MEASURES

A4.1 PLANNING & DESIGN-SITE DEVELOPMENT
4.106.2: A PLAN IS DEVELOPED & IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION,
4.106.3: THE SITE SHALL BE PLANNED & DEVELOPED TO KEEP SURFACE WATER AWAY FROM BUILDINGS. CONSTRUCTION PLANS SHALL INDICATE HOW SITE GRADING OR A DRAINAGE SYSTEMS WILL MANAGE ALL SURFACE WATER FLOWS.
A4.2 ENERGY EFFICIENCY
4.201.1 LOW-RISE RESIDENTIAL BUILDINGS SHALL MEET OR EXCEED THE MINIMUM STANDARD DESIGN REQUIRED BY THE CALIFORNIA ENERGY STANDARDS.
A4.3 WATER EFFICIENCY & CONSERVATION
4.303.1: INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20% USING ONE OF THE FOLLOWING METHODS:
1. WATER SAVING FIXTURES OR FLOW RESTRICTORS SHALL BE USED.
2. A 20% REDUCTION IN BASELINE WATER USE SHALL BE DEMONSTRATED.

4.303.2: WHEN USING THE CALCULATION METHODS SPECIFIED IN SECTION 4.303.1 MULTIPLE SHOWERHEADS SHALL NOT EXCEED MAXIMUM FLOW RATES
4.303.3 PLUMBING FIXTURES (WATER CLOSETS & URINALS) & FITTINGS (FAUCETS & SHOWERHEADS) SHALL COMPLY WITH SPECIFIED PERFORMANCE REQUIREMENTS.
OUTDOOR WATER USE:
4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. AFTER DECEMBER 1, 2015, NEW RESIDENTIAL DEVELOPMENTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREAT THAN 500 SQUARE FEET SHALL COMPLY WITH ONE OF THE FOLLOWING OPTIONS:
1. A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT; OR
2. PROJECTS WITH AGGREGATE LANDSCAPE AREAS LESS THAT 2,500 SQUARE FEET MAY COMPLY WITH THE MWELO'S APPENDIX D PRESCRIPTIVE COMPLIANCE OPTION.

A4.4 MATERIAL CONSERVATION & RESOURCE EFFICIENCY
4.406.1: JOINTS & OPENINGS.
ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
4.408.1: A MINIMUM OF 75% OR THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE. THIS IS ACHIEVED EITHER BY USING CITY PER-CERTIFIED LANDFILLS OR IMPLEMENTATION OF A WASTE MANAGEMENT PLAN. WASTE MANAGEMENT PLAN SHALL BE PRE-APPROVED BY ENVIRONMENTAL SERVICES DEPT.
4.408.2 WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION & DEMOLITION WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED FOR APPROVAL TO THE ENFORCING AGENCY.
4.410.1 AN OPERATION & MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.
A4.5 ENVIRONMENTAL QUALITY
POLLUTANT CONTROL :
4504.1 DUCT OPENINGS & OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
4.504.2.1 ADHESIVES, SEALANTS & CAULKS SHALL BE COMPLIANT WITH VOC & OTHER TOXIC COMPOUND LIMITS.
4.504.2.2: PAINTS, STAINS & OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
4.504.2.3: ALL PAINTS & COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC & OTHER TOXIC COMPOUNDS.
4.504.2.4: DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
4.504.3: CARPET & CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
4.504.4: 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING, SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAMS.
4.504.5: PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSIONS STANDARDS. SPECIFY THE LIMITS ON THE PLANS IN ACCORDANCE WITH.
4.505.2: VAPOR RETARDER & CAPILLARY BREAK IS INSTALLED AT SLAB ON GRADE FOUNDATIONS.
4.505.3: MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL & FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.
INDOOR AIR QUALITY & EXHAUST
4.506.1 ENERGY STAR COMPLIANT EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE PROVIDED IN EVERY BATHROOM. CONTROLLED BY A HUMIDITY CONTROL, UNLESS IT IS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM.
ENVIRONMENTAL COMFORT
4.507.1: WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR LOUVERS SHALL HAVE A MIN. INSULATION VALUE OF R-4.2.
4.507.2: DUCT SYSTEMS ARE SIZED, DESIGNED & EQUIPMENTS IS SELECTED USING THE FOLLOWING METHODS:
1. ESTABLISH HEAT LOSS & HEAT GAIN VALUES ACCORDING TO ACCA MANUAL J OR EQUIVALENT.
2. SIZE DUCT SYSTEMS ACCORDING TO ACCA 19-D (MANUAL D) OR EQUIVALENT.
3. SELECT HEATING & COOLING EQUIPMENT ACCORDING TO ACCA 36-S (MANUAL S) OR EQUIVALENT.

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS
702.11: HVAC SYSTEM INSTALLERS ARE TRAINED & CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.
702.2: SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED & ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.
703.1: VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.

FIRE DEPARTMENT NOTES

1. THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN A POSITION THAT IS READILY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 0.5".
2. POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD.
3. ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7.
4. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. SMOKE ALARMS SHALL BE INTERCONNECTED, RECEIVED THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP.
5. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING OR SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN SWELLING UNITS THAT HAVE AN ATTACHED GARAGE. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.

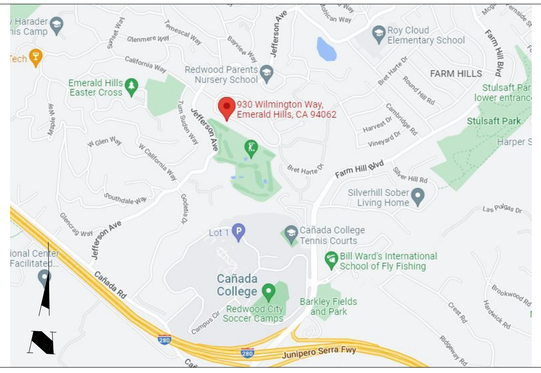
SPECIAL INSPECTIONS

ALL WORK REQUIRING INSPECTIONS MUST BE DONE BY CERTIFIED INSPECTION AGENCY.
- RETROFIT HOLDOWN ANCHORS MAY BE INSPECTED BY THE ENGINEER OF RECORD. THE EOR SHALL PROVIDE A LETTER TO THE CITY FIELD INSPECTOR AT THE TIME OF HOLDOWN INSPECTION DESCRIBING THE RESULTS OF THE INSPECTION(S).

DEFERRED SUBMITTALS

DEFERRED APPROVALS ARE SUBJECT TO CITY'S APPROVAL
- FIRE SPRINKLER SYSTEM (NFPA 13,13D,13R) TO BE SUBMITTED AND APPROVED UNDER A SEPARATE PERMIT. THE STRUCTURE WILL COMPLY WITH R313 FOR RESIDENTIAL FIRE SPRINKLERS. SUBMIT DESIGN CALCULATION AND PLAN TO COUNTY FIRE
- PV SYSTEM 3.84 kWdc IS A "REQUIRED SPECIAL FEATURE" OF THE ENERGY CALCULATION. A SEPARATE BUILDING PERMIT IS REQUIRE FOR THE PV SYSTEM THAT IS REQUIRED BY THE ENERGY CALCULATIONS COMPLIANCE MODELING. **THE SEPARATE PV SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.**

VICINITY MAP



GENERAL NOTES

1. CONTRACTOR SHALL COMPLY WITH ALL CALIFORNIA RESIDENTIAL CODE (CRC) 2019, CALIFORNIA BUILDING CODE (CBC) 2019, CALIFORNIA MECHANICAL CODE (CMC) 2019, CALIFORNIA PLUMBING CODE (CPC) 2019, CALIFORNIA FIRE CODE (CFC) 2019, CALIFORNIA ELECTRICAL CODE (CEC) 2019, CALIFORNIA GREEN BUILDING CODE (CGBC) 2019, ENERGY EFFICIENCY STANDARDS TITLE 24.
2. SITE DRAINAGE: NO DRAINAGE ACROSS OR ONTO ADJACENT PROPERTIES OR ON SITE WATER RETENTION. PROVIDE A MINIMUM 5% SLOPE ON PERVIOUS SURFACES AND 2% SLOPE ON IMPERVIOUS SURFACES WITHIN 10' OF STRUCTURE.
3. FOUNDATION: SOIL UNDER SLAB AND FOOTINGS TO BE 95% COMPACTED. ALL BEARING FOOTINGS SHALL EXTEND A MINIMUM OF 12" INTO UNDISTURBED SOIL, UNLESS OTHERWISE NOTED. FOUNDATIONS AND HOUSE SLAB SHALL BE 2500 PSI AT 28 DAYS. FLAT WORK SHALL BE 2500 PSI AT 28 DAYS. FINISH FLOOR SLAB SHALL BE A MINIMUM OF 6" ABOVE GRADE. PROVIDE COPIES OF ANY COMPACTION OR SOILS ANALYSIS REPORTS TO THE BUILDING DEPARTMENT PRIOR TO THE FOUNDATION INSPECTION.
4. SILL PLATES WILL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.
5. ALL EXTERIOR AND INTERIOR BEARING WALLS SHALL BE 2x4 D.F. WOOD STUDS AT 16" O.C. UNLESS OTHERWISE NOTED ON PLANS.
6. PROVIDE SOLID BLOCKING AT ALL FURRED CEILINGS AND SOFFITS AT WALLS.
7. AT ALL NON-BEARING WALLS PARALLEL TO ROOF TRUSS THAT ARE UNBRACED FOR MORE THAN 6'-0" PROVIDE A 2x4 DIAGONAL BRACE FROM THE TOP PLATE TO THE TOP CHORD WITH A MINIMUM OF 2-16d EACH END.
8. BOTTOM CHORD OF TRUSS TO BE BRACED AT 12' O.C. (MINIMUM).
9. ALL EXTERIOR DOOR AND WINDOW HEADERS SHALL BE 6x12 WITH DOUBLE TOP PLATE OVER, UNLESS OTHERWISE NOTED.
10. POWER DRIVEN FASTENERS: ESR 2269 X-U P8 S36 AS MANUFACTURED BY "HILTI". SPACING: 18" O.C. AT ALL BEARING WALLS, 36" O.C. AT ALL NON-BEARING WALLS.
11. EXTERIOR FINISH TO BE HORIZONTAL SIDING AT 1st FLOOR AND SHINGLE SIDING AT THE 2nd FLOOR- SEE EXTERIOR ELEVATIONS, UNLESS OTHERWISE NOTED
12. STUCCO FINISHES AT EDGES SHALL INCLUDE THE FOLLOWING: DRIP SCREED, SUPERIOR #1/CASING BEAD, MILCOR #66/EXTERIOR CORNER, MILCOR #1 EXP. JOINT. INTERIOR CORNER, MILCOR #30 EXP. JOINT.
13. ALL WINDOWS SHALL BE DUAL GLAZED WITH VINYL FRAME. SEE ELEVATIONS FOR GRIDS.
14. ALL EXTERIOR SLIDING GLASS DOORS AND WINDOWS WITH SILLS WITHIN 18" OF THE FLOOR AND WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF AN EXTERIOR DOOR IN A CLOSED POSITION SHALL BE TEMPERED. H.S.=HORIZONTAL SLIDER, S.H.=SINGLE HUNG, OBS.=OBSCURE, FXD.=FIXED, TEMP.=TEMPERED, HLF. RND.=HALF ROUND.
15. SILL PLATES FOR NON-BEARING WALLS MUST BE ANCHORED TO SLAB WITH HARDENED CEMENT NAILS.
16. EXTERIOR SILL PLATES SHALL BE CAULKED AT JOINTS WITH CONCRETE SLAB. CAULK ALL OPENINGS IN EXTERIOR ENVELOPE, ALL JOINTS BETWEEN DISSIMILAR MATERIALS, AND AT JUNCTIONS OF MAJOR COMPONENTS.
17. PROVIDE ONE COAT HEAVY-BODIED ACRYLIC STAIN ON BARGE RAFTERS, FASCIA BOARDS, EXPOSED EAVES, AND WOOD TRIM.
18. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD. ANY CONFLICTS OR DISCREPANCIES ARE TO BE BROUGHT TO THE DESIGNER'S ATTENTION PRIOR TO CONSTRUCTION.
19. BACKFLOW PREVENTER REQUIRED ON ALL HOSE BIBBS.

PROJECT DATA

PROJECT ADDRESS:	930 WILMINGTON WAY
ASSESSOR PARCEL NUMBER:	068-213-120 & 068-213-110
ZONING:	RH
CONSTRUCTION TYPE:	V-B (SPRINKLERED)
OCCUPANCY TYPE:	R-3/U
LOT SIZE:	13,562.26 S.F.
EXISTING RESIDENCE:	1,359.21 S.F.
ADU CONVERSION:	256.08 S.F. (NON-FAR)
ADU ADDITION:	124.65 S.F. (NON-FAR)
PROPOSED 1st LEVEL ADDITION:	1,041.07 S.F.
PROPOSED COVERED PATIO:	119.25 S.F.
PROPOSED GARAGE:	481.99 S.F.
EXERCISE ROOM:	179.0 S.F.
TOTAL 1st LEVEL FLOOR AREA:	2799.79 S.F.
PROPOSED 2nd LEVEL ADDITION:	1,029.58 S.F.
TOTAL FLOOR AREA:	3,829.37 S.F. (28.2%)
MAX. FLOOR AREA:	4,068.68 S.F. (30%)
PROPOSED COVERED PORCH:	17.5 S.F. (NON-FAR)
TOTAL LOT COVERAGE:	3,206.32 S.F.

SCOPE OF WORK:
CONSTRUCT A NEW ADDITION TO 1st LEVEL WITH FAMILY, DINING, LIVING, NOOK, KITCHEN, PANTRY, MUDROOM, LAUNDRY, OFFICE/LIBRARY, EXERCISE ROOM (NON-CONDITIONED), 2-CAR GARAGE, AND COVERED PATIO. CONVERT PORTION OF EXISTING RESIDENCE TO ADU WITH LIVING AND BATH. CONSTRUCT NEW 2nd LEVEL WITH BEDROOM, BATHROOM, PRINCIPAL BEDROOM, PRINCIPAL BATHROOM, AND BALCONY. PROVIDE NEW STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL AS NECESSARY AND SHOWN ON PLANS.

SHEET INDEX

WARREN DESIGN
579 E. CAMPBELL AVE. CAMPBELL, CA 95008 P. 650.469.3760

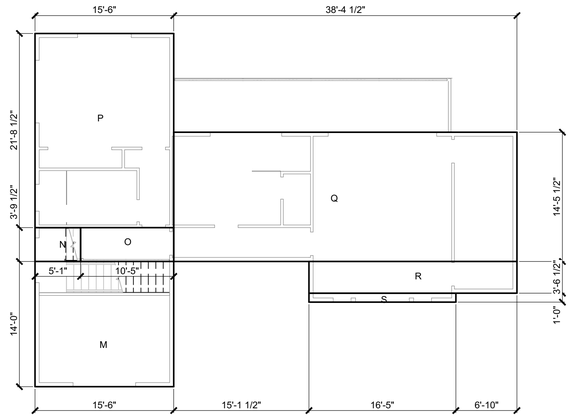
WILMINGTON RESIDENCE
REMODEL / ADDITION
930 WILMINGTON WAY
EMERALD HILLS CALIFORNIA

Date: 03/01/2023
Drawn By: DW
Revisions:

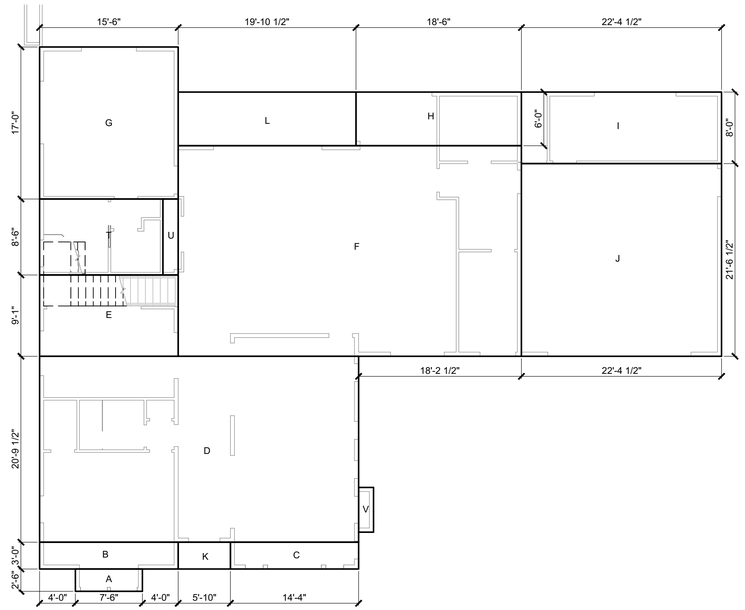
TITLE SHEET
SHEET INDEX
PROJECT DATA
VICINITY MAP
GENERAL NOTES

Project No: 2215

Sheet No: T-1



2nd Level Floor Area Diagram



1st Level Floor Area Diagram

0 8 16 24 32

SCALE: 1/8" = 1'-0"

FLOOR AREA CALCULATION:		
AREA		S.F.
A		18.75
B		46.5
C		43
D		741.57
E		140.79
F		903.41
G		263.5 (ADU NON-FAR)
T		117.23 (ADU NON-FAR)
U		14.52
H		111
V		8.3 (NON-FAR)
I (EXERCISE ROOM)		179
J (GARAGE)		481.99
K (COVERED PORCH)		17.5 (NON-FAR)
L (COVERED PATIO)		119.25
1st FLOOR TOTAL		2,799.78 S.F.
M		217 (NON-FAR)
N		19.27 (NON-FAR)
O		39.5
P		336.48
Q		554.84
R		82.34
S		16.42
2nd FLOOR TOTAL		1,029.58 S.F.
FLOOR AREA TOTAL:		3,829.36 S.F.
LOT COVERAGE CALCULATION:		
A-H (1st FLOOR LIVING AREA)		2,400.28
I (EXERCISE ROOM)		179
J (GARAGE)		481.99
K (COVERED PORCH)		17.5 (NON-FAR)
L (COVERED PATIO)		119.25 (NON-FAR)
LOT COVERAGE TOTAL:		3,206.32 S.F.

WARREN DESIGN
579 E. CAMPBELL AVE. CAMPBELL, CA 95008 P. 650.469.3760

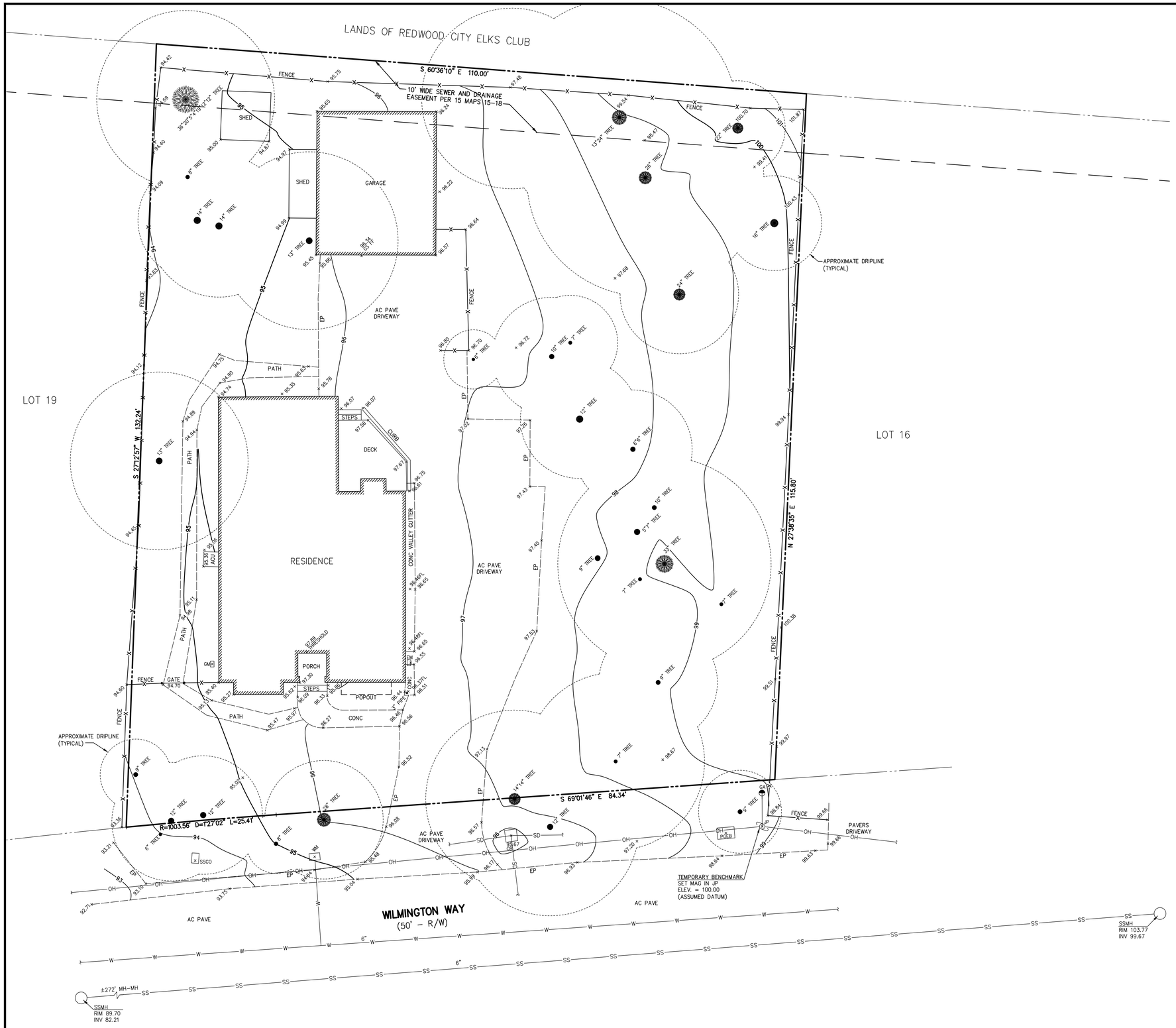
WILMINGTON RESIDENCE
REMODEL / ADDITION
930 WILMINGTON WAY
EMERALD HILLS CALIFORNIA

Date: 03/01/2023
Drawn By: DW
Revisions:

FLOOR AREA DIAGRAM

Project No: 2215

Sheet No: T-1.1



LEGEND

———	PROPERTY LINE
AC PAVE	ASPHALT CONCRETE PAVEMENT
ACU	AIR CONDITIONING UNIT
CB	CATCH BASIN
CONC	CONCRETE
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
FL	FLOWLINE
GA	GUY ANCHOR
GM	GAS METER
GS FF	GARAGE SLAB FINISH FLOOR
INV	INVERT
JP	JOINT UTILITY POLE
PGEB	PG&E BOX
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
WM	WATER METER
●12" TREE	TREE W/ SIZE
—X—X—	FENCE
———OH———	OVERHEAD UTILITY LINE
———SD———	STORM DRAIN LINE
———SS———	SANITARY SEWER LINE
———W———	WATER LINE

LOT AREA:

= 13,562 SQ. FT. ±
= 0.311 ACRES ±

UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

EASEMENT NOTE:

MACLEOD AND ASSOCIATES, INC. WAS NOT PROVIDED WITH A PROPERTY TITLE REPORT. EASEMENT SHOWN IS PER 15 MAPS 15-18. OTHER EASEMENTS, IF ANY, ARE NOT INDICATED HEREON.

GRAPHIC SCALE

8 0 4 8 16 32

(IN FEET)
1 inch = 8 ft.

C-0

REV.	DESCRIPTION	BY:	DATE:

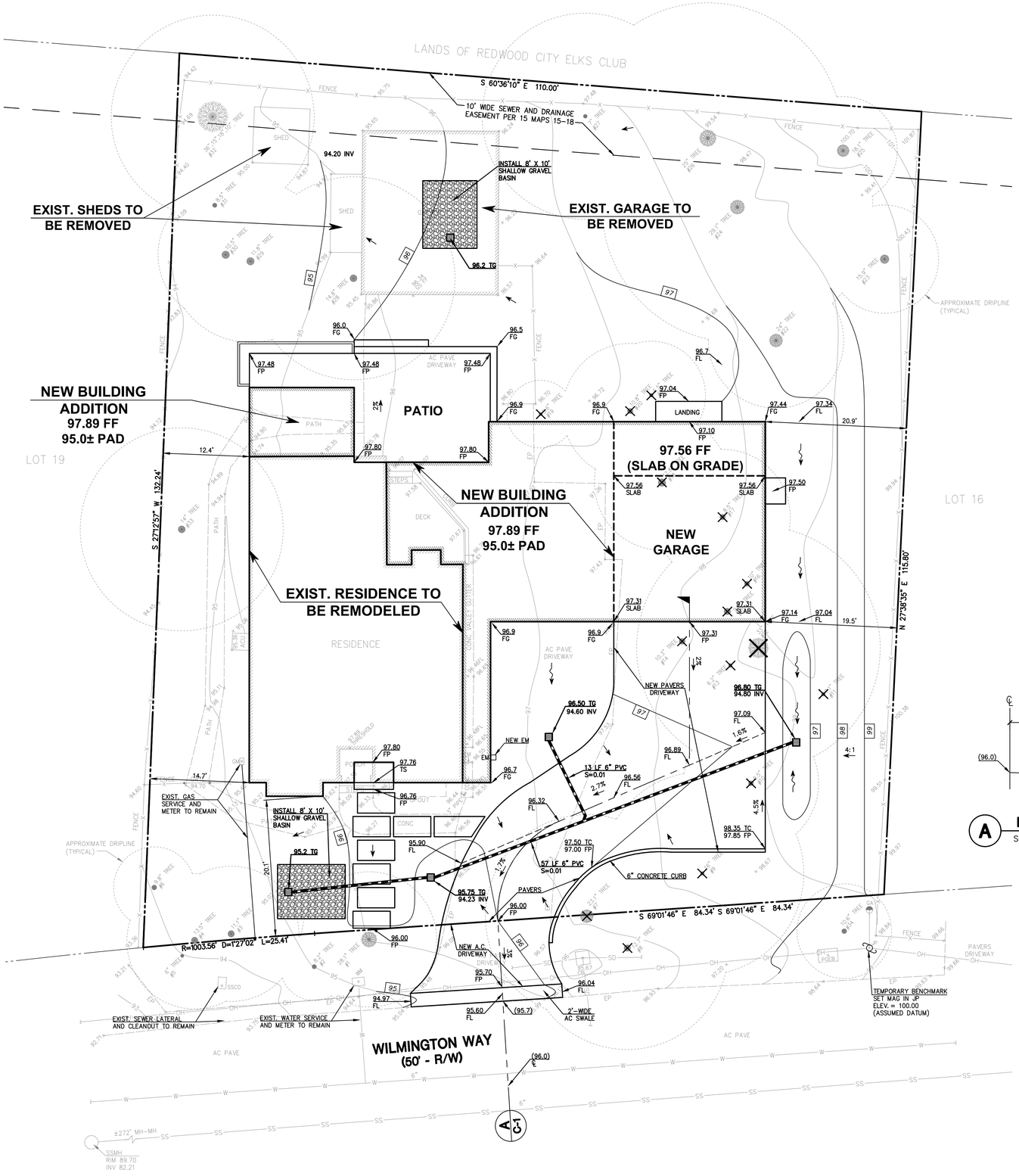
LICENSED LAND SURVEYOR
DANIEL G. MacLEOD
No. 5304
STATE OF CALIFORNIA

MacLEOD AND ASSOCIATES
CIVIL ENGINEERING • LAND SURVEYING
965 CENTER STREET • SAN CARLOS • CA 94070 • (650) 593-8580

PREPARED FOR:
CHARLES ANDERSON

TOPOGRAPHIC SURVEY PLAN
930 WILMINGTON WAY
A.P.N. 068-213-110 AND 120
LOTS 17 AND 18, BLOCK 509, 15 MAPS 15-18
(MERGED INTO ONE PARCEL PER DOC. #7920 O.R. 835)
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA

DRAWN BY:	MDL
DESIGNED BY:	---
CHECKED BY:	DGM
SCALE:	1"=8'
DATE:	07-25-22
DRAWING NO.	5286-TOPO
SHEET	1 OF 1



GRADING QUANTITIES:	CUT	FILL
HOUSE PAD GRADING	60	--
NEW GARAGE	40	--
NEW DRIVEWAY	80	--
SIDE YARD	35	--
FRONT YARD	10	--
REAR YARD	10	--
TOTAL	235	--

NOTE:
EARTHWORK QUANTITIES SHOWN ON THIS PLAN ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFFS.

UTILITY NOTE:

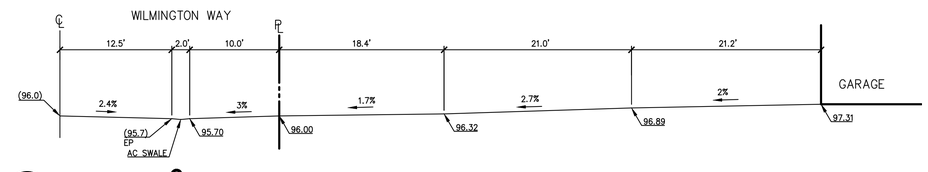
THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

DRAINAGE NOTE:

ALL DOWNSPOUTS SHALL BE DISPERSED ONTO PRECAST CONCRETE SPLASH BLOCKS OR ADJACENT IMPERVIOUS SURFACE AREA AND DIRECTED TO LANDSCAPE AREA.

LEGEND

	PROPERTY LINE
AC PAVE	ASPHALT CONCRETE PAVEMENT
ACU	AIR CONDITIONING UNIT
BS	BOTTOM OF STEP
CB	CATCH BASIN
CONC	CONCRETE
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
FP	FINISH PAVE
GA	GUY ANCHOR
GM	GAS METER
GS FF	GARAGE SLAB FINISH FLOOR
INV	INVERT
JP	JOINT UTILITY POLE
PGEB	PG&E BOX
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
TG	TOP OF GRATE
TS	TOP OF STEP
WM	WATER METER
12" TREE	EXISTING TREE W/ SIZE
12" TREE	EXISTING TREE TO BE REMOVED
-X-X-	FENCE
-G-	GAS LINE
-OH-	OVERHEAD UTILITY LINE
-SD-	STORM DRAIN LINE
-SS-	SANITARY SEWER LINE
-W-	WATER LINE
97	FINISH CONTOUR
	NEW STORM DRAIN INLET
	SWALE
	SURFACE FLOW DIRECTION



A **DRIVEWAY ℄ PROFILE**
SCALE: 1"=8 (VERT. & HOR.)

GRAPHIC SCALE
8 0 4 8 16 32
(IN FEET)
1 inch = 8 ft.

REV.	DESCRIPTION	BY:	DATE:
--	PER COUNTY COMMENTS	VPG	04/25/23
--	REVISE DRIVEWAY ALIGNMENT	DJK	01/30/23

REGISTERED PROFESSIONAL ENGINEER
DANIEL G. MacLEOD
No. 35048
CIVIL
STATE OF CALIFORNIA

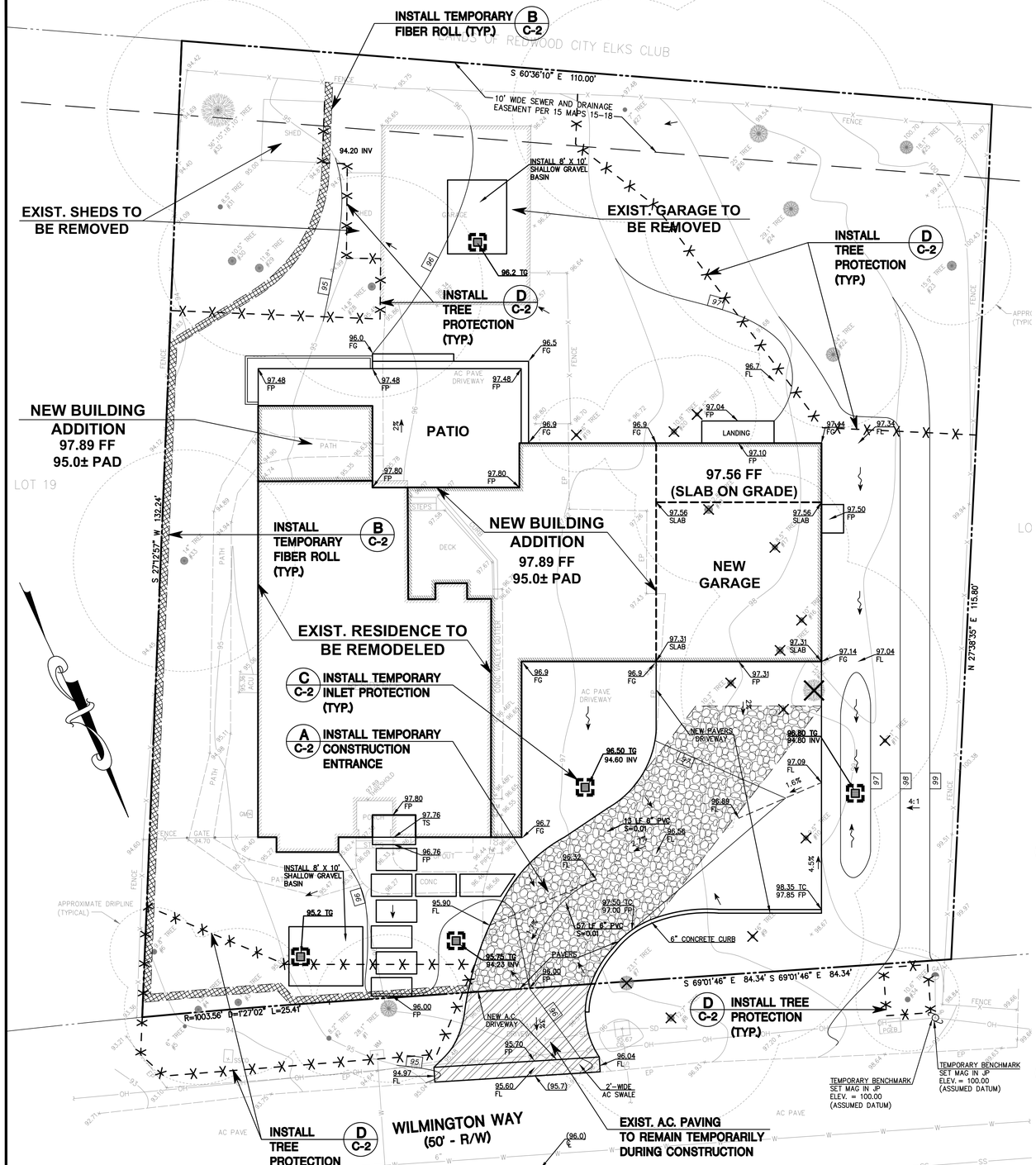
MacLEOD AND ASSOCIATES
CIVIL ENGINEERING • LAND SURVEYING
965 CENTER STREET • SAN CARLOS • CA 94070 • (650) 593-8580

PREPARED FOR:
CHARLES ANDERSON

PRELIMINARY GRADING & DRAINAGE PLAN
930 WILMINGTON WAY
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA

DRAWN BY:	VPG
DESIGNED BY:	DJK
CHECKED BY:	DGM
SCALE:	1"=8'
DATE:	10/03/22
DRAWNG NO.	5286-GRAD
SHEET	1 OF 2

C-1

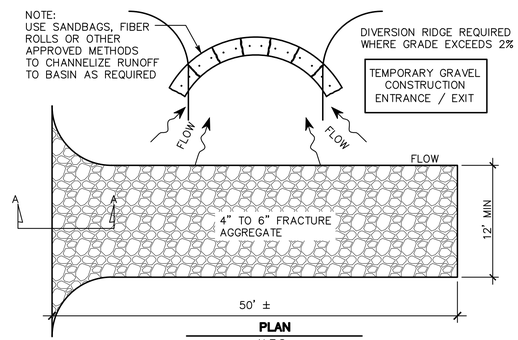


EROSION CONTROL NOTES:

1. THE INTENT OF THE EROSION CONTROL PLAN IS TO MINIMIZE ANY WATER QUALITY IMPACTS IN THE FORM OF SEDIMENT POLLUTION TO MAIN CREEK & TRIBUTARIES.
2. A CONSTRUCTION ENTRANCE WILL BE INSTALLED PRIOR TO OF GRADING. LOCATION OF THE ENTRANCE MAY BE ADJUSTED BY THE CONTRACTOR TO FACILITATE GRADING OPERATIONS. ALL CONSTRUCTION TRAFFIC ENTERING THE PAVED ROAD MUST CROSS THE CONSTRUCTION ENTRANCE. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS- OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITION DEMAND, AND REPAIR OF ANY MEASURES USED TO TRAP SEDIMENTS.
3. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH THE USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
4. THE EROSION AND SEDIMENT CONTROL MEASURES WILL BE OPERABLE DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15. BY OCTOBER 1, GRADING AND INSTALLATION OF STORM DRAINAGE AND EROSION AND SEDIMENT CONTROL FACILITIES WILL BE COMPLETED. NO GRADING WILL OCCUR BETWEEN OCTOBER 1 AND APRIL 15 UNLESS AUTHORIZED BY THE CITY REPRESENTATIVE.
5. DURING THE RAINY SEASON, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE WILL BE MAINTAINED SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF ENTERS THE STORM DRAINAGE SYSTEM.
6. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE EROSION AND SEDIMENT CONTROL FIELD MANUAL OF THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD.

DUST CONTROL NOTES:

1. WATER ALL CONSTRUCTION AND GRADING AREA AT LEAST TWICE DAILY.
2. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS, OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST 2 FEET OF FREEBOARD.
3. APPLY WATER TWO TIMES DAILY OR APPLY (NON-TOXIC) SOIL ON ALL UNPAVED ACCESS ROADS, PARKING AREAS, AND STAGING AREAS AT THE PROJECT SITE.
4. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.
5. ENCLOSE, COVER, WATER TWICE DAILY, OR APPLY (NON-TOXIC) SOIL BINDERS TO EXPOSED STOCKPILES (DIRTS, SAND, ETC.)



PLAN
N.T.S.

A CONSTRUCTION ENTRANCE DETAIL

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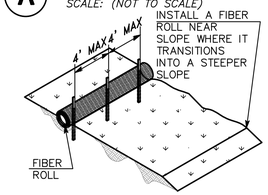
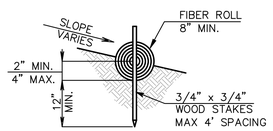


TYPICAL FIBER ROLL INSTALLATION
N.T.S.

NOTE:
INSTALL FIBER ROLL ALONG A LEVEL CONTOUR, WHERE POSSIBLE.



ENTRENCHMENT DETAIL
N.T.S.

B FIBER ROLL DETAIL

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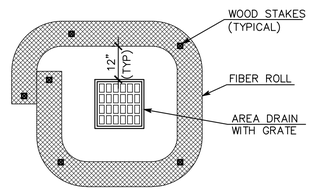

C DRAIN INLET PROTECTION DETAIL

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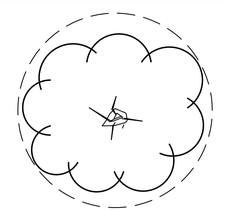

PLAN
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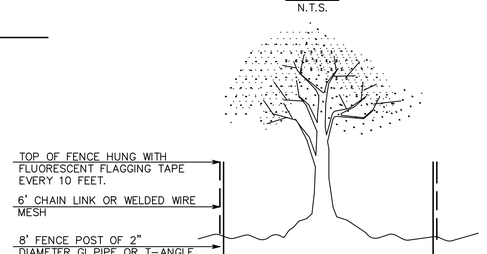


D TYPICAL TREE PROTECTION DETAIL

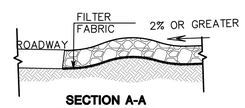
(NOT TO SCALE)

SAN MATEO COUNTY STANDARD NOTES:

1. EROSION CONTROL POINT OF CONTACT:
   OWNER: CHARLES ANDERSON
   EMAIL: CHARLESANDERSON@MSN.COM
   OFFICE:(650) 552-3895
2. PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION
3. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
4. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
5. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICAL, WASH WATER OR SEDIMENTS AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
6. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
7. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
8. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
9. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
10. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
11. THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE ETC., SHALL NOT BE ENLARGED OR "RUN OVER".
12. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL METERIALS ON-SITE DURING THE "OFF-SEASON".
13. DUST CONTROL IS REQUIRED YEAR-ROUND.
14. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
15. USE OF PLASTIC SHEETING BETWEEN OCTOBER 1st. AND APRIL 30th IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
16. THE TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING OR GRUBBING IS STARTED.

DESIGN AND CONSTRUCTION SPECIFICATIONS FOR CONSTRUCTION ENTRANCE:

1. THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 4 TO 6 INCH STONE.
2. THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 12 INCHES.
3. THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS AND EGRESS.
4. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANUP OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.
5. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



SECTION A-A
N.T.S.

REV.	DESCRIPTION	BY:	DATE:
---	PER COUNTY COMMENTS	VPG	04/25/23
---	REVISE DRIVEWAY ALIGNMENT	DJK	01/30/23

REGISTERED PROFESSIONAL ENGINEER
DANIEL G. MacLEOD
No. 35048
CIVIL
STATE OF CALIFORNIA

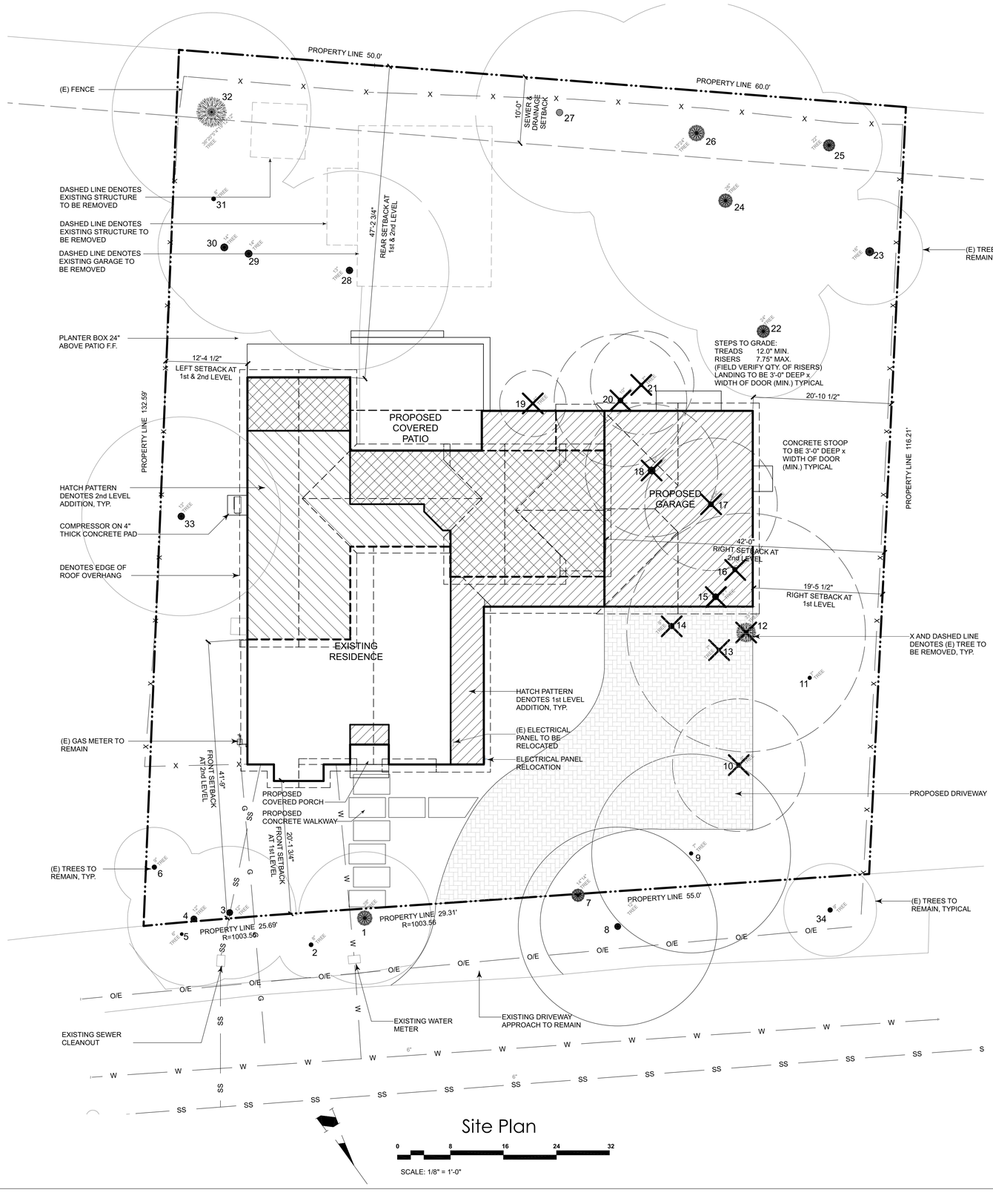
MacLEOD AND ASSOCIATES
CIVIL ENGINEERING • LAND SURVEYING
965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8580

PREPARED FOR:
CHARLES ANDERSON

EROSION & SEDIMENTATION CONTROL PLAN WITH TREE PROTECTION
930 WILMINGTON WAY
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA

DRAWN BY:	VPG
DESIGNED BY:	DJK
CHECKED BY:	DGM
SCALE:	1"=8'
DATE:	10/03/22
DRAWING NO.	5286-EROS
SHEET	2 OF 2

C-2



GENERAL NOTES:

1 VERIFY LOCATION OF ALL UTILITIES AT JOB SITE.
2 SLOPE ALL FINISH GRADES A MIN. OF 5% FOR 5'-0" AWAY FROM STRUCTURE FOR DRAINAGE.
3 ALL DWELLINGS SHALL HAVE A CONTROLLED METHOD OF WATER DISPOSAL FROM ROOFS THAT WILL COLLECT AND DISCHARGE ROOF DRAINAGE TO THE GROUND SURFACE AT LEAST 5 FEET FROM FOUNDATION WALLS OR TIE INTO AN APPROVED DRAINAGE SYSTEM.
4 THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10'-0" (CBC 1804.3).
5 ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12" PLUS 2" (CRC 1808.7.4).
6 EAVE PROJECTIONS SHALL HAVE 1 HOUR FIRE-RESISTANCE RATING ON ALL EAVE PROJECTIONS THAT ARE LESS THAN 3'-0" FROM THE PROPERTY LINE. THIS IS NOT REQUIRED FOR EAVE PROJECTIONS GREATER THAN 3'-0" AS PRESCRIBED UNDER CRC SECTION R302 & TABLES R302.1(2).

WASTE MANAGEMENT PLAN:

CONSTRUCTION WASH-OUT WATER FROM CONCRETE, MORTAR, TILE, TAPING, AND PAINTING SHALL BE DONE IN A PORTABLE CONTAINMENT POOL OR IN A LINED EVAPORATIVE PIT. WASH-OUT SHALL NOT ENTER THE STORM WATER SYSTEM.

TRASH PILES SHALL NOT BE LOCATED IN THE FRONT YARD OR VISIBLE FROM THE STREET. TRASH PILES SHALL NOT CONTAIN: PAINTS, SOLVENTS, GLUES, TAPING COMPOUND, FOOD PRODUCTS, OR EASILY RECYCLE-ABLE DISCARDS SUCH AS BOTTLES, CANS, PLASTICS, OR PAPER. REMAINING TRASH SHALL BE LIMITED TO CONCRETE, WOOD, DRYWALL, ROOFING, AND ASSORTED METALS AND SHALL BE COVERED WITH A WATERPROOF TARP. TRASH SHALL BE SEPARATED AT AN APPROVED BAY AREA DISPOSAL SITE SUCH AS GUADALUPE RECYCLING. ALL TRASH IS TO BE QUICKLY HAULED OFF SITE. RETAIN THE RECEIPT AND KEEP WITH THE PERMIT DOCUMENTS, PROOF OF RECYCLE AND DISPOSAL OF THE JOB SITE TRASH WILL BE CHECKED PERIODICALLY AND PRIOR TO FINAL INSPECTION.

OR

WEST VALLEY COLLECTION AND RECYCLING (408) 283-9250 WILL DELIVER A ROLL-OFF DEBRIS BOX AND SORT THE TRASH OFF SITE.

A MINIMUM OF 65% OF THE CONSTRUCTION WASTER GENERATED AT THE SITE SHALL BE DIVERTED TO RECYCLE OR SALVAGED

EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE ONSITE AND READILY ACCESSIBLE PRIOR TO CONSTRUCTION.
2. SWEEP OR SCRAPE UP SOILS TRACKED ONTO THE ROAD AT THE END OF EACH DAY. DO NOT HOSE INTO STREET, GUTTER, OR STORM DRAIN.
3. REVEGETATE DISTURBED AREAS. EXPOSED BARE DIRT SHALL BE COVERED WITH MULCH, JUT NETTING OR OTHER EROSION CONTROL BLANKET.
4. ALL TEMPORARY STOCKPILES SHALL BE COVERED WITH 6 MIL. PLASTIC SHEETS, SUITABLY ANCHORED.
5. THE SITE SHALL BE MONITORED BY THE CONTRACTOR / OWNER AFTER RAIN EVENT TO VERIFY EROSION CONTROL MEASURES ARE FUNCTIONING.

HATCH PATTERN LEGEND	
	PATTERN DENOTES 1ST LEVEL ADDITION
	PATTERN DENOTES 2ND LEVEL ADDITION

ALL (E) LANDSCAPE AND IRRIGATION TO REMAIN.
NO NEW LANDSCAPE PROPOSED

TREE LEGEND:		
NUMBER	SPECIES	SIZE
1S	Liquidambar	28"
2S	Monterey Pine	8"
3S	Birch	12"
4S	Birch	12"
5S	Deodar cedar	6"
6S	Coast Live Oak	9"
7S	Coast Live Oak	14"
8S	Coast Live Oak	12"
9S	Mulberry	7"
10R	Coast Live Oak	9
11S	Redwood	7"
12S/R	Italian Stone Pine	33"
13R	Coast Live Oak	7"
14R	Carob	9"
15R	Carob	5
16R	Silver Maple	10"
17R	Privet	6"
18S/R	Mulberry	12"
19R	Coast Live Oak	6"
20R	Red Iron Bark Euc	10"
21R	Coast Live Oak	7"
22S	Red Iron Bark Euc	24"
23S	Coast Live Oak	16"
24S	Coast Live Oak	26"
25S	Coast Live Oak	22"
26S	Coast Live Oak	18"
27S	Black Walnut	16"
28S	Coast Live Oak	13"
29S	Hollywood Juniper	14"
30S	Hollywood Juniper	14"
31S	Coast Live Oak	8"
32S	Redwood	20"
33S	Coast Live Oak	13"
34S	Coast Live Oak	9"
S-SIGNIFICANT TREE		
R-TREE TO BE REMOVED		

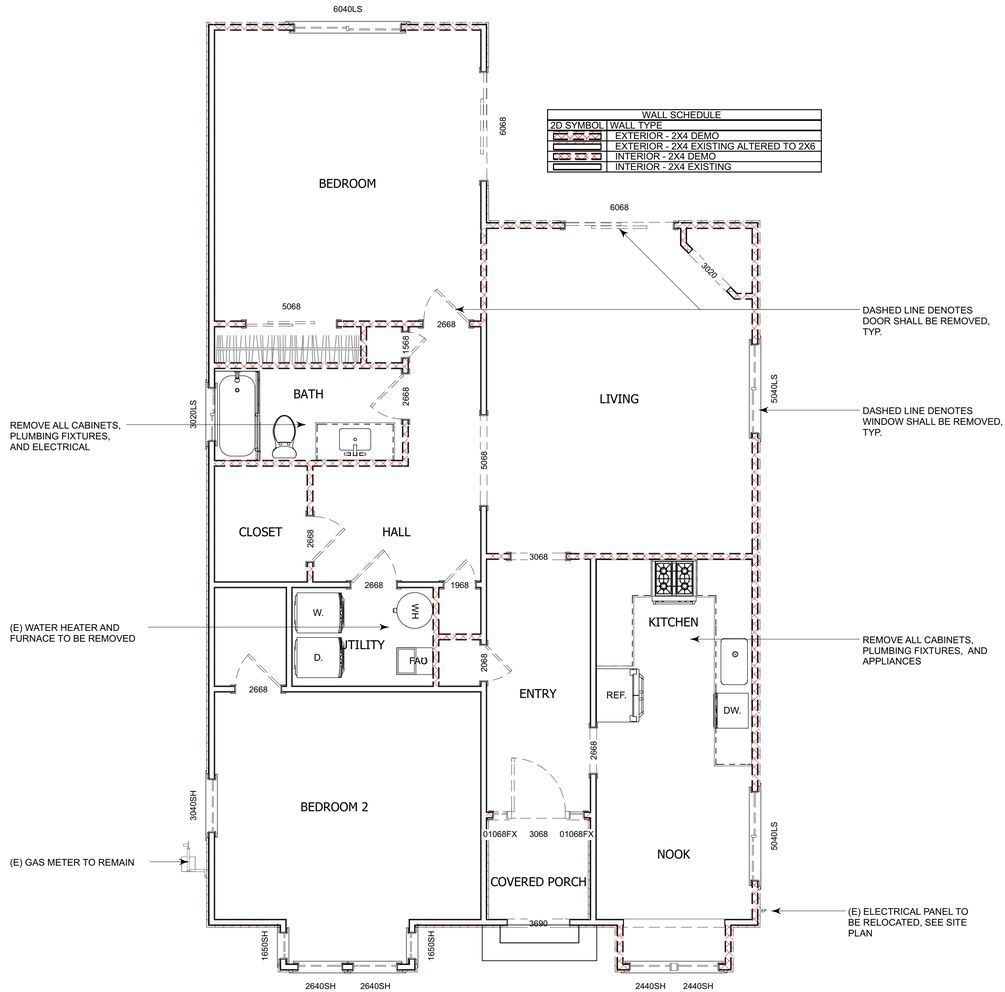
WARREN DESIGN
579 E. CAMPBELL AVE. CAMPBELL, CA 95008 P. 650.469.3760

WILMINGTON RESIDENCE
REMODEL / ADDITION
930 WILMINGTON WAY
EMERALD HILLS CALIFORNIA

Date: 03/01/2023
Drawn By: DW
Revisions:

SITE PLAN

Project No: 2215
Sheet No: A-1



NOTE:
- ALL EXISTING CEILING HEIGHTS ARE 8'-0"
- ALL EXTERIOR EXISTING 2x4 WALLS THAT ARE TO REMAIN ARE TO BE ALTERED TO 2x6 (SEE PROPOSED FLOOR PLAN)

Existing Floor Plan

0 4 8 12 16

SCALE: 1/4" = 1'-0"

WARREN DESIGN
579 E. CAMPBELL AVE. CAMPBELL, CA 95008 P. 650.469.3760

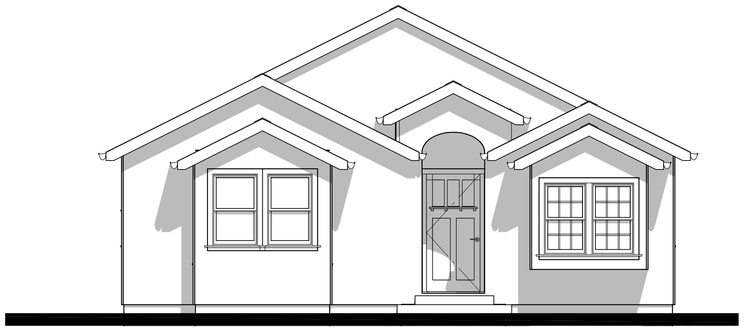
WILMINGTON RESIDENCE
REMODEL / ADDITION
930 WILMINGTON WAY
EMERALD HILLS CALIFORNIA

Date: 03/01/2023
Drawn By: DW
Revisions:

EXISTING FLOOR PLAN

Project No: 2215

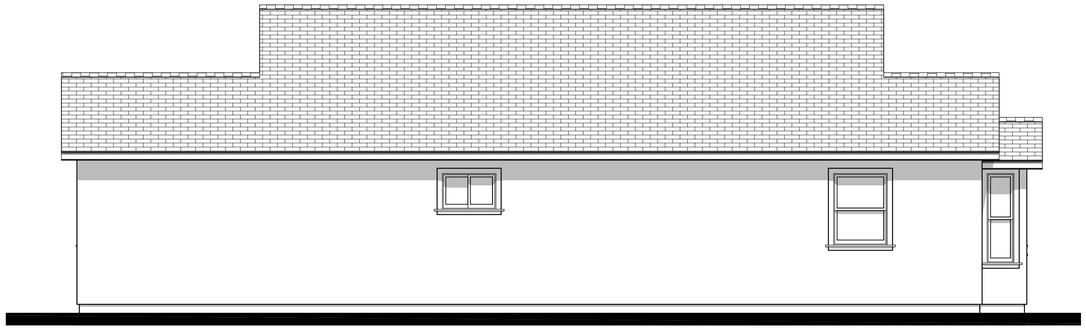
Sheet No: A-2



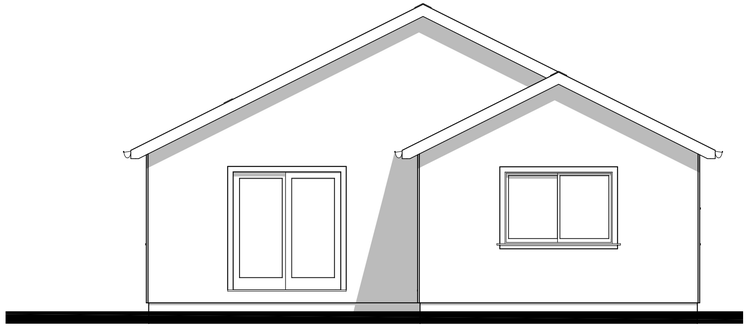
Front Elevation

0 4 8 12 16

SCALE: 1/4" = 1'-0"



Left Elevation



Rear Elevation

Right Elevation

WARREN DESIGN
579 E. CAMPBELL AVE. CAMPBELL, CA 95008 P. 650.469.3760

WILMINGTON RESIDENCE
REMODEL / ADDITION
930 WILMINGTON WAY
EMERALD HILLS CALIFORNIA

Date: 03/01/2023
Drawn By: DW
Revisions:

EXISTING
EXTERIOR
ELEVATIONS

Project No: 2215

Sheet No: A-2.1

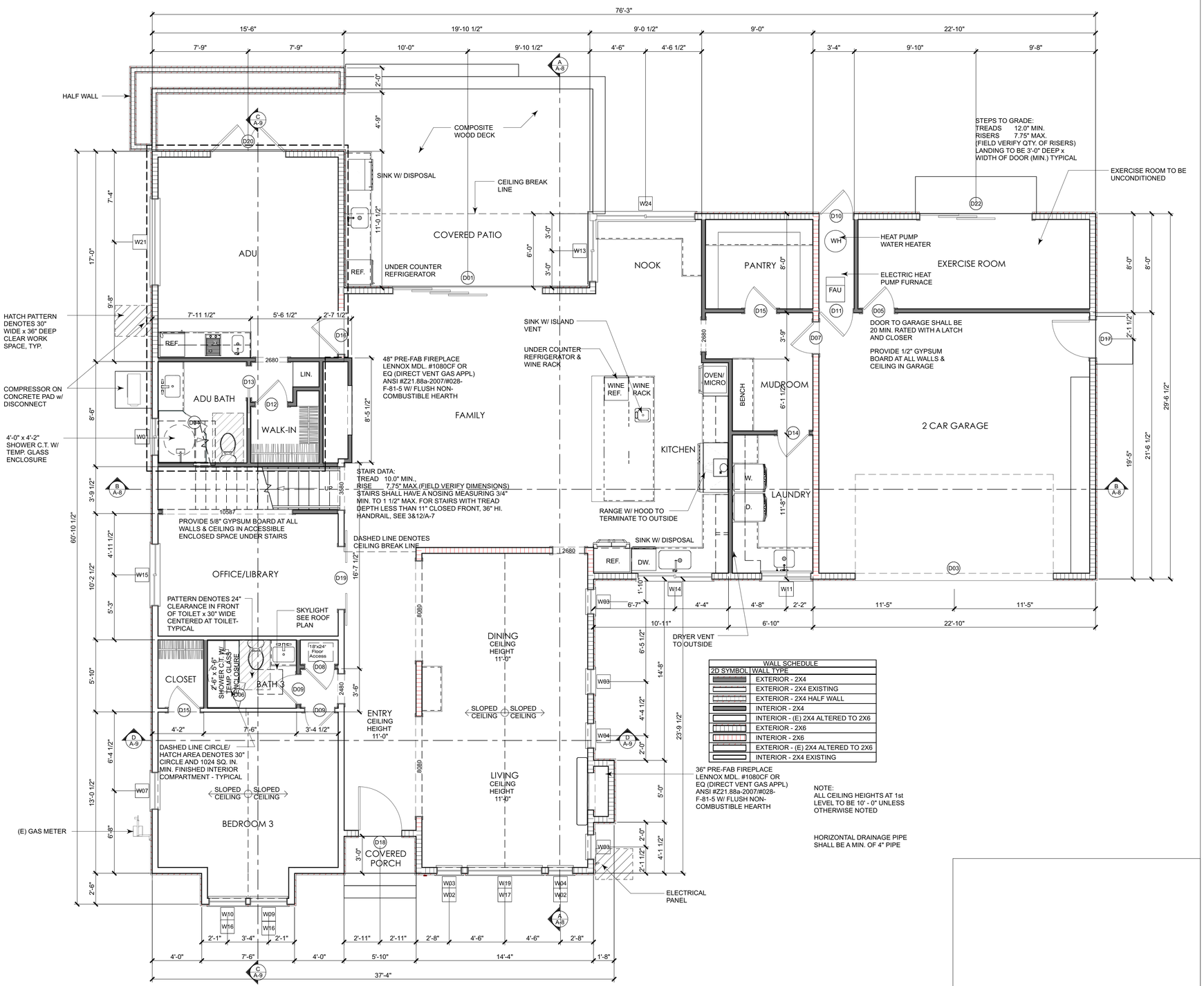
GENERAL NOTES:

1. WINDOW & DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIER'S AND/OR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL-PANED (U.N.O.)
2. ALL EXTERIOR HEADERS SHALL BE AT 8'-0" U.N.O.
3. ALL EXTERIOR DOORS SHALL BE AT LEAST 13/4" THICK
4. ALL GLASS DOORS, GLASS WITHIN 24" OF DOORS & WITHIN 18" OF FLOORS, GLASS SUBJECT TO HUMAN IMPACT, ETC. SHALL BE SAFETY TEMPERED
5. BEDROOM WINDOWS SHALL HAVE MAX 44" HIGH TO THE BOTTOM OF THE CLEAR OPENING, NET CLEAR OPENINGS OF 20" IN WIDTH & 24" IN HEIGHT W/ MIN. CLEAR OPENING OF 5.7 SQUARE FEET
6. SHOWERS TO BE FINISHED WITH MOISTURE RESISTANT MATERIALS OVER A MOISTURE RESISTANT UNDERLAYMENT TO MIN. HEIGHT OF 72" ABOVE DRAIN W/ TEMPERED GLASS ENCLOSURES.
7. PROVIDE THERMOSTATIC MIXING VALVE OR INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE AT ALL SHOWERS PER C.P.C.
8. WATER HEATERS & FURNACES TO BE C.E.C. CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE.
9. PROVIDE COMBUSTION AIR FOR FUEL BURNING APPLIANCES
10. WATER HEATERS SHALL BE STRAPPED WITHIN THE UPPER & LOWER 1/3 OF THE HEATER STRAPS SHALL BE LOCATED A MIN. OF 4" FROM ANY CONTROLS. WATER HEATER TO BE ON PLATFORM 18" MIN. A.F.F.
11. OPENINGS AROUND GAS VENTS, DUCTS & PIPING AT EACH FLOOR SHALL BE FIRE STOPPED
12. AIR DUCTS IN GARAGE THAT PASS THRU LIVING/ GARAGE COMMON WALL SHALL BE 26 GA. STEEL OR THICKER
13. INSTALL PRE-FAB MTL. FIREPLACES PER MFG'S SPEC'S. PROVIDE I.C.C. APPROVED NUMBERS TO BUILDING DEPT. PRIOR TO INSTALLATION
14. PROVIDE FIRE-STOPS IN OPENINGS AT FLOOR & CEILINGS OF ALL FIREPLACES
15. PROVIDE AC/DC SMOKE DETECTORS WITHIN EACH SLEEPING ROOM & CENTRALLY LOCATED IN CORRIDORS OR AREAS GIVING ACCESS TO EACH SLEEPING AREA ALL DETECTORS TO BE INTERCONNECTED TYPICAL.
16. LANDINGS NO MORE THAN 7.75" LOWER THAN THRESHOLD FOR IN-SWINGING DOORS, & NO MORE THAN 1-1/2" FOR OUT-SWINGING & ENTRY DOORS. EXTERIOR LANDINGS TO BE 3'-0 DEEP MIN.
17. ALL GYPSUM BOARD TO 5/8" TYP. U.N.O
18. CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF THE SHOWER COMPARTMENTS OR BE OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY CPC 408.9.
19. JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER- STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. (CEnC SECTION 117).
20. THE FIRST 5' OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK FOR NON RECIRCULATING SYSTEMS SHALL BE THERMALLY INSULATED WITH A MIN. OF 1" (.75") THICK INSULATION FOR HOT (COLD) WATER PIPES WITH A DIAMETER LESS THAN OR EQUAL TO 2" OR 1.5" (1") FOR HOT (COLD) WATER PIPES WITH A DIAMETER GREATER THAN 2". (150(j)(2) CEnC).
21. VENTING FOR ISLAND FIXTURES (VEGETABLE SINK) SHALL BE DESIGNED PER SECTION 909 OF THE 2019 CALIFORNIA PLUMBING CODE.

1. PLUMBING GENERAL NOTES:
   1. PROVIDE AN ACCESSIBLE SHUTOFF VALVE INSTALLED IN THE FUEL-SUPPLY PIPING OUTSIDE OF EACH APPLIANCE AND AHEAD OF THE UNION CONNECTION THERETO. AN APPLIANCE FUEL CONNECTOR SHALL NOT BE CONCEALED WITHIN OR EXTEND THROUGH A WALL, FLOOR, OR PARTITION AND SHALL NOT EXTEND THROUGH THE APPLIANCE HOUSING OR CASING 2019 CMC 1312.3
   2. PROVIDE WATER HAMMER ARRESTORS AT ALL APPLIANCES THAT HAVE QUICK-ACTING VALVES (i.e. DISHWASHER HOT WATER LINE AND THE HOT/COLD WATER LINES FOR THE CLOTHES WASHER.) 2019 CPC 609.10
   3. IN ADDITION TO PRIMARY CONDENSATE DRAINS, WHEN COOLING COILS ARE LOCATED IN AN ATTIC, A SECONDARY OR OVERFLOW SHALL BE PROVIDED. THE REQUIRED OVERFLOW LINE SHALL BE SEPARATE FROM THE PRIMARY AND SHALL TERMINATE WHERE IT IS READILY OBSERVABLE (i.e. ABOVE WINDOWS OR DOORS). CMC 310.2
   4. ALL HOSE BIBBS SHALL HAVE NON-REMOVABLE TYPE BACK-FLOW PREVENTION DEVICE.
   5. PROVIDE DBL. SEISMIC STRAPPING AT ALL WATER HEATERS
   6. PLUMBING CONTRACTOR SHALL PROVIDE T& P VALVE ON WATER HEATER AND ROUTE DISCHARGE LINE TO EXTERIOR, C.B.C
   7. IN SHOWERS & TUB/SHOWER COMBINATIONS, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PER CPC
   8. NO UNDERFLOOR CLEANOUT SHALL BE LOCATED MORE THAN 20 FEET FROM AN ACCESS DOOR, TRAP DOOR , OR CRAWL HOLE PER CPC
   9. PLUMBING CONTRACTOR WILL PROVIDE A SINGLE LINE DIAGRAM OF THE GAS LINE INDICATING THE DISTANCE FROM THE METER TO EACH GAS-FIRED APPLIANCE. HE SHALL INCLUDE THE SIZE OF THE GAS PIPE TO EACH APPLIANCE. GAS PIPE SIZING TO BE PER TABLE 12-8 2019 CPC 1217. DIAGRAM SHALL BE PROVIDED AT TIME OF INSPECTION AND ANY INSTALLATION PRIOR TO PLAN CHECK AND APPROVAL IS AT CONTRACTOR'S RISK.
   10. THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATHTUB, SHOWER AND WHIRLPOOL BATHTUB FILLER SHALL BE LIMITED TO 120 DEGREES FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION. (CPC 408.3)
   11. EXTERIOR WATER HEATER PIPING SHALL BE INSULATED AND WRAPPED TIGHTLY WITH A UV RESISTANT TAPE (150 CEC).
   12. DISHWASHER SHALL BE FITTED WITH AN AIR GAP OR A HIGH LOOP IF THE MANUFACTURE'S INSTALLATION GUIDELINES ALLOW.
   13. ON AND AFTER JANUARY 1, 2014, FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO SINGLE FAMILY RESIDENTIAL REAL PROPERTY, AS A CONDITION FOR ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION AND OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT, THE PERMIT APPLICANT SHALL REPLACE ALL NON-COMPLIANT PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES. SOME HISTORIC BUILDINGS MAY HAVE EXEMPT FIXTURES.
   14. WATER CLOSETS (TOILETS) SHALL USE NO MORE THAN 1.28 GALLONS/FLUSH. SHOWER HEADS SHALL HAVE A WATER FLOW RATE NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI.

FIXTURE	IF THE WATER USAGE EXCEEDS	IT MUST BE REPLACED WITH
WATER CLOSET	1.6 GAL./ FLUSH	1.28 GAL./ FLUSH
SHOWER HEAD	2.5 GAL./ MINUTE	1.8 GAL./ MINUTE
LAVATORY FAUCET	2.2 GAL./ MINUTE	1.2 GAL./ MINUTE
KITCHEN FAUCET	2.2 GAL./ MINUTE	1.8 GAL./ MINUTE

   15. WATER HEATERS & FURNACES TO BE C.E.C. CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE.
   16. OPENINGS AROUND GAS VENTS, DUCTS & PIPING AT EACH FLOOR SHALL BE FIRE STOPPED
   17. AIR DUCTS IN GARAGE THAT PASS THRU LIVING/ GARAGE COMMON WALL SHALL BE 26 GA. STEEL OR THICKER
   18. THE FIRST 5'-0" OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK FOR NON RECIRCULATING SYSTEMS SHALL BE THERMALLY INSULATED WITH A MIN. OF 1" (.75") THICK INSULATION FOR HOT (COLD) WATER PIPES WITH A DIAMETER LESS THAN OR EQUAL TO 2" OR 1.5" (1") FOR HOT (COLD) WATER PIPES WITH A DIAMETER GREATER THAN 2". (150(j)(2) CEnC).



WALL SCHEDULE	
2D SYMBOL	WALL TYPE
	EXTERIOR - 2X4
	EXTERIOR - 2X4 EXISTING
	EXTERIOR - 2X4 HALF WALL
	INTERIOR - 2X4
	INTERIOR - (E) 2X4 ALTERED TO 2X6
	EXTERIOR - 2X6
	INTERIOR - 2X6
	EXTERIOR - (E) 2X4 ALTERED TO 2X6
	INTERIOR - 2X4 EXISTING

Proposed 1st Level Floor Plan

SCALE: 1/4" = 1'-0"

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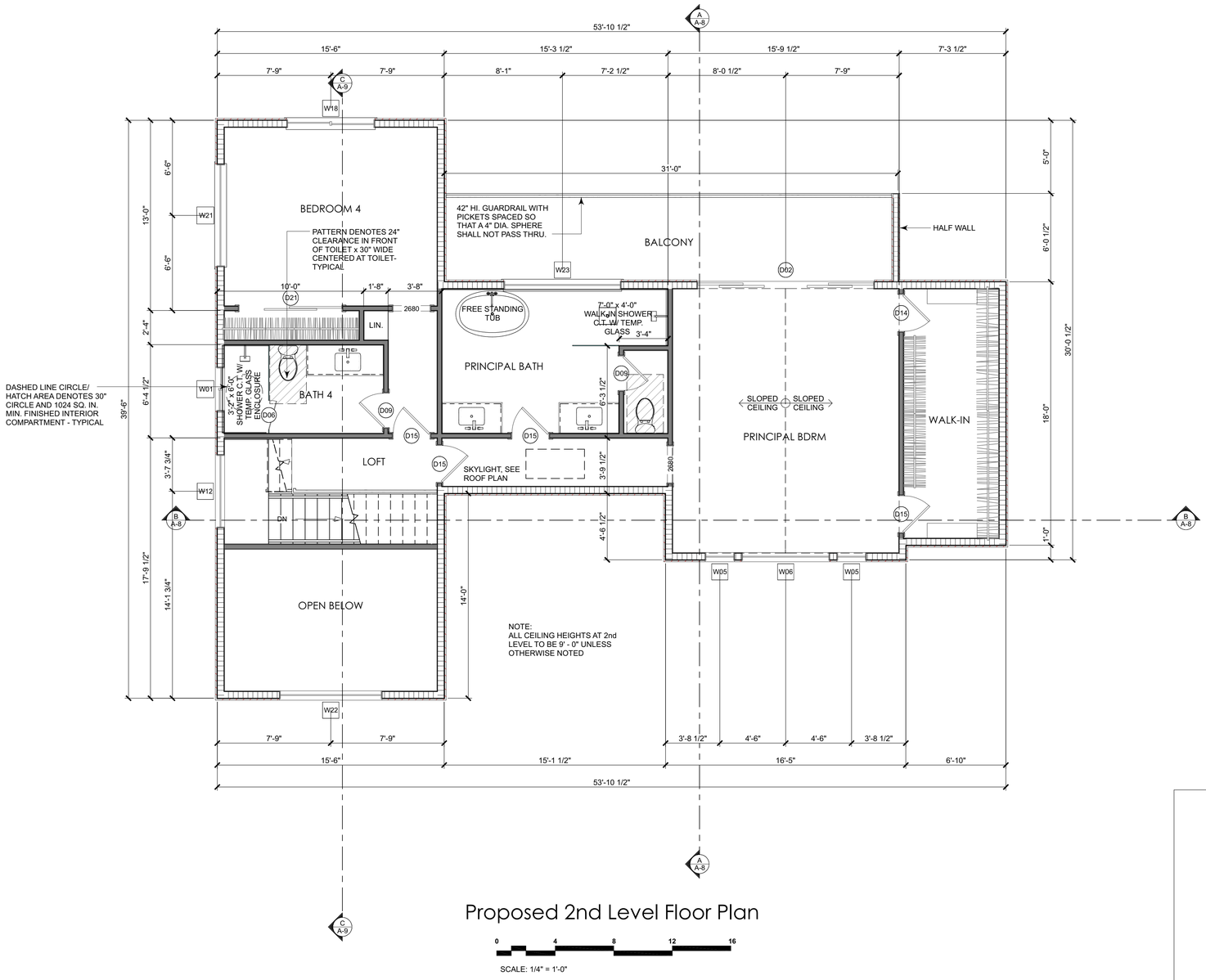
WILMINGTON RESIDENCE
REMODEL / ADDITION
930 WILMINGTON WAY
EMERALD HILLS CALIFORNIA

Date: 03/01/2023
Drawn By: DW
Revisions:

PROPOSED
1st LEVEL
FLOOR PLAN

Project No: 2215

Sheet No: A-3



Proposed 2nd Level Floor Plan

0 4 8 12 16

SCALE: 1/4" = 1'-0"

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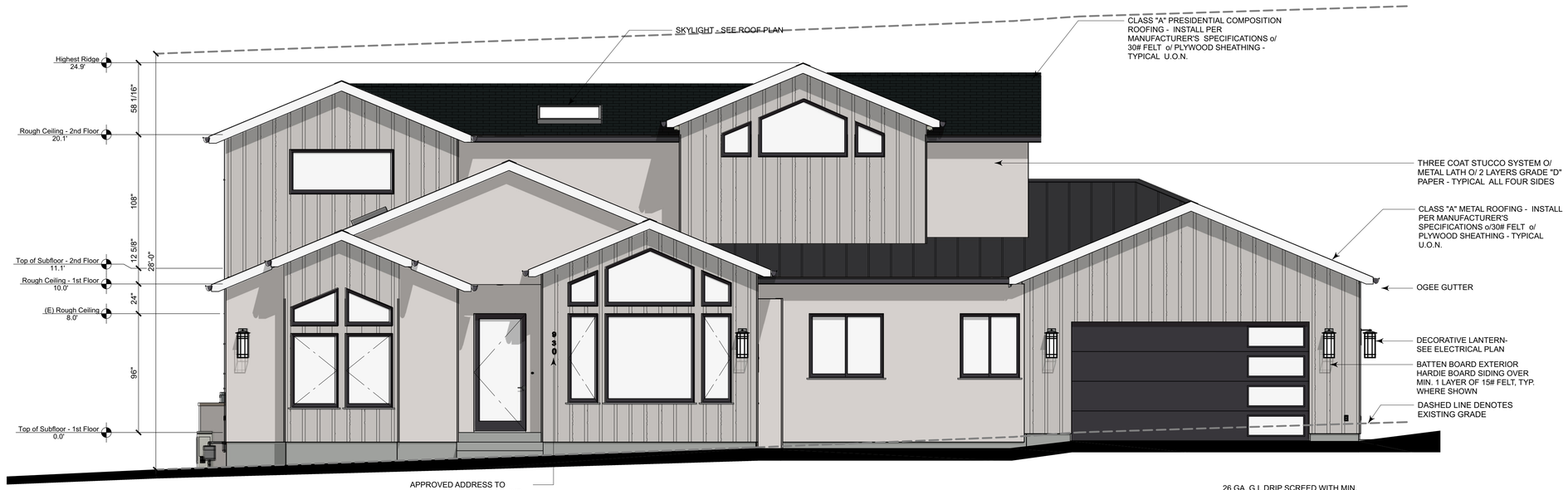
PROPOSED
2nd LEVEL
FLOOR PLAN

Project No: 2215

Sheet No: A-4



Front Elevation

0 4 8 12 16

SCALE: 1/4" = 1'-0"

BLACK:
-METAL ROOFING
-GUTTERS
-WINDOW FRAMES
-DOORS (ENTRY AND GARAGE)

COMPOSITION ROOFING:
-DARK BROWN

STUCCO COLOR:
-LAHABRA DOVE 3003L (53)

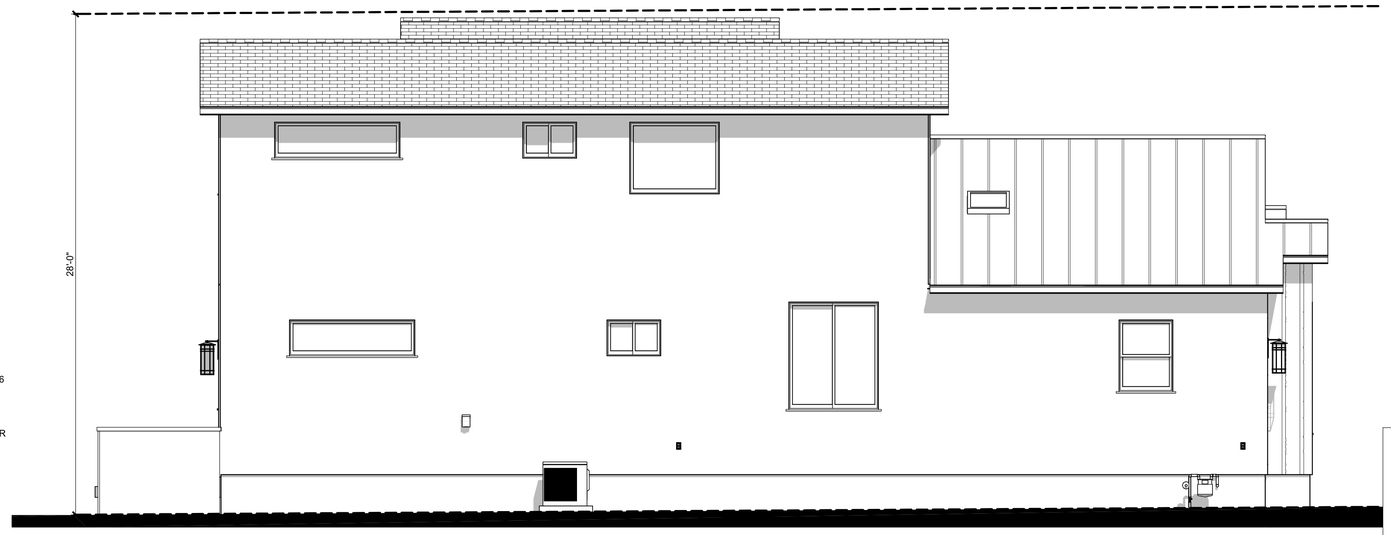
BATTEN BOARD:
GRANITE GRAY

WUI NOTES PER CBC 17A:

1. EXTERIOR WALL COVERING SHALL EXTEND FROM TOP OF THE FOUNDATION TO THE ROOF & TERMINATE AT 2" NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT ENCLOSURE PER CBC 704A.3.1.1.
2. EXTERIOR WALL VENT OPENINGS SHALL RESIST THE INSTRUSION OF FLAME & EMBERS OR MUST BE 1/8" CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQ. PER CBC 704A.3.2.1.
3. TILE ROOFS SHALL BE FIRE STOPPED AT EAVE ENDS, OR SHALL HAVE ONE LAYER OF NO. 72 CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING.
4. ROOF VALLEYS SHALL HAVE NOT LESS THAN 26 GAGE SHEET METAL INSTALLED OVER A MINIMUM 36 INCH WIDE UNDERLAYMENT OF NO. 72 CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.
5. PROVIDE SCREENS ON GUTTERS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.
6. UNDER-FLOOR AREAS TO BE ENCLOSED TO GRADE WITH EXTERIOR WALLS IN ACCORDANCE TO SECTION 704A.3 OR PROVIDE EXPOSED FLOORS, EXPOSED STRUCTURAL BEAMS & SUPPORTING WALL TO BE PROTECTED WITH EXTERIOR IGNITION-RESISTANT MATERIAL OR BE HEAVY TIMBER PER CBC 704A.4.2.2.
7. THE UNDERSIDE OF OVERHANGING APPENDAGES SHALL BE ENCLOSE TO GRADE IN ACCORDANCE W/ THE REQUIREMENTS OF THIS CHAPTER OR THE UNDERSIDE OF THE EXPOSED UNDERFLOOR SHALL BE PER CRC R337.7.6 NONCOMBUSTIBLE STUCCO FINISH
8. EXTERIOR WINDOWS & EXTERIOR GLAZED DOOR ASSEMBLIES SHALL COMPLY PER CRC 337.8.2.1. BE CONSTRUCTED OF MULTI-PANE GLAZING W/A MIN. OF ONE TEMP. PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING EXTERIOR DOORS SHALL COMPLY PER CRC 327.8.3. THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL OR
   I. SHALL BE CONSTRUCTED OF SOLID CORE WOOD THAT COMPLY WITH THE FOLLOWING REQUIREMENTS:
      II. STILES & RAILS SHALL NOT BE LESS THAT 1 3/8"" THICK.

ALL EXTERIOR FLASHING AND INSTALLATION OF APPROVED CORROSION RESISTANT FLASHING ALLIED SHINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER INTO THE BUILDING STRUCTURAL FRAMING COMPONENTS AT THE FOLLOWING LOCATIONS, BUT NOT LIMITED TO:

- EXTERIOR WINDOWS AND DOORS.
- AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTION LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
- UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
- CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
- WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD-FRAME CONSTRUCTION.AT WALL AND ROOF INTERSECTIONS.
- AT BUILT-IN GUTTERS.



Left Elevation

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WILMINGTON RESIDENCE
REMODEL / ADDITION
930 WILMINGTON WAY
EMERALD HILLS CALIFORNIA

Date: 03/01/2023
Drawn By: DW
Revisions:

EXTERIOR ELEVATIONS

Project No: 2215

Sheet No: A-5

Rear Elevation

0 4 8 12 16

SCALE: 1/4" = 1'-0"

Right Elevation

WUI NOTES PER CBC 17A:

1 EXTERIOR WALL COVERING SHALL EXTEND FROM TOP OF THE FOUNDATION TO THE ROOF & TERMINATE AT 2" NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT ENCLOSURE PER CBC 704A.3.1.1.
2 EXTERIOR WALL VENT OPENINGS SHALL RESIST THE INSTRUSION OF FLAME & EMBERS OR MUST BE 1/8" CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQ. PER CBC 704A.3.2.1.
3 TILE ROOFS SHALL BE FIRE STOPPED AT EAVE ENDS, OR SHALL HAVE ONE LAYER OF NO. 72 CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING.
4 ROOF VALLEYS SHALL HAVE NOT LESS THAN 26 GAGE SHEET METAL INSTALLED OVER A MINIMUM 36 INCH WIDE UNDERLAYMENT OF NO. 72 CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.
5 PROVIDE SCREENS ON GUTTERS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.
6 UNDER-FLOOR AREAS TO BE ENCLOSED TO GRADE WITH EXTERIOR WALLS IN ACCORDANCE TO SECTION 704A.3 OR PROVIDE EXPOSED FLOORS, EXPOSED STRUCTURAL BEAMS & SUPPORTING WALL TO BE PROTECTED WITH EXTERIOR IGNITION-RESISTANT MATERIAL OR BE HEAVY TIMBER PER CBC 704A.4.2.2.
7 THE UNDERSIDE OF OVERHANGING APPENDAGES SHALL BE ENCLOSE TO GRADE IN ACCORDANCE W/ THE REQUIREMENTS OF THIS CHAPTER OR THE UNDERSIDE OF THE EXPOSED UNDERFLOOR SHALL BE PER CRC R337.7.6 NONCOMBUSTIBLE STUCCO FINISH
8 EXTERIOR WINDOWS & EXTERIOR GLAZED DOOR ASSEMBLIES SHALL COMPLY PER CRC 337.8.2.1. BE CONSTRUCTED OF MULTI-PANE GLAZING W/A MIN. OF ONE TEMP. PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING EXTERIOR DOORS SHALL COMPLY PER CRC 327.8.3. THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL OR

I. SHALL BE CONSTRUCTED OF SOLID CORE WOOD THAT COMPLY WITH THE FOLLOWING REQUIREMENTS:

II. STILES & RAILS SHALL NOT BE LESS THAT 1 3/8"" THICK.

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Drawn By: DW
Revisions:

EXTERIOR ELEVATIONS

Project No: 2215

Sheet No: A-6

ROOF PLAN GENERAL NOTES:

1. ARROWS INDICATE DIRECTION OF ROOF SLOPE.
2. OVERHANGS ARE TO BE 12" AT EAVES & 12" AT RAKES (U.N.O.)
3. PROVIDE EAVE VENTS FOR ATTIC VENTILATION PER C.R.C. TYPICAL.
4. INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED.
5. INSTALL "OGEE" GUTTER W/ DOWNSPOUTS AS REQUIRED TO MATCH EXISTING.
6. PROVIDE CONCRETE SPLASH BLOCKS AT DOWNSPOUT LOCATIONS FOR DRAINAGE AWAY FROM STRUCTURE - TYPICAL.

ATTIC VENTILATION:

1st LEVEL CALCULATION:
1,147.08 S.F. OF ATTIC SPACE / 300 = 3.8 S.F.
3.8 S.F. x 144 SQ. INCHES = 547.2 SQ. INCHES REQ'D
547.2 SQ. INCHES / 2 = 273.6 SQ. INCHES

273.6 SQ. INCHES REQ'D / 72 SQ. INCHES = 4 - 32"x24" O'HAGIN FLAT ROOF VENTS.

PROVIDE (3) 2" DIA. HOLES AT FREEZE BLK'G (9 SQ. INCHES OF VENTING PER BLOCK)
273.6 SQ. INCHES REQ'D / 9 SQ. INCHES = 31 FREEZE BLOCKS REQUIRED.
PROVIDE VENTING BLK'S SPACED EVENLY AT PERIMETER BUT NOT CLOSER THAN EVERY OTHER BAY.

2nd LEVEL CALCULATION:
953.93 S.F. OF ATTIC SPACE / 300 = 3.18 S.F.
3.18 S.F. x 144 SQ. INCHES = 457.92 SQ. INCHES REQ'D
457.92 SQ. INCHES / 2 = 228.96 SQ. INCHES

228.96 SQ. INCHES REQ'D / 72 SQ. INCHES = 4 - 32"x24" O'HAGIN FLAT ROOF VENTS.

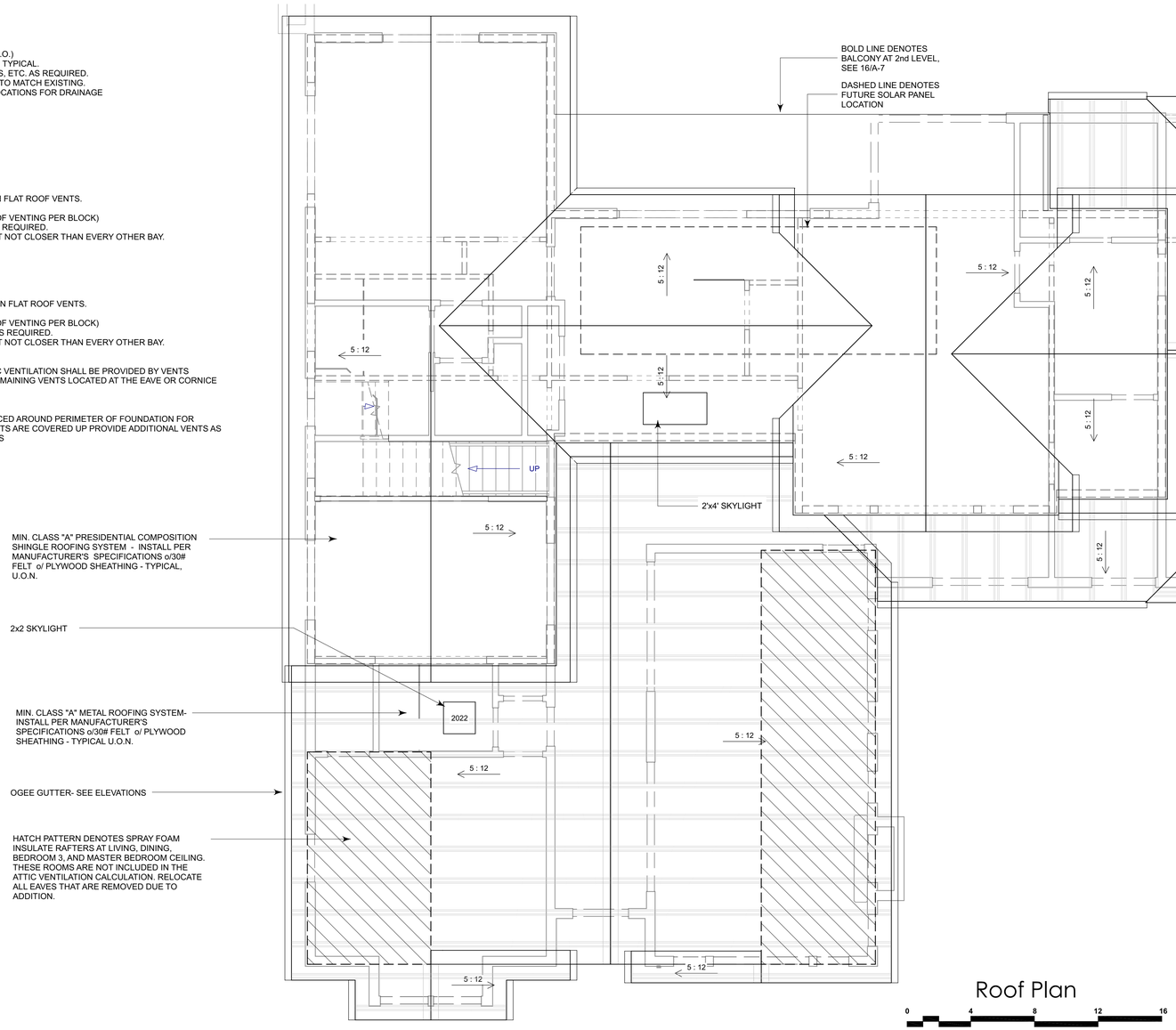
PROVIDE (3) 2" DIA. HOLES AT FREEZE BLK'G (9 SQ. INCHES OF VENTING PER BLOCK)
228.96 SQ. INCHES REQ'D / 9 SQ. INCHES = 26 FREEZE BLOCKS REQUIRED.
PROVIDE VENTING BLK'S SPACED EVENLY AT PERIMETER BUT NOT CLOSER THAN EVERY OTHER BAY.

NOTE:
AT LEAST 40% BUT NOT MORE THAN 50% OF REQUIRED ATTIC VENTILATION SHALL BE PROVIDED BY VENTS LOCATED NOT MORE THAN 3' BELOW THE RIDGE AND THE REMAINING VENTS LOCATED AT THE EAVE OR CORNICE PER C.R.C.

FOUNDATION VENTILATION:
8"X16" SIMPSON G.I. FOUNDATION VENTS TO BE EVENLY SPACED AROUND PERIMETER OF FOUNDATION FOR CROSS VENTILATION REQUIREMENTS. WHERE EXISTING VENTS ARE COVERED UP PROVIDE ADDITIONAL VENTS AS NECESSARY. VENTS SHALL NOT BE LOCATED AT SHEARWALLS

2,400.3 S.F. / 150 S.F. = 16 S.F.
8"X16" = .72 S.F.
16 S.F. / .72 S.F. = 23 VENTS MIN. REQ'D

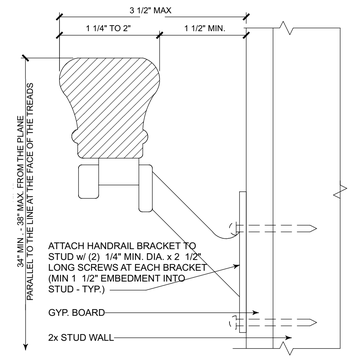
SKYLIGHTS WITH PANES 16 SQ. FT. OR LESS LOCATED IN AN AREA WHERE THE HIGHEST POINT OF THE GLASS IS NOT MORE THAN 12' ABOVE A WALKING SURFACE OR OTHER ACCESSIBLE AREA SHALL HAVE LAMINATED GLASS WITH THE INTERLAYER THICKNESS A MIN. 0.030 INCH OR OTHER TYPES CAN BE FULLY TEMPERED, HEAT STRENGTHENED GLASS, WIRED GLASS OR APPROVED RIGID PLASTICS. FOR FULLY TEMPERED OR HEAT-STRENGTHENED GLASS A RETAINING SCREEN THAT IS CAPABLE OF SUPPORTING TWICE THE WEIGHT OF THE GLAZING AND HAVING A MESH OPENING OF NO MORE THAN 1" X 1" SHALL BE INSTALLED BELOW THE GLASS. CRC R308.6.2 & R308.6.7



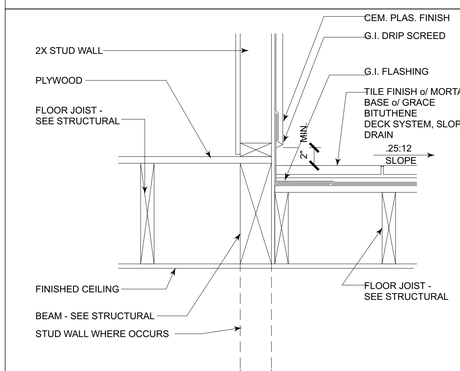
Roof Plan

0 4 8 12 16

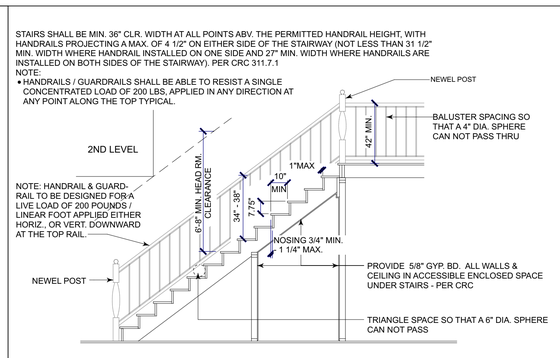
SCALE: 1/4" = 1'-0"



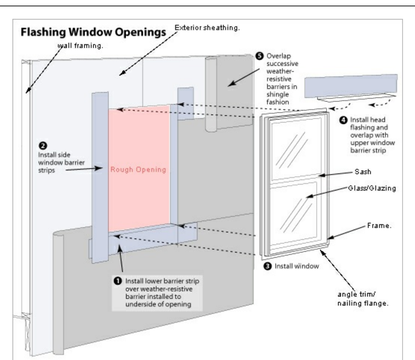
3 HAND RAIL SCALE: N.T.S.



16 BALCONY FINISH SCALE: N.T.S.



12 TYPICAL STAIR SCALE: N.T.S.



8 WINDOW FLASHING SCALE: N.T.S.

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Date: 03/01/2023
Drawn By: DW
Revisions:

ROOF PLAN

Project No: 2215

Sheet No: A-7

GENERAL NOTES:

1. ALL SHEARWALLS TO BE FRAMED TO BOTTOM OF ROOF SHEATHING - TYP.
2. FIRE STOPS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS PER CBC
2.a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL
2.b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
2.c. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
2.d. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
2.e. AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.

INSULATION REQUIREMENTS:

WALL INSULATION:	R-21
FLOOR INSULATION:	R-19
ATTIC INSULATION:	R-38

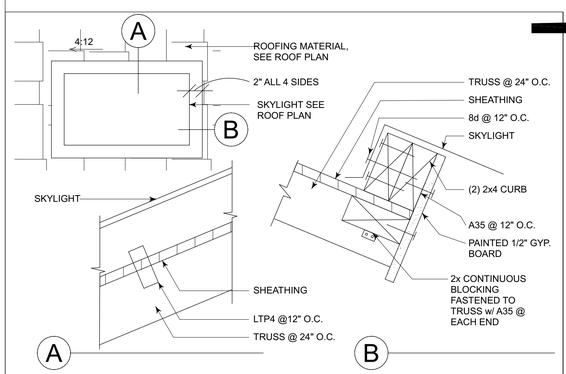
PROVIDE RADIANT BARRIER AT UNDERSIDE OF ROOF AND GABLE END WALLS PER TITLE-24

Section A-A

0 4 8 12 16

SCALE: 1/4" = 1'-0"

Section B-B



16 CURB MOUNTED SKYLIGHT SCALE: N.T.S.

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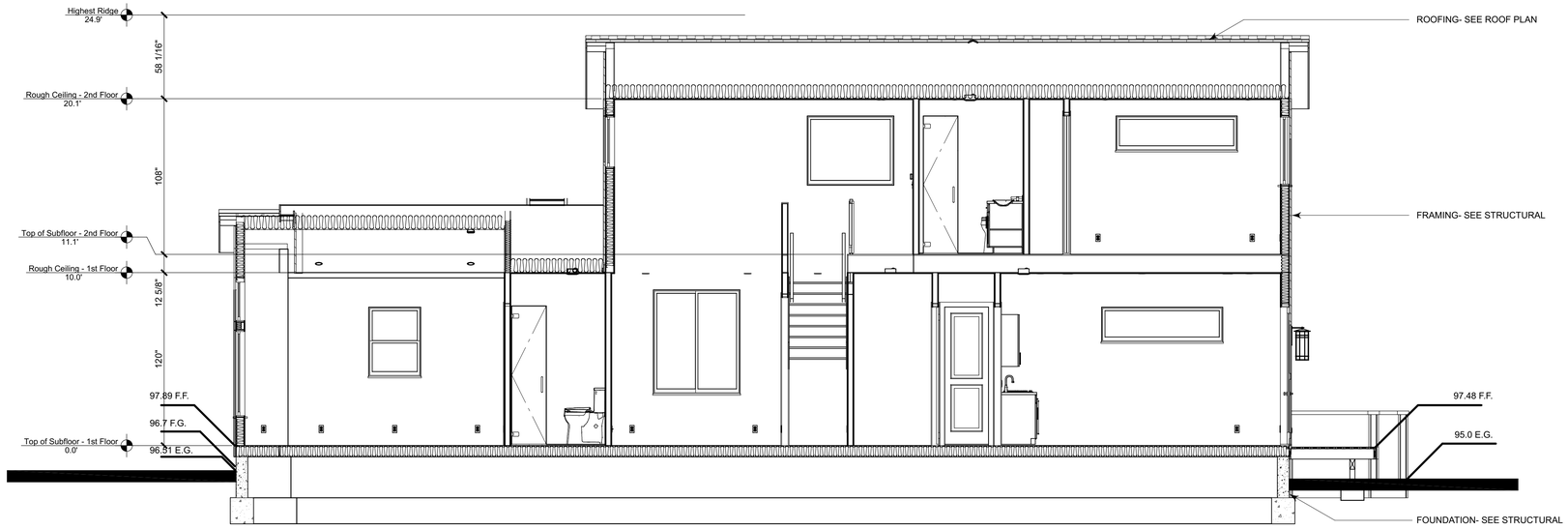
SECTIONS

Project No: 2215

Sheet No: A-8



Section C-C

0 4 8 12 16

SCALE: 1/4" = 1'-0"

Section D-D

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WILMINGTON RESIDENCE
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SECTIONS

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